

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 23, 2022

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Design Review Permit and a Non-Conforming Use Permit, pursuant to Sections 6565.3 and 6137 of the San Mateo County Zoning Regulations, respectively, and a Grading Permit for 305 cubic yards of earthwork, pursuant to Section 9283 of the San Mateo County Grading Regulations, to allow construction of a new 2,644 sq. ft. two-story, single-family residence with an attached two-car garage on a non-conforming 6,205 sq. ft. parcel, at 434 Summit Drive in the County unincorporated Emerald Lake Hills area. A Non-Conforming Use Permit is required to allow lot coverage of 28.25 percent, where 25 percent is the maximum, floor area of 2,644 sq. ft. where 2,400 sq. ft. is the maximum, and a combined side yard setback of approximately 16 feet, where 20 feet is the minimum, in the Residential Hillside (RH) Zoning District. Four (4) significant trees are proposed to be removed.

County File Number: PLN 2021-00029 (Spiegel)

PROPOSAL

The applicant is proposing to demolish the existing single-family residence and garage and construct a new house with an attached two-car garage on a non-conforming 6,205 sq. ft. parcel, where 12,000 sq. ft. is the minimum parcel size. The project requires a Design Review Permit for the new development and removal of four significant trees, a Non-Conforming Use Permit to allow exceptions to the floor area and lot coverage limits and for a reduced left side setback, as described above, and a Grading Permit for 305 cubic yards (200 c.y. of cut and 105 c.y. of fill) of earthwork. The property slopes up from the street, and from the right-side property line downward to the left side property line with an average slope of 9 percent. Surrounding parcels are of conforming and non-conforming sizes and are also developed with single-family residences.

RECOMMENDATION

That the Planning Commission approve the Design Review Permit, Non-Conforming Use Permit, and Grading Permit, for County File Number PLN 2021-00029, based on and subject to the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Erica Adams, Project Planner, Telephone 650/363-1828

Applicant: Daniel Spiegel, of Spiegel Aihara Workshop

Owner: Katrien Masschelein and Alexander Lee-Rodgers

Location: 434 Summit Drive, Emerald Lake Hills

APN: 057-143-100

Size: 6,205 sq. ft.

Existing Zoning: RH/DR (Residential Hillside/Design Review)

General Plan Designation: Low Density Residential/Urban

Sphere-of-Influence: City of Redwood City

Existing Land Use: Single-Family Residential

Water Supply: City of Redwood City Municipal Water Department

Sewage Disposal: Emerald Lakes Sewer District

Flood Zone: Zone X, Panel Number 06081C0282E, Effective Date: October 16, 2012

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3, relating to construction single-family residence in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The property is located in an established residential community and is served by public water and sewer districts.

Setting: The property slopes up from the street with an average slope of 9 percent, and is developed with a single-family residence constructed in 1941. Surrounding parcels are of conforming and non-conforming sizes and are also developed with single-family residences.

Chronology:

<u>Date</u>	<u>Action</u>
June 13, 2018	- Planning Commission approves a Non-Conforming Use Permit (PLN 2017-00365) for a 1,788 sq. ft. addition to the existing residence. No construction occurred.
September 8, 2020	The subject parcel is sold to new owners.
January 26, 2021	- Application is submitted for Design Review Permit for a new house. Application is subsequently deemed incomplete.
April 5, 2021	Additional application materials are submitted and routed for review-by-agencies.
June 11, 2021	- Project deemed complete and scheduled for Design Review hearing.
July 6, 2021	At the Emerald Lake Hills Design Review Officer (DRO) hearing, the DRO recommended approval of the project.
October 20, 2021	Staff encourages the applicant to make project modifications to better comply with the zoning regulations. Modifications resulted in minor exterior changes with regard to Design Review.
December 7, 2021	- Revised plans are submitted which increase the project's compliance with zoning regulations.
February 23, 2022	Planning Commission public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

The General Plan Visual Quality Policy 4.4 requires the appearance of urban development to “promote aesthetically pleasing development.” The General Plan then calls for the establishment of guidelines for communities to achieve these goals. The establishment of the Design Review (DR) Zoning District, Section 6565 of the San Mateo County Zoning Regulations, is the mechanism that fulfills this directive. A project that complies with the Emerald Lake Hills Design Standards (Section 6565.15 of the San Mateo County Zoning Regulations) therefore conforms to the General Plan Policies

4.14 (*Appearance of New Development*) and 4.35 (*Urban Area Design Concept*). These policies require structures to promote and enhance good design, as well as improve the appearance and visual character of development in the area by managing the location and appearance of the structure. The project has been reviewed by the Emerald Lake Hills Design Review Officer and has been found to be in compliance with the Design Review Standards for Emerald Lake Hills. A detailed discussion is provided in Section A.3 of this report.

2. Conformance with the Zoning Regulations

A summary of project conformance with the current requirements of the Residential Hillside Zoning District is provided in the table below:

Development Standards	Zoning Requirements	Existing (to be demolished)	Proposed
Minimum Building Site Area	12,000 sq. ft. for slope of 9%	6,205 sq. ft.* 9% slope	No change
Minimum Building Site Width	50 ft.	61 ft.	No change
Minimum Setbacks			
• Front	20 ft.	27.07 ft.	20 ft.
• Rear	20 ft.	41.97 ft.	20 ft.
• Sides*	*Combined total of 20 feet with a minimum of 7.5 ft. on each side	Left side 9.75 ft. Right side 6.65 ft. Combined approx. 16	Left side 8'-7 ⁵ / ₈ "** Right side 7.5 ft. Combined approx. 16
Maximum Lot Coverage	25% or 1551.2 sq. ft.	22.8% or 1,413 sq. ft.	28.25% * or 1,753 sq. ft.*
Maximum Building Floor Area	30% or 2,400 sq. ft.	24.5% or 1,995 sq. ft.	42.6%* or 2,644 sq. ft.*
Maximum Building Height	28 ft.	21 ft.	28 ft.
Minimum Parking	2 covered spaces and 2 uncovered guest spaces	2 covered space and 2 uncovered guest spaces	2 covered spaces and 2 uncovered guest spaces

Development Standards	Zoning Requirements	Existing (to be demolished)	Proposed
* Non-conformity will be addressed by the Use Permit application.			

The existing residence, built in 1941, was constructed prior to the adoption and implementation of current zoning regulations, and therefore does not conform to the minimum side setback and combined side setback of the RH Zoning. New development is required to conform to the existing zoning district unless a Non-Conforming Use Permit is granted. The requested Non-Conforming Use Permit is necessary to address the proposed lot coverage, floor area, and front left side yard setbacks (as indicated by an asterisk *).

Project conformance with Use Permit findings is discussed in further detail in Section A.4 of this report.

3. Conformance with the Design Review Regulations

The project was heard on July 6, 2021, at the Emerald Lake Hills Design Review Officer meeting. Two members of the public submitted written correspondence (Attachment J) and attended the Zoom meeting. The correspondence expressed concern regarding the number of exceptions being sought for this project. One letter of support of the project was received prior to the Planning Commission hearing (Attachment J).

At the hearing, the DRO recommended approval of the design review permit, finding that the design of the new house is consistent with applicable Design Review Standards, Section 6515.15 of the Zoning Regulations. In addition, the DRO recommended that the project better comply with the zoning regulations and that changes to the proposal should be made. The applicant modified the design to reduce the level of non-conformity of the proposal by reducing the size of the garage by 44 sq. ft. and meeting the 20-foot front yard setback. Project modifications resulted in minor exterior changes with regard to Design Review.

The project’s compliance with these Design Review Standards is discussed below:

- a. Site Planning: Requires the siting of new buildings on a parcel in locations which achieve the following five objectives:

- (1) *Minimize tree removal.*

The applicant submitted an arborist report from Ellyn Shea, Consulting Arborist, dated February 3, 2021 (Attachment G),

which was prepared to evaluate the health of the trees, both on site and ones in close proximity on adjacent properties, and potential construction impacts. The report was reviewed by the County Arborist and staff.

The applicant stated that the proposed residence was designed to preserve two mature Coastal Oak trees, 21-inch and 28-inch DBH (diameter at breast height) in the right rear yard.

The proposal involves the removal of four (4) significant trees either due to proximity to proposed development or due to tree health. The trees proposed for removal are located in the front yard and within the Summit Drive public right-of way. The condition of two (2) Coast Redwoods, a 17-inch DBH and 11-inch DBH, were determined to be poor (Trees No.3 and No.4). An 8-inch DBH Scarlet Oak tree (Tree No.2) is too close to proposed development, and a 10-inch DBH Coast Oak tree (Tree No.5) is near the house footprint and will be impacted during excavation. The County Arborist concurred with these assessments.

Oak trees are classified within the RH Zoning as native trees and must be replaced with a native species. A condition of approval (No. 4) has been proposed requiring the trees to be replaced at a 1:1 ratio with a 15-gallon or greater tree of a native species. Tree protection measures, as provided in the arborist report, are required by Condition No. 3 for the remaining trees on the site during construction.

(2) *Minimize alteration of the natural topography.*

The subject parcel has a mild cross parcel slope with disturbed areas which are flat. The proposed 305 c.y. of grading is needed for a new house pad and driveway and is a moderate amount that would not significantly alter the natural topography.

(3) *Respect the privacy of neighboring houses and outdoor living areas.*

The proposed residence respects the privacy of neighboring houses, as the side of the house closest a property line (right side) has smaller windows. Additionally, both decks are positioned for privacy, with one deck in the rear yard and a second story deck located ten feet from the left property line. In addition, the parcels around the subject parcel are irregular in shape and development on the property have staggered

alignment which allows for privacy. Furthermore, the proposed development will retain mature trees in the rear portion of the yard and along the property lines on adjacent parcels.

Based on the foregoing, privacy impacts to the neighboring houses and outdoor living areas are minimized with this proposal.

- (4) *Minimize blockage of sunlight on neighboring housing and outdoor living areas.*

Blockage of sunlight on outdoor living areas is minimized. The tallest portions of the proposed residence will not block sunlight on neighboring houses or outdoor areas due to adherence to the required minimum setbacks, existing mature trees, and the location of adjacent development.

- (5) *Minimize alteration of streams and natural drainage channels.*

There are no streams or drainage channels that would be impacted by this project.

- b. Architectural Styles: Requires buildings to be architecturally compatible with existing buildings and reflect and emulate architectural styles and the natural surroundings of the immediate area.

There is a wide array of residential styles in the immediate surrounding area. The proposed residence has a contemporary style that differs from the neighborhood, but integrates wood in the design to achieve compatibility. As such, the DRO found that the architectural style of the project is compatible with nearby residences and the natural surroundings.

- c. Unenclosed Spaces: Requires avoiding the creation of space beneath buildings and prohibits buildings that are predominantly built on stilts.

No unenclosed spaces, or structures built on stilts, would be created by this proposal.

- d. Building Shapes and Bulk: Requires that buildings are designed with shapes that respect and conform to the natural topography of the site.

The subject parcel has a slope of 9 percent and has previously been developed with a flat building pad area. The proposed development will conform to the existing topography. In addition, the proposed roof

would have an angular design which provides some change in the shape of some of the elevations.

- e. Facades: Requires well-articulated and proportioned facades.

The proposed residence has a contemporary style that would achieve articulation using the application of different siding materials and window patterns. The proposed structure will not create any massive blank walls.

- f. Roofs: Requires pitched roofs.

The roof plan of the house includes pitched roofs and complies with this design standard.

- g. Materials and Colors: Requires that varying architectural styles are made compatible by using similar materials and colors that blend with the natural setting and the immediate area.

The proposed development utilizes stucco and wood as siding exterior materials. Stucco is not identified as a recommended material; however, it is often used as it meets fire codes. The proposed development would have light grey stucco exterior and would integrate cedar siding which is compliant with the DR standards and blend with the natural setting.

- h. Utilities: New utilities should be placed underground.

As required by zoning, new utilities are proposed to be placed underground.

- i. Paved Areas: Requires minimization of paved areas.

The amount of proposed paved area is limited to that necessary for appropriate vehicle access and parking. The surface of the existing driveway to the detached garage (to be demolished) at the rear of the parcel would be removed. The applicant proposes to use pavers for the walkways and around the rear patio.

4. Conformance with the Use Permit Regulations

As a legal, non-conforming parcel (6,205 sq. ft., where 12,000 sq. ft. is the minimum), development which does not meet current zoning standards can be allowed with the approval of a Non-Conforming Use Permit, per Section 6137 of the Zoning Regulations. The following is a discussion of the project conformance with required findings, per Sections 6137 and 6503 of the

Zoning Regulations, for the Planning Commission to grant the Non-Conforming Use Permit:

- a. The proposed development is proportioned to the size of the parcel on which it is being built.

The parcel is non-conforming in size, approximately 50 percent smaller than the minimum lot size. The exceptions being requested are relatively minor where the residence would appear proportional to the parcel size as viewed from the street. The proposed lot coverage of the proposed residence is over the maximum by 3.25 percent or 196 square feet. The proposed floor area is over the maximum by 244 sq. ft. (approximately the size of one additional room). Both exceedances are indiscernible to the public and do not substantially alter the project's proportionality.

- b. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

All parcels contiguous to the sides of the subject parcel are privately owned and developed with single-family residences. The acquisition of these properties to achieve a conforming parcel and project size is not feasible because the adjacent parcels are already developed, are either non-conforming in size, or do not have an adequate amount of square footage over the minimum parcel size. One adjacent parcel exceeds the minimum parcel size and could provide additional square footage to improve the subject parcel's conformity, however, the owner contacted the owner of that neighboring parcel and was not able to purchase additional land (Attachment K).

- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

As described in Section A.2 of this report, the proposal requires relief from three requirements of the RH Zoning District, combined side yard setback, lot coverage, and floor area. The exceptions are relatively minor and are as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, as described by staff below:

Combined Side Yard Setback: The request for an $8'-7\frac{5}{8}$ left setback, exceeds the minimum RH Zoning District 7.5-foot setback, however a 12.5-foot is minimum is required to achieve a 20 feet combined side yard setback. The 4-foot encroachment is necessary to accommodate 36 sq. ft. portion of a garage within the left setback.

Lot coverage and floor area: The parcel is much smaller than adjoining parcels. The requested additional 3.25 percent of lot coverage and 244 sq. ft. of additional floor area are reasonable to allow the property owner to achieve development preferences such as maintenance of design integrity, retention of mature, native trees and leaving portions of the parcel undisturbed.

- d. The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.

The proposed design of the residence is compatible with the surrounding residences or with the Emerald Lake Hills community due to project adherence to Emerald Lake Hills Design Review Standards and achieves development preferences such as maintenance of design integrity, retention of mature, native trees and leaving portions of the parcel undisturbed. The project has been reviewed by Cal-Fire and the Department of Public Works and preliminarily approved. Conditions of approval have been added to Attachment A. The project is not located in the Coastal Zone and would not impact coastal resources. Based on the foregoing, staff has determined that this proposal would not be detrimental to the public welfare or injurious to property or improvements.

- e. Use permit approval does not constitute a granting of special privileges.

Section 6137 allows for substandard-size parcels to request relief from development standards which are based on a model of conforming parcel size. The requested setback encroachment, lot coverage, and square footage is consistent with minor exceptions which are commonly granted for existing residences at the staff level through a Home Improvement Exception (HIE). An HIE can be used to grant encroachment of up to 150 sq. ft. into a side setback, or an additional 250 sq. ft. of floor area. However, in this case, the proposed design of this residence makes future additions difficult to construct without diminishing the overall desired aesthetic. Due to the minor nature of the exceedances which could be achieved through a future HIE, the exception is not granting any special privilege that cannot eventually be granted. In addition, the lot is significantly substandard in size and the size of the proposed residence would be consistent with other houses in the neighborhood.

5. Conformance with the Grading Ordinance

The granting of the requested grading permit will not have a significant adverse effect on the environment. The proposed grading is required to construct a new single-family residence. This project has been reviewed by the Department of Public Works and the Building Inspection Section's Geotechnical Engineer.

The project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code ("Grading Regulations" or "Grading Ordinance"), including the standards referenced in Section 8605. The project, as proposed and conditioned, conforms to the standards in the Grading Ordinance, specifically in the areas of erosion and sediment control, dust control, and the timing of grading activity.

The project is consistent with the General Plan. As proposed and conditioned, the project complies with General Plan Policies 2.23 (*Regulate Excavation, Grading, Filling, and Land Clearing Activities Against Accelerated Soil Erosion*) and 2.17 (*Erosion and Sedimentation*), because the project includes measures to maintain the existing slope and minimizes the removal of significant trees.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3, relating to construction single-family residence in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The property is located in an established residential community and is served by public water and sewer districts.

C. REVIEWING AGENCIES

Building Inspection Section
Building Geotechnical Section
Building Drainage Section
Department of Public Works
Cal-Fire
Emerald Lake Heights Sewer Maintenance District
County Arborist
Redwood City Water

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Assessor's Parcel Map and Vicinity Map
- C. Project Survey and Site Plan
- D. Project Floor and Elevations Plans
- E. Color Board
- F. Project Civil Plans
- G. Arborist Report
- H. Use Permit Supporting Statements
- I. Recommendation letter dated October 20, 2021
- J. Correspondence
- K. Request to purchase additional land from neighboring parcel

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2021-00029 Hearing Date: February 23, 2022

Prepared By: Erica Adams, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3, relating to construction single-family residence in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive. The property is located in an established residential community and is served by public water and sewer districts.

For the Design Review, Find:

2. This project, as designed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 28, Section 6565.15, of the San Mateo County Zoning Regulations. The proposal was reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer (DRO) on July 6, 2021.
3. After consideration of project plans and public testimony, the DRO found that the proposed house design, as proposed and conditioned, is in compliance with the Design Review Standards because the project: (a) incorporates materials which comply with the Design Review Standards, (b) has a building shape minimizes bulk by varying building height and use of a variety of geometric shape planes (c) facades are proportioned and patterned, and (d) respects privacy of neighboring houses.

For the Non-Conforming Use Permit, find:

4. That the project complies with the required findings for a Non-Conforming Use Permit per Section 6137 in that:

- a. The development is proportioned in size as the subject parcel is approximately 50 percent the size of a conforming parcel, the exceptions are minor in scale, equivalent to approximately one additional room. The development achieves development preferences such as maintenance of design integrity, retention of mature, native trees and leaving portions of the parcel undisturbed.
- b. Both adjacent parcels are developed and there are no opportunities to acquire contiguous land.
- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, as the project requires relatively minor relief from the zoning regulations for the side yard, lot coverage and floor area.
- d. The proposal will not be detrimental to the public welfare or injurious to property or improvements, as the new construction will conform with the minimum side setback of 7.5 feet on each side, the project has been reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer, and no concerns were raised by reviewing agencies such as the Building Section, Department of Public Works or Cal-Fire.
- e. The exceptions requested are not granting any special privilege as the yard encroachments and additional square footage of lot coverage and floor area are allowed under this proposal are compatible to minor exceptions commonly granted for existing homes through a Home Improvement Exception (HIE) and would result in a residence consistent with other houses in the neighborhood.

For the Grading Permit, find:

5. That the granting of the permit will not have a significant adverse effect on the environment. The proposed grading is required to construct a new single-family residence and associated improvements. This project has been reviewed by the Department of Public Works and the Building Inspection Section's Geotechnical Engineer.
6. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9280. The project, as proposed and conditioned, conforms to the standards in the Grading Regulations, specifically in the areas of erosion and sediment control, dust control, and the timing of grading activity.

7. That the project is consistent with the General Plan. As proposed and conditioned, the project complies with General Plan Policies 2.23 (*Regulate Excavation, Grading, Filling, and Land Clearing Activities Against Accelerated Soil Erosion*) and 2.17 (*Erosion and Sedimentation*), as the project includes measures to minimize the potential for erosion and sedimentation.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on February 23, 2022. Any changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are in substantial compliance with the approved plans, prior to being incorporated into the building plans. Adjustments to the design of the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with the Planning Commission approval. Adjustments to the design during the building permit stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Emerald Lake Hills Design Review public hearing which requires payment of an additional fee of \$1,500 and surcharges.
2. The design review permit shall be valid for five (5) years from the date of final approval, in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one (1) year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. Four significant trees (Trees 2-5) as shown on plans dated April 1, 2021 are approved for removal. Trees designated to remain shall be protected from damage during construction per the project arborist report. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.
4. The applicant shall plant four (15-gallon) replacement trees that are native to the area, two of which shall be oaks, prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
5. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to final Planning approval of the building permit.

6. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
7. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
8. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
9. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and the County Fire Department.
10. No site disturbance shall occur, including any grading or tree/vegetation removal, until a building permit has been issued.
11. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Summit Drive. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Summit Drive. There shall be no storage of construction vehicles in the public right-of-way.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
13. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
14. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.

- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

Water Efficient Landscape Ordinance (WELO)

- 15. The project is subject to compliance to the Water Efficient Landscape Ordinance (WELO): <http://planning.smcgov.org/documents/water-efficient-landscape-ordinance-welo>.

Building Inspection Section

- 16. A building permit is required.
- 17. A completed Request for Address Assignment Form shall be submitted to the Building Inspection Section (buildingcounter@smcgov.org) a minimum of 2 weeks prior to submittal of a building permit application.
- 18. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

County Fire Department

19. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 percent shall be paved and no grade shall be over 20 percent. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95 percent. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
20. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch x 18-inch green reflective metal sign.
21. A fire flow of 500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.
22. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
23. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
24. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement

for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.

25. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Inspection Section for review and approval by the authority having jurisdiction.
26. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
27. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
28. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.

Department of Public Works

29. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
30. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
31. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Grading Conditions

32. No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if the associated building permit is a week or less from being issued, dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).
33. Add notes with the following minimum dust control measures:
 - a. Water all construction and grading areas at least twice daily.
 - b. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
 - c. Pave apply water two times daily or apply (non-toxic) soil on all unpaved access roads, parking areas, and staging areas at the project site.
 - d. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets.
 - e. Enclose, cover, water twice daily, or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
34. Prior to issuance of the grading permit “hard card,” the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. Along with the “hard card” application, the applicant shall submit a letter to the Current Planning Section, at least 2 weeks prior to commencement of grading, stating the date when grading operations will begin, anticipated end date of grading operations, including dates of revegetation, and haul route. If the schedule of grading operations calls for the grading to be completed in one dry season, then the winterization plan shall be considered a contingent plan to be implemented if work falls behind schedule.
35. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

36. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site: (a) the engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer; and (b) the geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.

Redwood City Water

37. An upgrade to the 5/8-inch water main may be required to achieve mandated water flow levels for fire suppression.

Emerald Lake Heights Sewer Maintenance District (Sewer District)

38. The applicant shall submit building plans to the Sewer District for review when the building permit application is submitted to County of San Mateo Building Inspection Section. The plans shall indicate the location of the existing and proposed sewer laterals to the Sewer District main. The County Sanitary Sewer and Streetlight Requirements Checklist can be found on our website at <http://publicworks.smcgov.org/sewer-services>. All appropriate information and notes shall be included on the plans.
39. A Sewer Inspection Permit must be obtained to cap the existing sewer lateral prior to demolition of the existing building. Sewer Inspection Permit may be obtained from the Sewer District office at 555 County Center, 5th Floor, Redwood City.
40. The applicant shall pay a plan review fee in the amount of \$300. Payment shall be made to the County of San Mateo.

EDA:cmc – EDAGG0028_WCU.DOCX

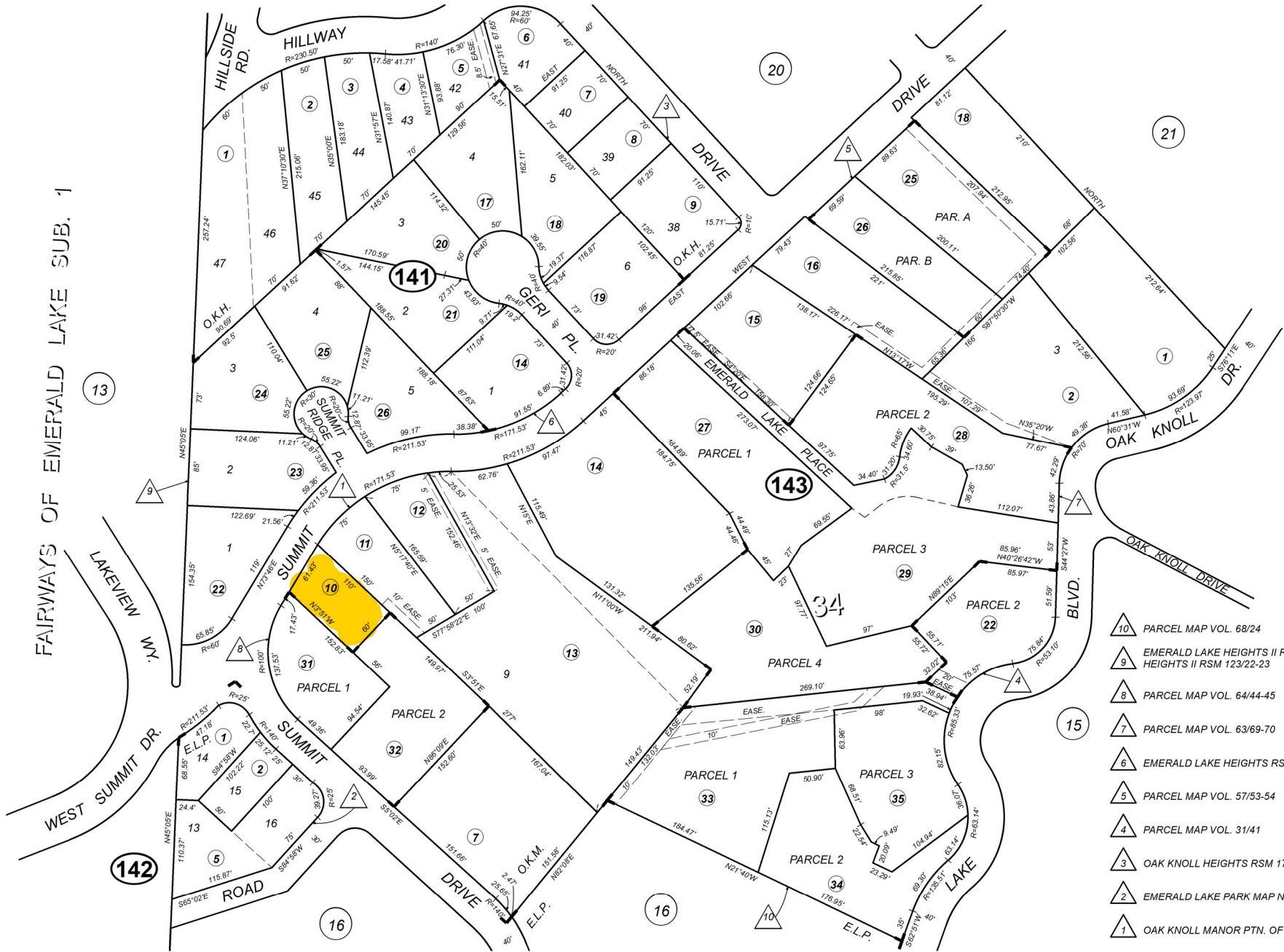


COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

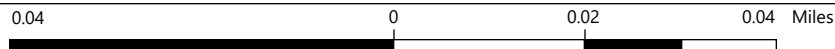
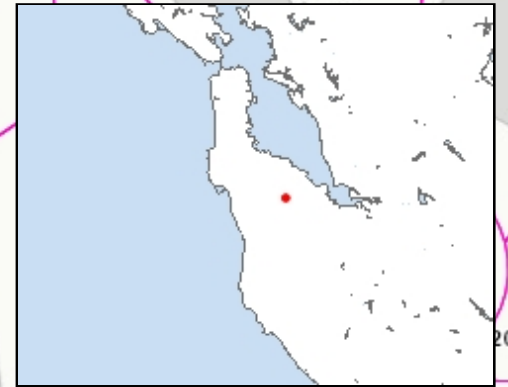
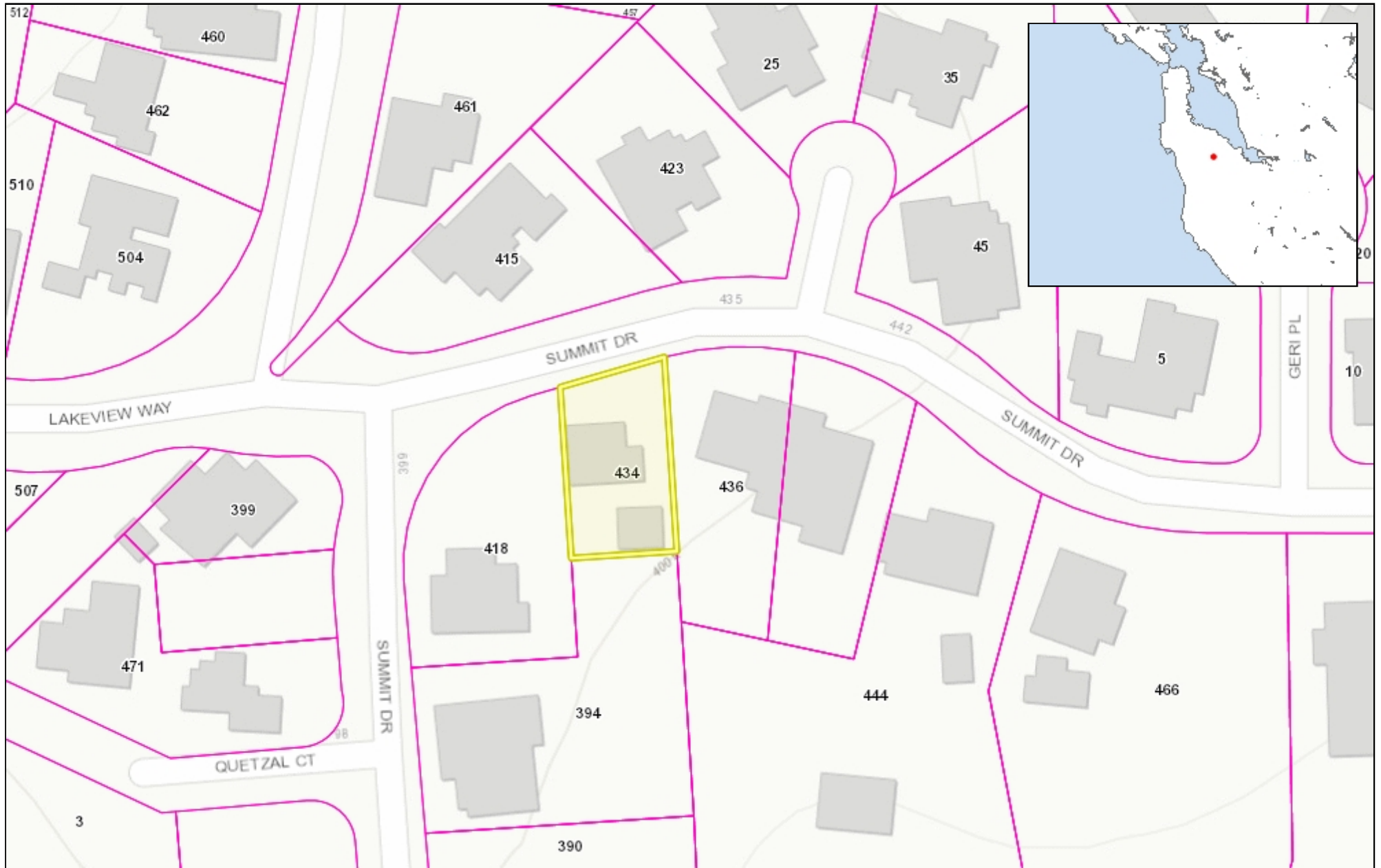
ATTACHMENT B



FAIRWAYS OF EMERALD LAKE SUB. 1



- ▲ 10 PARCEL MAP VOL. 68/24
- ▲ 9 EMERALD LAKE HEIGHTS II RSM 123/22-23 EMERALD LAKE HEIGHTS II RSM 123/22-23
- ▲ 8 PARCEL MAP VOL. 64/44-45
- ▲ 7 PARCEL MAP VOL. 63/69-70
- ▲ 6 EMERALD LAKE HEIGHTS RSM 121/16-17
- ▲ 5 PARCEL MAP VOL. 57/53-54
- ▲ 4 PARCEL MAP VOL. 31/41
- ▲ 3 OAK KNOLL HEIGHTS RSM 17/22-23
- ▲ 2 EMERALD LAKE PARK MAP NO. 5 RSM 11/7
- ▲ 1 OAK KNOLL MANOR PTN. OF RSM 10/4-11



WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1:1,128

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

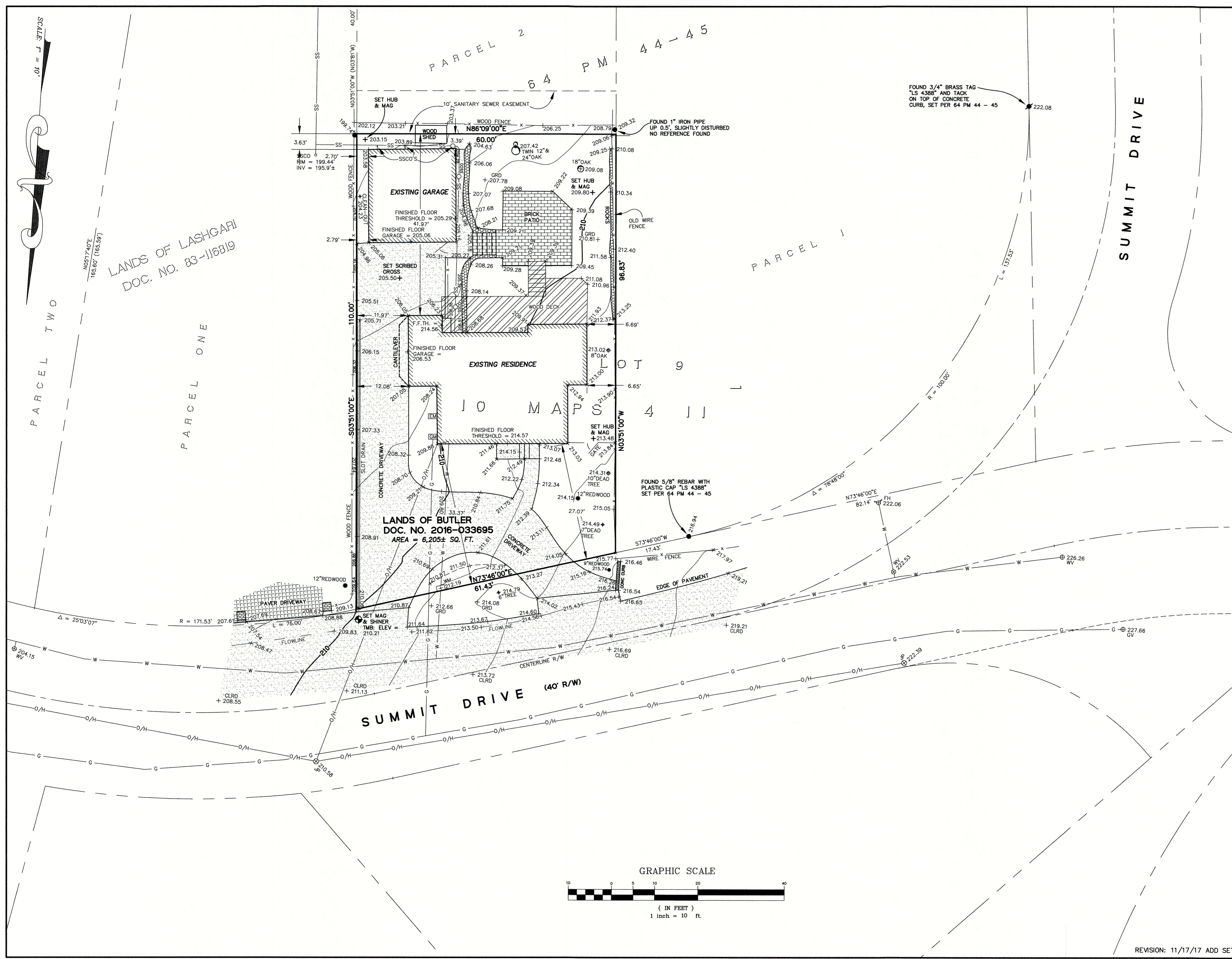
SCALE: 1" = 10'

PARCEL TWO

LANDS OF LASHGARI
DOC. NO. 83-116819

PARCEL ONE

PARCEL 2
PM 44-45



BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE BOUNDARY LINES SHOWN ARE FROM RECORD DATA AND PLACED AT THE BEST FIT OF IMPROVEMENTS.

BASIS OF ELEVATIONS:
ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAG NAIL AND SHINER ALONG SUMMIT DRIVE, AS SHOWN.
ELEVATION = 210.21'

LEGEND:

●	FOUND 3/4" IRON PIPE WITH PLASTIC PLUG (ILLEGIBLE) SLIGHTLY DISTURBED, DOWN 1.3' FOUND PER 64 PM 44 - 45, UNLESS OTHERWISE NOTED
A/C	ASPHALTIC CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
FD	FOUND
FF	FINISHED FLOOR
FL	FIRE LINE
FH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
L.A.T.	LATERAL
LG	LIP OF GUTTER
O/H	OVERHEAD
P.U.E.	PUBLIC UTILITIES EASEMENT
RCP	REINFORCED CONCRETE PIPE
RET. WALL	RETAINING WALL
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SD	STORM DRAIN MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

UTILITY NOTE:
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

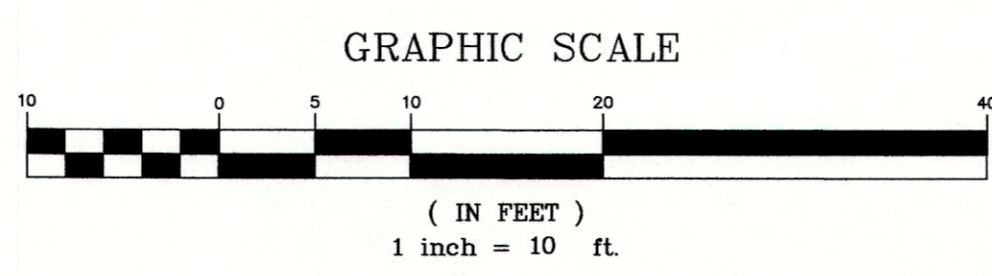


TOPOGRAPHIC SURVEY
LANDS OF BUTLER
DOCUMENT # 2016-033695 O.R.
A PORTION OF LOT 9, BLOCK 34
"OAK KNOLL MANOR"
VOLUME 10 OF MAPS AT PAGES 4 - 11
ASSESSOR'S PARCEL NUMBER: 057-143-100
(434 SUMMIT DRIVE, EMERALD HILLS)

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' MARCH, 2017

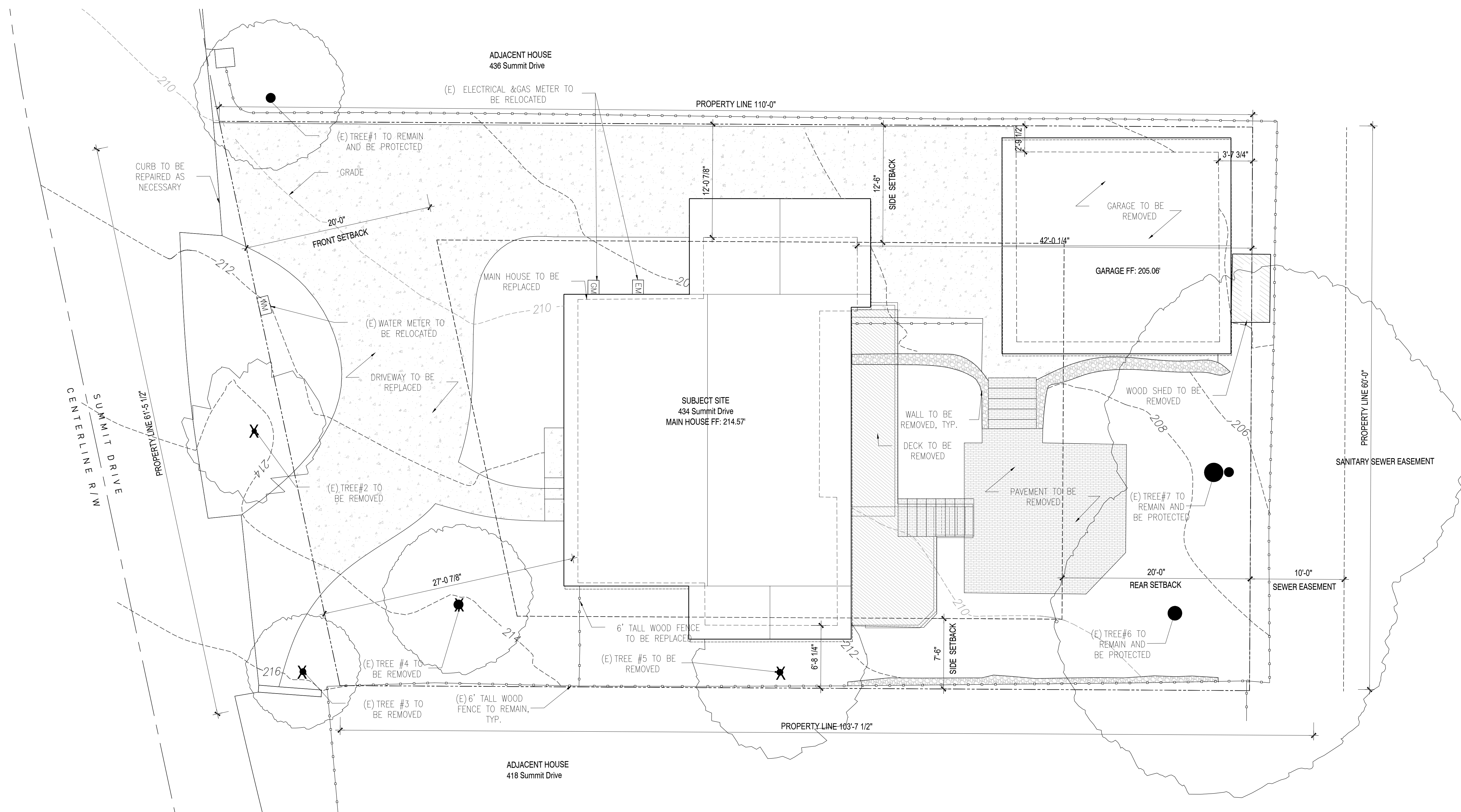
B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (850) 637-1590
FAX (850) 637-1059

REVISION: 11/17/17 ADD SETBACK DIMENSIONS





NOTE:
 1. SEE L400 FOR TREE INVENTORY
 2. SEE A001 FOR PARCEL INFORMATION



SITE PLAN- EXISTING
 EXISTING

1
 3/16" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062
 PLANNING PERMIT SET

SITE PLAN - EXISTING

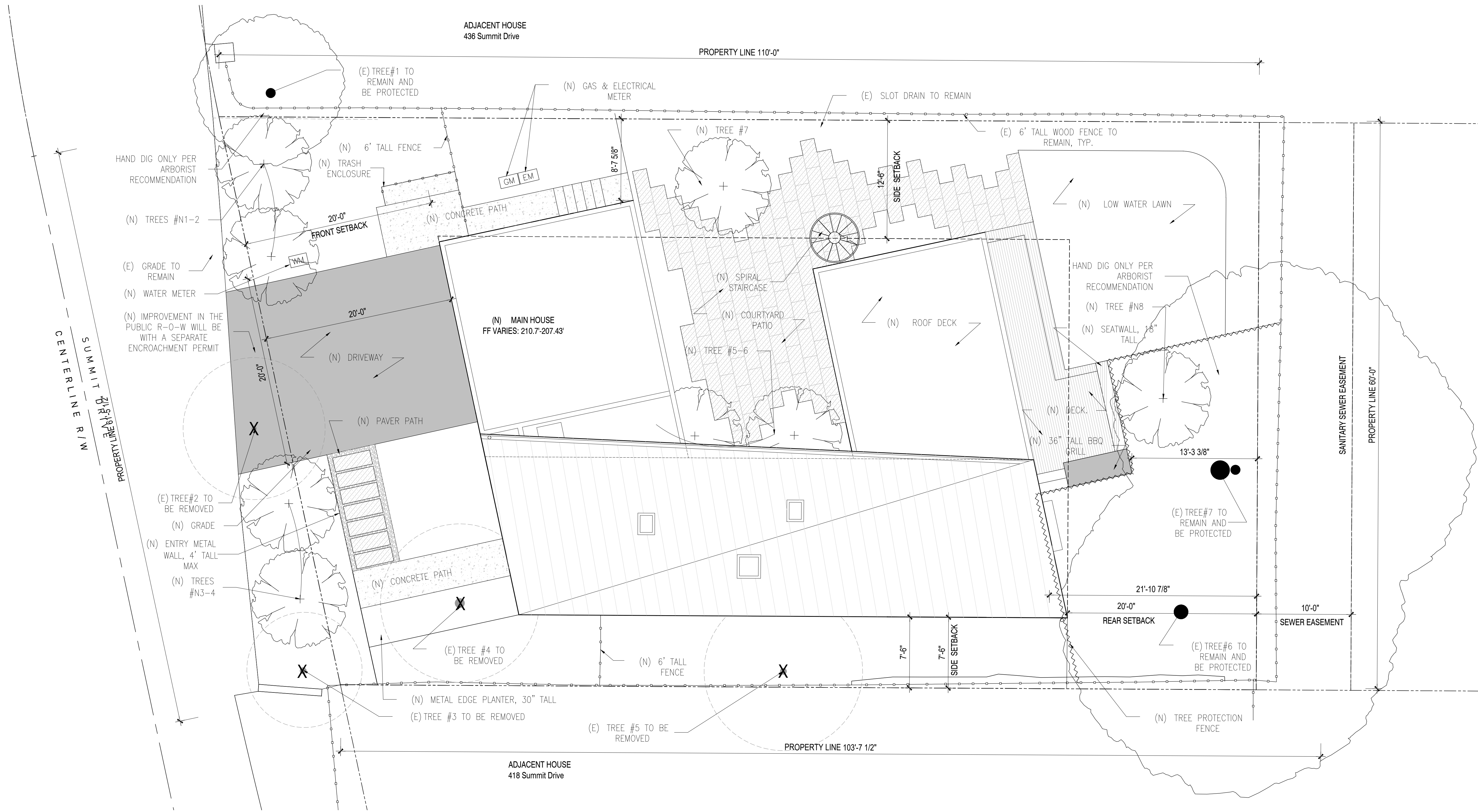
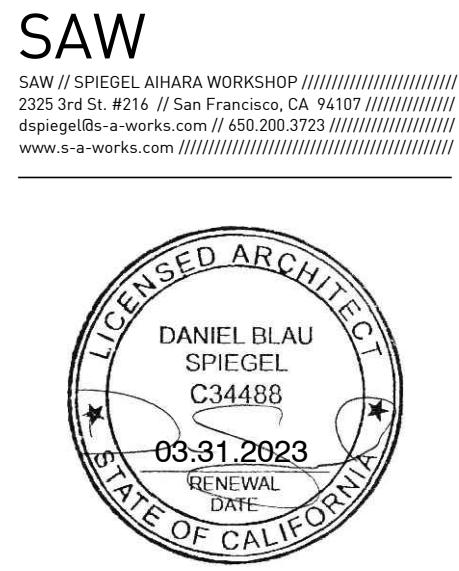
Date: November 15, 2021
 Drawn By: SL
 Checked By: DS

AX001
 Scale: 3/16" = 1'-0"

PROJECT ADDRESS: 434 SUMMIT DRIVE, EMERALD HILLS, CA 94062	
PARCEL NO.: 057-143-100	
SITE ZONING DISTRICT: RH,DR	
LOT AREA	6205 SF (Non-Conforming Site, Min. Lot Area:12,000 SF)
FLOOR AREA LIMIT (FAL)	2400 SF
MAXIMUM ALLOWABLE LOT COVERAGE	1,545 25%

PROJECT DATA		
	EXISTING (SQ FT)	PROPOSED (SQ FT)
SQFT OF STRUCTURES	980 SF (Main House) +427.5 SF (Garage) = 1407.5 SF	2,643.5 SF (Previously Permitted For 2700 SF)
FLOOR AREA RATIO (FAR)	22.8%	42.6%
LOT COVERAGE	1247 SF (Main House) +561 SF (Garage) = 1808 SF 29.3%	1,733 SF (Main house) 27.92%
LANDSCAPING AREA	665 SF- REHABILITATE	1730 SF - NEW
TREE PROTECTION FENCE	~~~~~	

- NOTE:
- SEE L400 FOR TREE INVENTORY.
 - SEE L100 FOR LANDSCAPE MATERIALS.
 - SEE CIVIL DWG FOR GRADING AND DRAINAGE PLAN.
 - SEE ARBORIST REPORT AND CIVIL SHEET C-3.2 FOR TREE PROTECTION DETAILS.



SITE PLAN- PROPOSED
PROPOSED

1
3/16" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SITE PLAN - PROPOSED

Date: November 15, 2021
Drawn By: SL
Checked By: DS

A001
Scale: 3/16" = 1'-0"



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D



VACINITY MAP

PLAN

1
128"=1'-0"

CONTACT INFORMATION	
OWNER: ALEXANDER B LEE-RODGERS & KATE MASSCHELEIN 434 Summit Drive, Emerald Hills, CA 94062 908.328.1488 / 650.313.3873 kmassch8@its.jnj.com bl307z@gmail.com	ARCHITECT: DAN SPIEGEL SAW // SPIEGEL AIHARA WORKSHOP 2325 3rd Street, Suite 216 San Francisco, CA 94107 650.200.3723 dspiegel@s-a-works.com
CIVIL ENGINEER:	LANDSCAPE ARCHITECT: MEGUMI AIHARA SAW // SPIEGEL AIHARA WORKSHOP 2325 3rd Street, Suite 216 San Francisco, CA 94107 415.545.8577 megumi@s-a-works.com
SURVEYOR: B & H SURVEYING, INC. 901 WALTERMIRE ST. BELMONT, CA 94002 650.637.1590	GEO TECHNICAL ENGINEER: GEOFORENSICS INC. 561-D Pilgrim Drive, Foster City, CA 94404 650.349.3369 dan.geoforensics@yahoo.com
STRUCTURAL ENGINEER:	GENERAL CONTRACTOR:

NOTES:

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE, EMERALD HILLS, CA 94062

APN 057-143-100

RH & DR PERMIT

DRAWING LIST		
Dwg #	Drawing Name	Scale
G100	COVER SHEET	NTS
G101	NOTES	NTS
G102	NOTES	NTS
AX001	SITE PLAN - EXISTING	3/16" = 1'-0"
A001	SITE PLAN - PROPOSED	3/16" = 1'-0"
AX100	PLANS - EXISTING - FIRST FLOOR	1/4" = 1'-0"
AX101	PLANS - EXISTING - ROOF PLAN	1/4" = 1'-0"
A100	PLANS - PROPOSED - FIRST FLOOR	1/4" = 1'-0"
A101	PLANS - PROPOSED - SECOND FLOOR	1/4" = 1'-0"
A102	PLANS - PROPOSED - ROOF PLAN	1/4" = 1'-0"
A110	PLANS - DIAGRAMS - FIRST FLOOR PLAN - EXISTING	1/4" = 1'-0"
A111	PLANS - DIAGRAMS - FIRST FLOOR PLAN - PROPOSED	1/4" = 1'-0"
A200	ELEVATIONS - PROPOSED	1/4" = 1'-0"
A201	ELEVATIONS - PROPOSED	1/4" = 1'-0"
A300	SECTIONS - PROPOSED	1/4" = 1'-0"
L100	LANDSCAPE PLAN - PROPOSED	3/16" = 1'-0"
L101	IMPERVIOUS AREA CALCULATIONS	3/16" = 1'-0"
L400	PLANTING PLAN - PROPOSED	3/16" = 1'-0"
LL100	LIGHTING PLAN - PROPOSED	3/16" = 1'-0"
5904-FIN	TOPOGRAPHIC SURVEY	1" = 10'
C-0	TITLE SHEET	AS SHOWN
C-1	NOTES SHEET	NTS
C-2	GRADING AND UTILITY PLAN	1" = 10'
C-3	EROSION AND SEDIMENT CONTROL PLAN	AS SHOWN
C-3.1	BEST MANAGEMENT PRACTICES	NTS
C-3.2	TREE PROTECTION PLAN	1" = 10'
C-4	DETAIL SHEET	AS SHOWN
C-4.1	DETAIL SHEET	AS SHOWN

SITE DATA:	
a) PROPERTY ADDRESS:	434 SUMMIT DRIVE, EMERALD HILLS, CA 94062
b) APN:	057-143-100
c) BUILDING TYPE:	2 STORY SINGLE FAMILY RESIDENCE
d) ZONING:	RH, DR
e) OCCUPANCY:	R-3
f) HEIGHT LIMIT:	28'
g) LEGISLATIVE SETBACKS:	N/A
h) STORIES:	2
i) BASEMENT:	0
j) TYPE OF CONSTRUCTION:	V-B
k) LOT AREA:	6,757.3 SF (NON-CONFORMING)
l) PROJECT DATA:	
EXISTING FLOOR AREA:	
1ST:	985 SF
GARAGE (DETACHED):	427.5 SF
TOTAL:	1,412.5 SF
PROPOSED FLOOR AREA:	
1ST/GROUND:	1,730 SF
2ND FLOOR:	910.5 SF
TOTAL:	2,640.5 SF
SCOPE OF WORK	
THE PROPOSED PROJECT INCLUDES A NEW 2688 SF RESIDENCE LOCATED TOWARDS THE NORTH WEST SIDE OF THE LOT. THE PROPOSED LOCATION ENCROACHES 5' ON THE FRONT SETBACK TO GIVE MORE SPACE FOR THE EXISTING OAK TREES IN THE REAR YARD AND TO PROVIDE MORE NATURAL LANDSCAPE THROUGHOUT THE SITE. THE PROJECT ALSO INCLUDES NEW LANDSCAPING CONSISTING OF A NEW COURTYARD SPACE, AN ORCHARD, AND A NEW LAWN.	

CODES:
ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES INCLUDING, BUT NOT LIMITED TO:
1. 2019 CALIFORNIA BUILDING CODE - VOLUMES 1 & 2
2. 2019 CALIFORNIA RESIDENTIAL CODE
3. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
4. 2019 CALIFORNIA MECHANICAL CODE
5. 2019 CALIFORNIA ELECTRICAL CODE
6. 2019 CALIFORNIA PLUMBING CODE
7. 2019 CALIFORNIA ENERGY CODE
8. 2019 CALIFORNIA FIRE CODE
9. CURRENT SAN MATEO COUNTY MUNICIPAL CODE

SAW
SAW // SPIEGEL AIHARA WORKSHOP
2325 3rd St, #216 // San Francisco, CA 94107
dspiegel@s-a-works.com // 650.200.3723
www.s-a-works.com



MASSCHELEIN
RESIDENCE

434 SUMMIT DRIVE
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

COVER SHEET

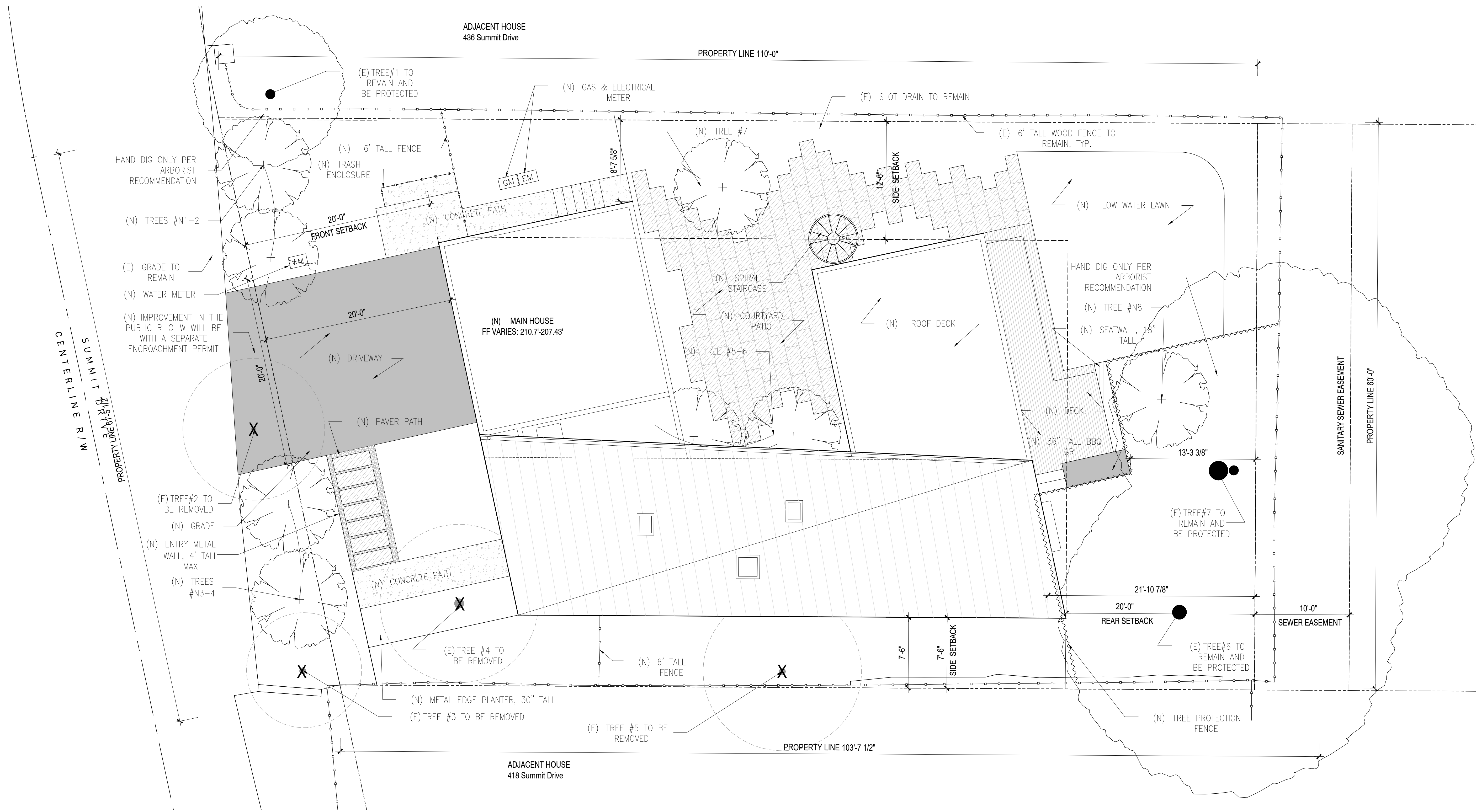
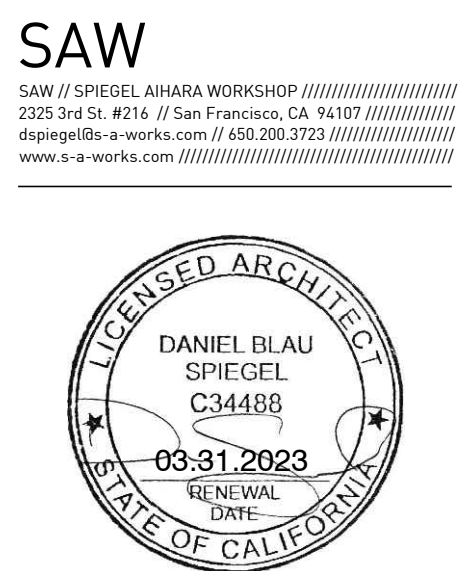
Date: November 2, 2021
Drawn By: JF
Checked By: DS

G100
Scale: NTS

PROJECT ADDRESS: 434 SUMMIT DRIVE, EMERALD HILLS, CA 94062	
PARCEL NO.: 057-143-100	
SITE ZONING DISTRICT: RH,DR	
LOT AREA	6205 SF (Non-Conforming Site, Min. Lot Area:12,000 SF)
FLOOR AREA LIMIT (FAL)	2400 SF
MAXIMUM ALLOWABLE LOT COVERAGE	1,545 25%

PROJECT DATA		
	EXISTING (SQ FT)	PROPOSED (SQ FT)
SQFT OF STRUCTURES	980 SF (Main House) +427.5 SF (Garage) = 1407.5 SF	2,643.5 SF (Previously Permitted For 2700 SF)
FLOOR AREA RATIO (FAR)	22.8%	42.6%
LOT COVERAGE	1247 SF (Main House) +561 SF (Garage) = 1808 SF 29.3%	1,733 SF (Main house) 27.92%
LANDSCAPING AREA	665 SF- REHABILITATE	1730 SF - NEW
TREE PROTECTION FENCE	~~~~~	

- NOTE:
- SEE L400 FOR TREE INVENTORY.
 - SEE L100 FOR LANDSCAPE MATERIALS.
 - SEE CIVIL DWG FOR GRADING AND DRAINAGE PLAN.
 - SEE ARBORIST REPORT AND CIVIL SHEET C-3.2 FOR TREE PROTECTION DETAILS.



SITE PLAN- PROPOSED
PROPOSED

1
3/16" = 1'-0"

MASSCHELEIN RESIDENCE

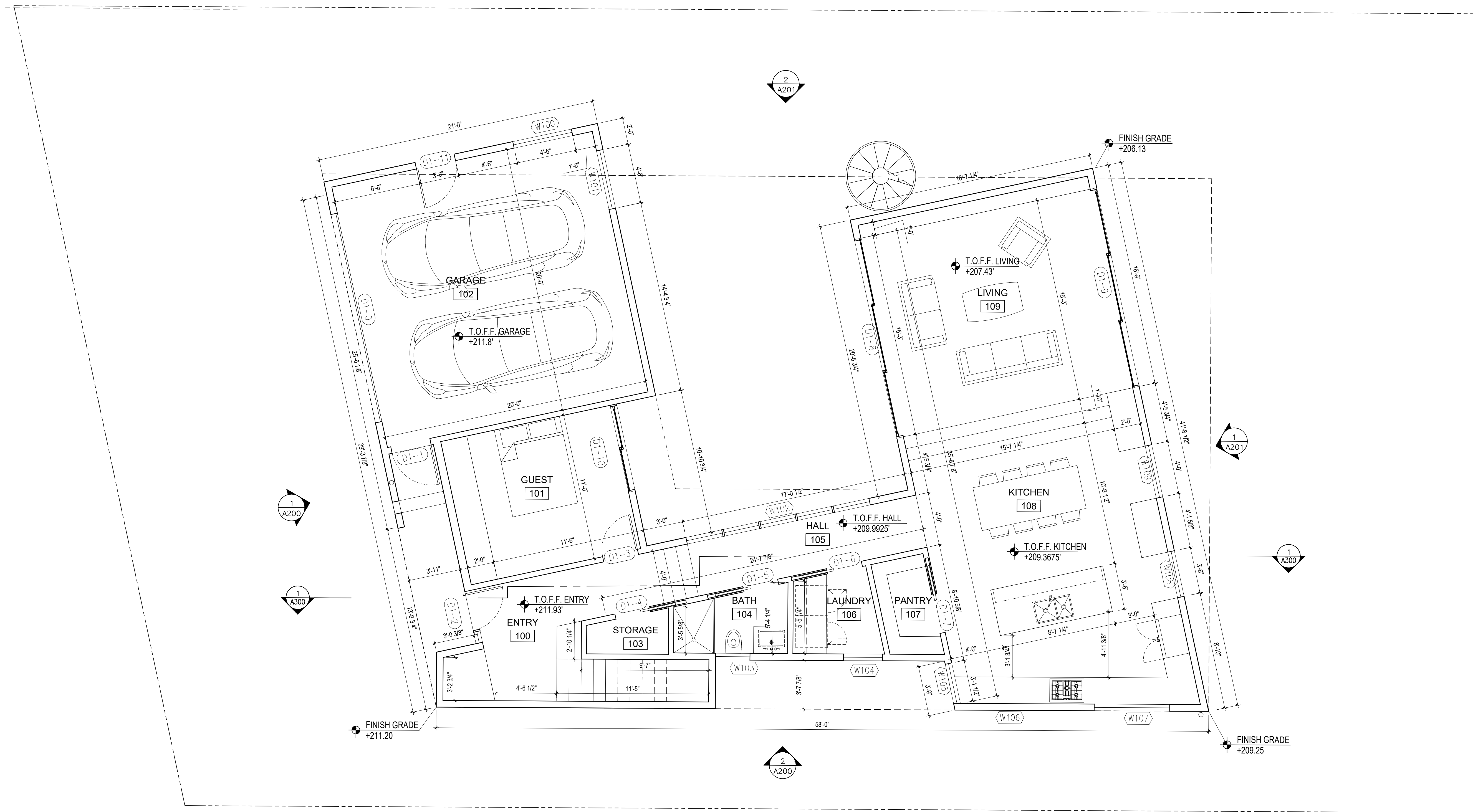
434 SUMMIT DRIVE
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SITE PLAN - PROPOSED

Date: November 15, 2021
Drawn By: SL
Checked By: DS

A001
Scale: 3/16" = 1'-0"



FIRST FLOOR PLAN - 1733 SF (2640.5 SF TOTAL)
 PROPOSED

1
 1/4" = 1'-0"

**MASSCHELEIN
 RESIDENCE**

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

PLANS - PROPOSED -
 FIRST FLOOR PLAN

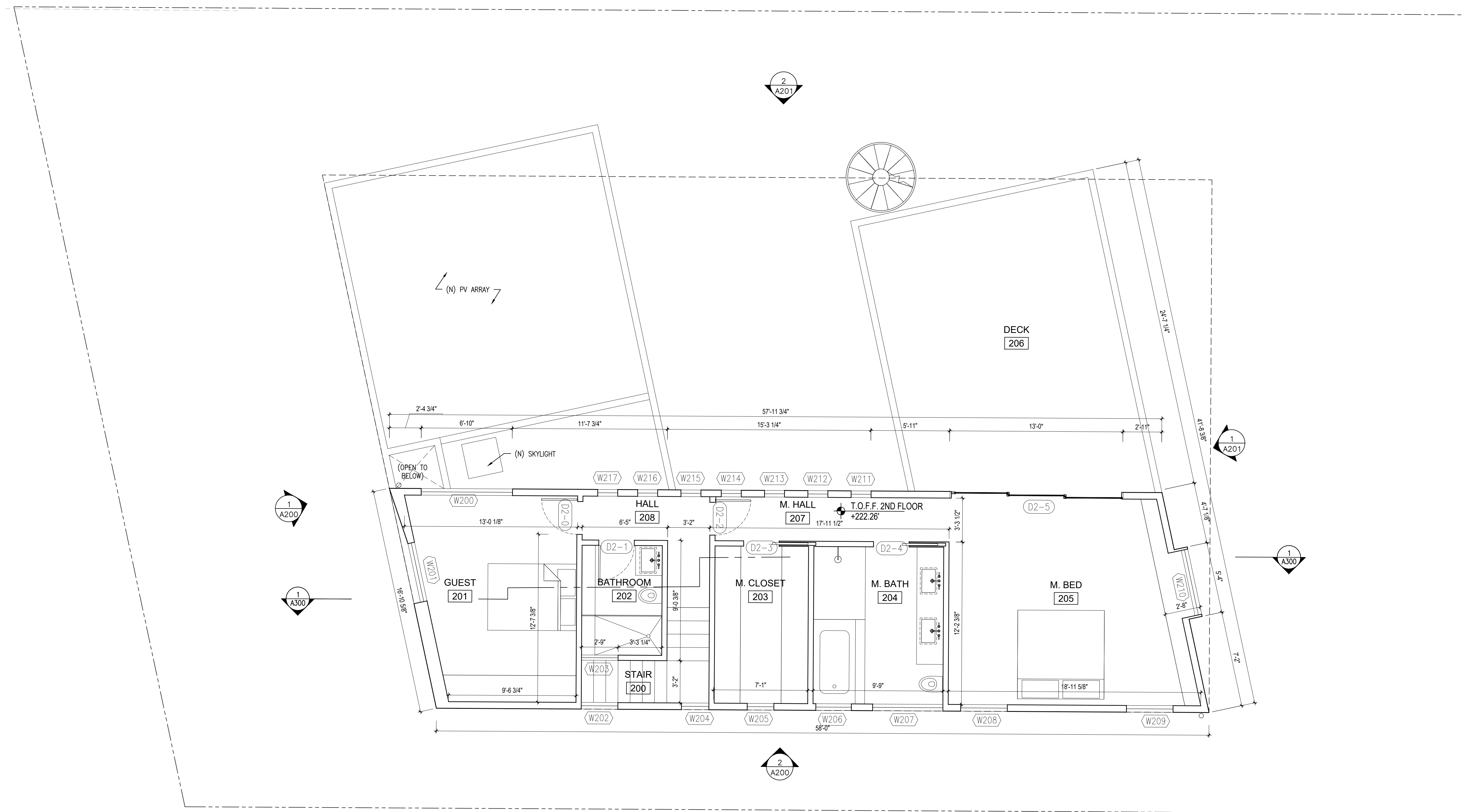
Date: November 15, 2021

Drawn By: JF

Checked By: DS

A100

Scale: 1/4" = 1'-0"



MASSCHELEIN
 RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

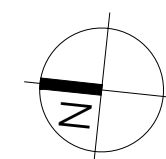
PLANNING PERMIT SET

PLANS - PROPOSED -
 SECOND FLOOR PLAN

Date: November 15, 2021
 Drawn By: JF
 Checked By: DS

A101

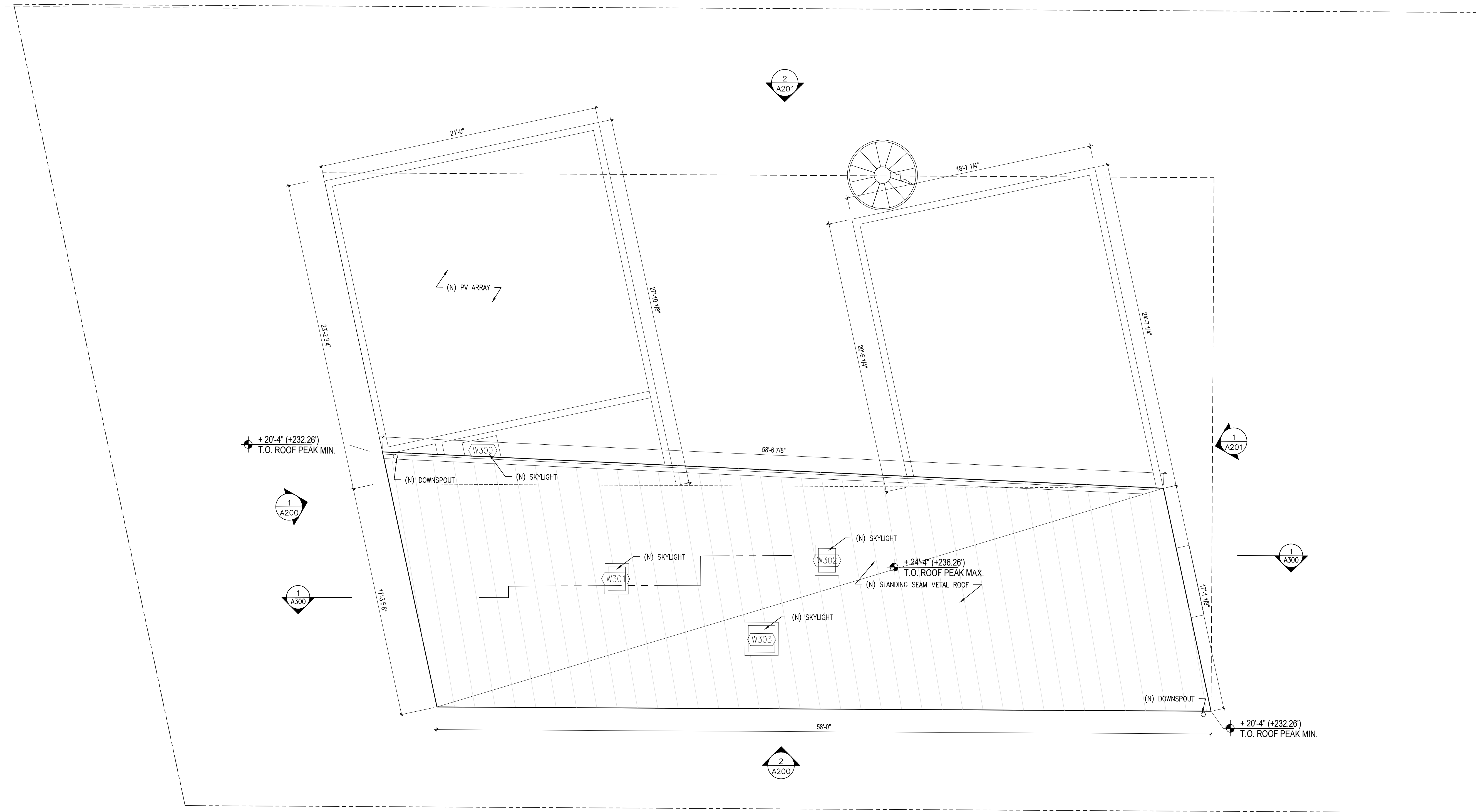
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN - 910.5SF (2640.5 SF TOTAL)

PROPOSED

1
 1/4" = 1'-0"



ROOF PLAN - (2688 SF TOTAL)
 PROPOSED

1
 1/4" = 1'-0"

MASSCHELEIN
 RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

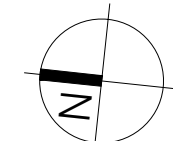
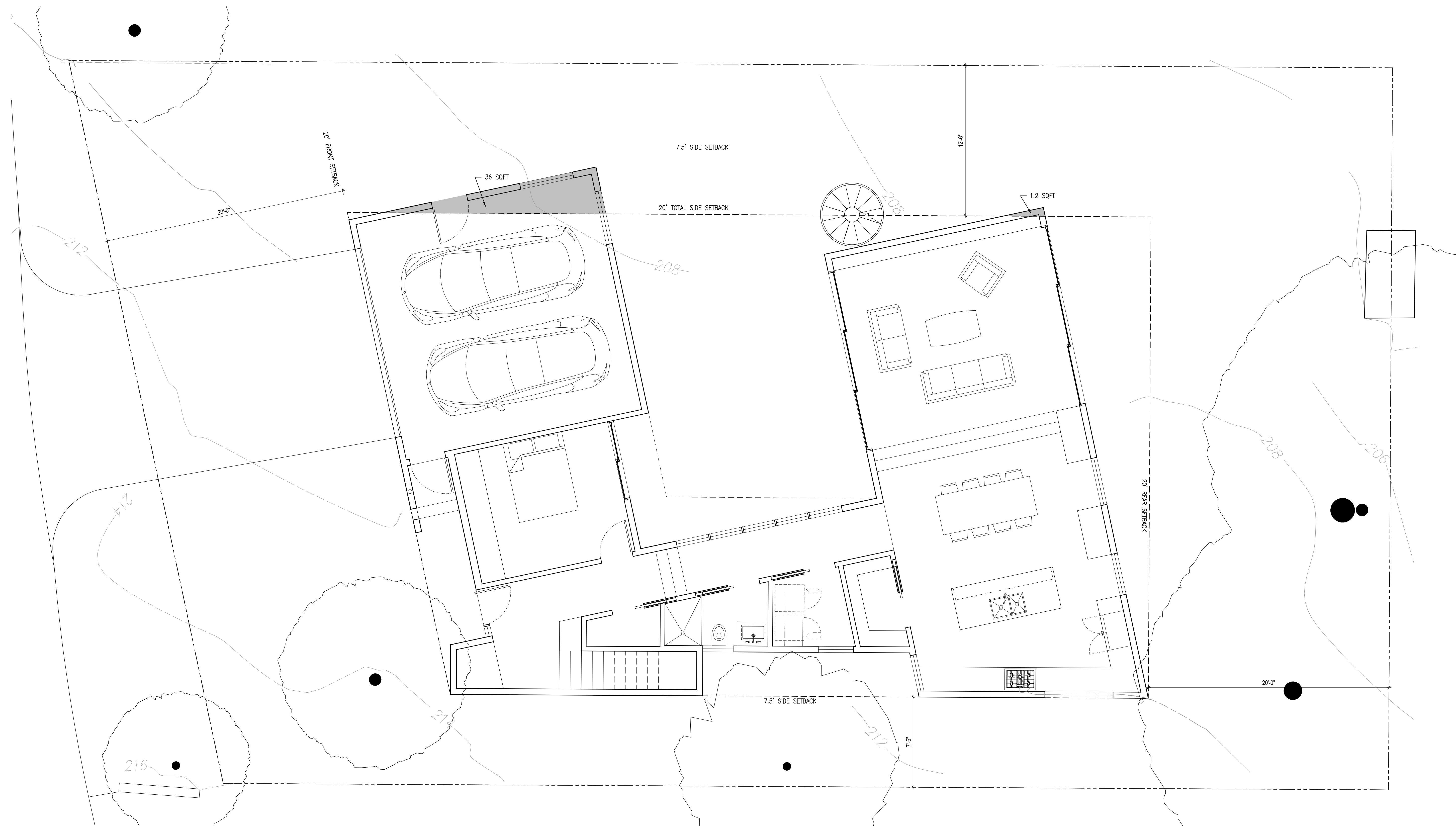
PLANS - PROPOSED -
 ROOF PLAN

Date: November 15, 2021
 Drawn By: JF
 Checked By: DS

A102

Scale: 1/4" = 1'-0"

GENERAL NOTES:
 - ALL DIMENSIONS ON THIS SHEET ARE TAKEN FROM FINISH SURFACES U.N.O.



FIRST FLOOR PLAN (37.2 SF OVER SETBACK)
 PROPOSED

1
 1/4" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

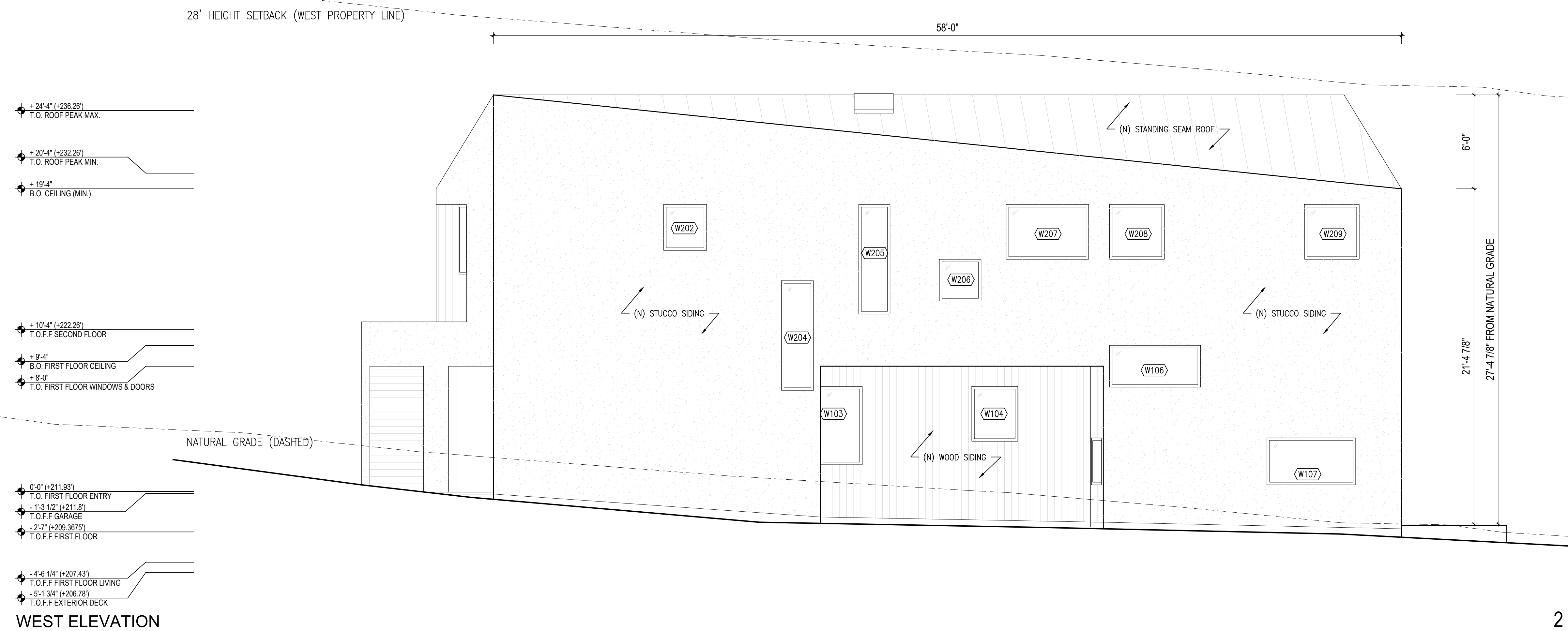
PLANNING PERMIT SET

PLANS - DIAGRAMS

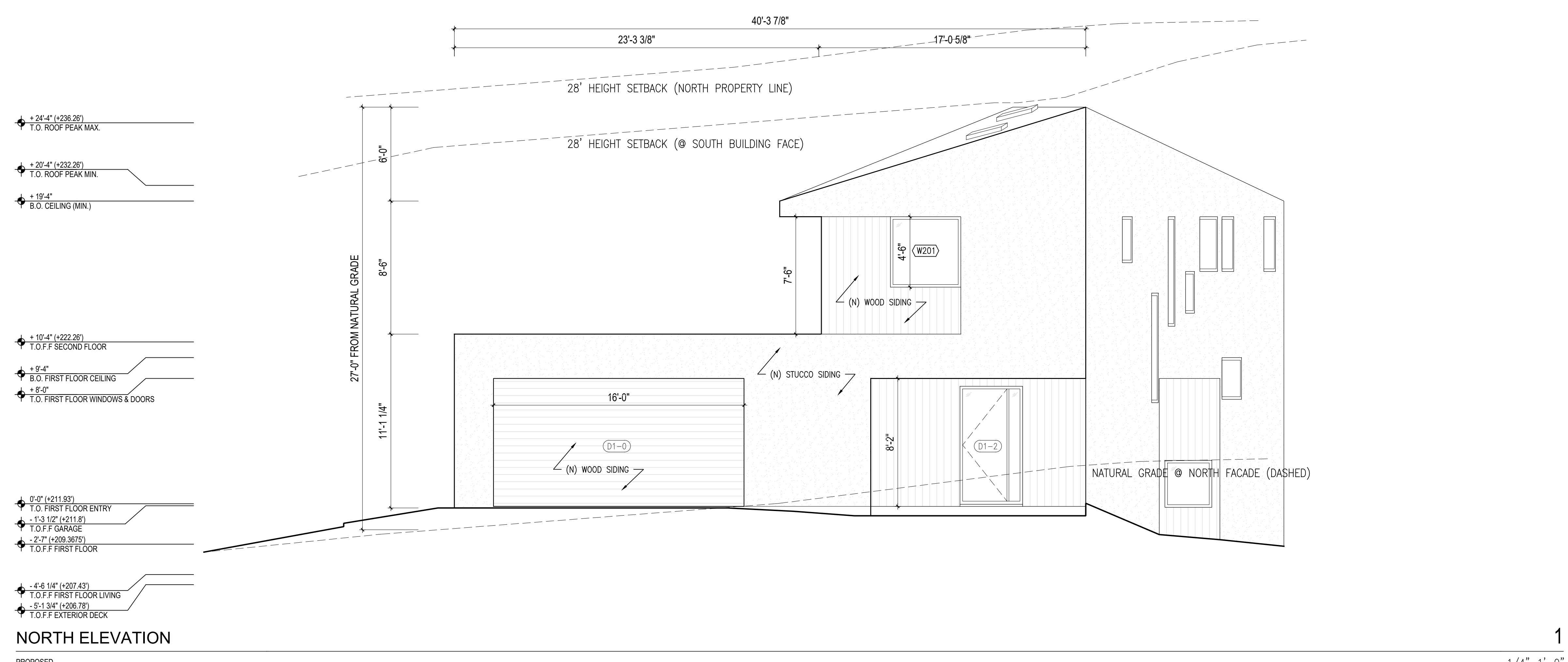
Date: November 15, 2021
 Drawn By: JF
 Checked By: DS

A111

Scale: 1/4" = 1'-0"



WEST ELEVATION 2
 PROPOSED 1/4" = 1'-0"



NORTH ELEVATION 1
 PROPOSED 1/4" = 1'-0"

MASSCHELEIN RESIDENCE

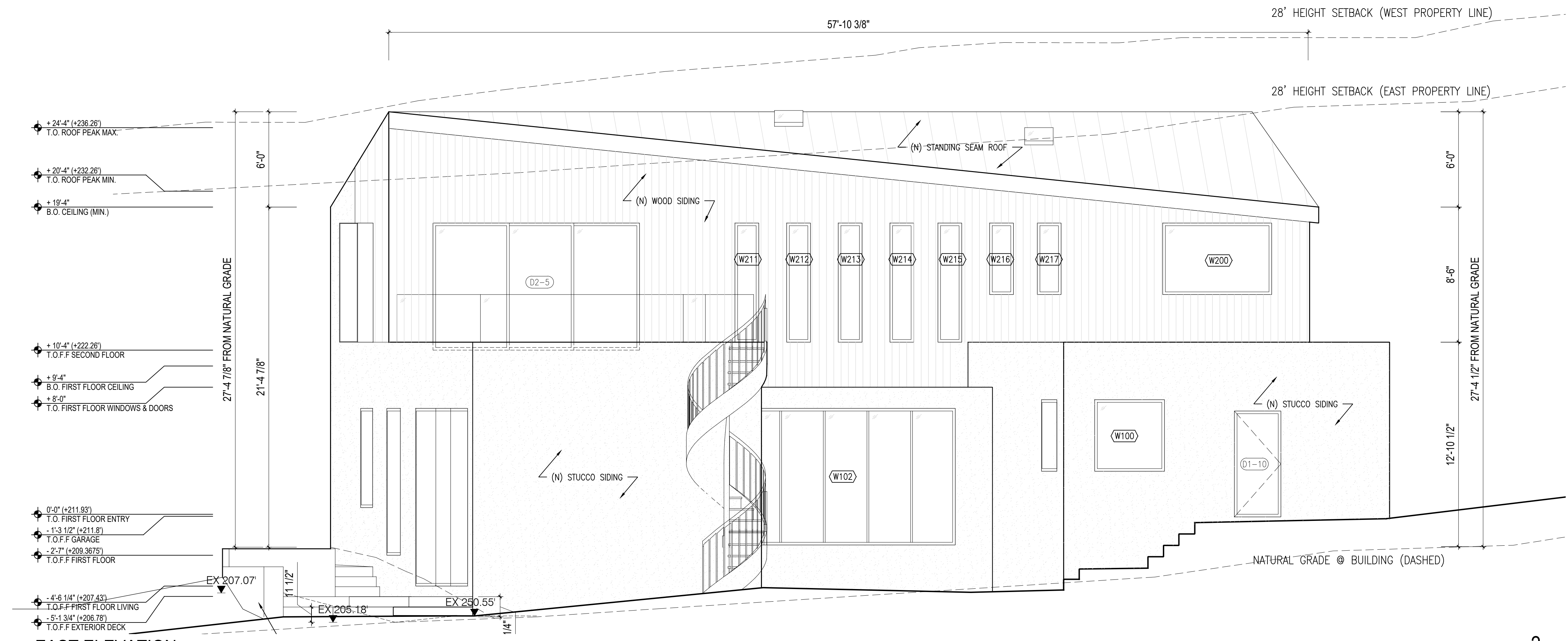
434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

ELEVATIONS - PROPOSED

Date: November 15, 2021
 Drawn By: JF
 Checked By: DS

A200
 Scale: 1/4" = 1'-0"

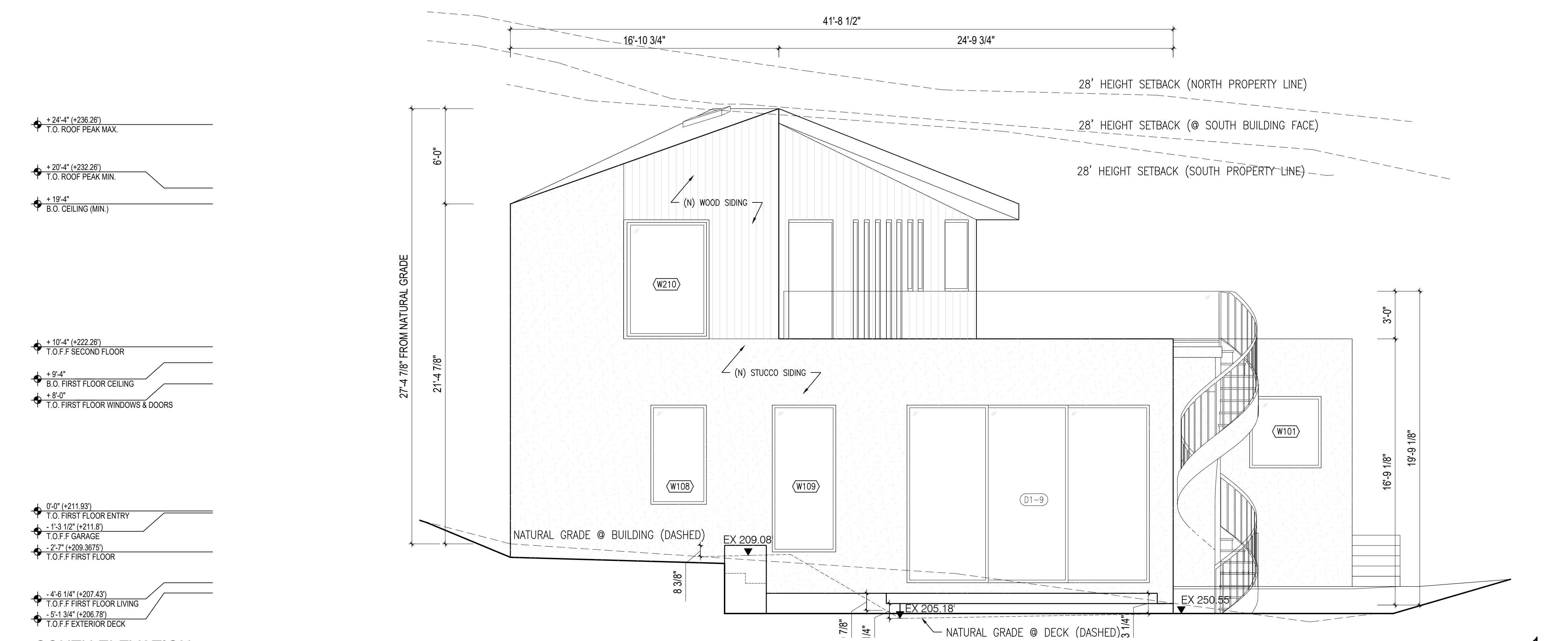


EAST ELEVATION

PROPOSED

2

1/4" = 1'-0"



SOUTH ELEVATION

PROPOSED

1

1/4" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

ELEVATIONS - PROPOSED

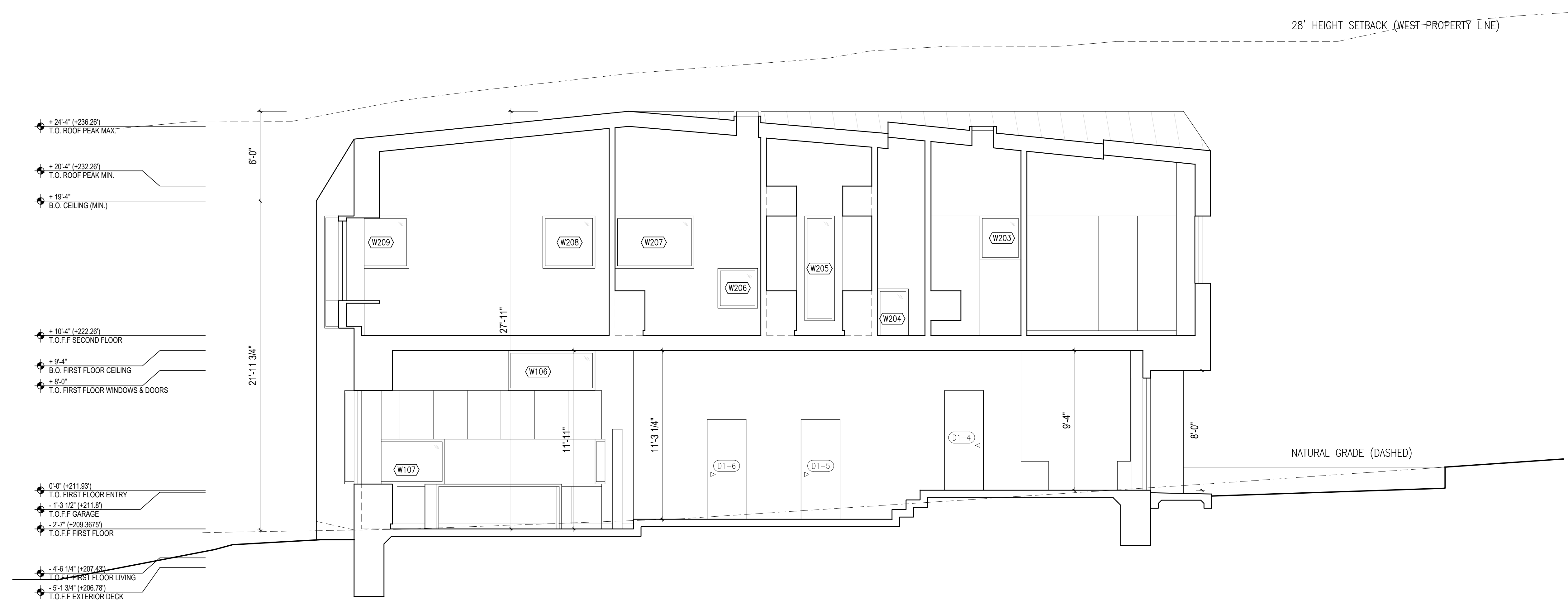
Date: November 15, 2021

Drawn By: JF

Checked By: DS

A201

Scale: 1/4" = 1'-0"



- ◆ + 24'-4" (+236.26')
T.O. ROOF PEAK MAX.
- ◆ + 20'-4" (+232.26')
T.O. ROOF PEAK MIN.
- ◆ + 19'-4"
B.O. CEILING (MIN.)
- ◆ + 10'-4" (+222.26')
T.O.F.F. SECOND FLOOR
- ◆ + 9'-4"
B.O. FIRST FLOOR CEILING
- ◆ + 8'-0"
T.O. FIRST FLOOR WINDOWS & DOORS
- ◆ 0'-0" (+211.93')
T.O. FIRST FLOOR ENTRY
- ◆ -1'-3 1/2" (+211.81)
T.O.F.F. GARAGE
- ◆ -2'-7" (+209.3675)
T.O.F.F. FIRST FLOOR
- ◆ -4'-6 1/4" (+207.453)
T.O.F.F. FIRST FLOOR LIVING
- ◆ -5'-1 3/4" (+206.78')
T.O.F.F. EXTERIOR DECK

LONG SECTION
 PROPOSED

**MASSCHELEIN
 RESIDENCE**

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SECTIONS - PROPOSED

Date: November 2, 2021
 Drawn By: JF
 Checked By: DS

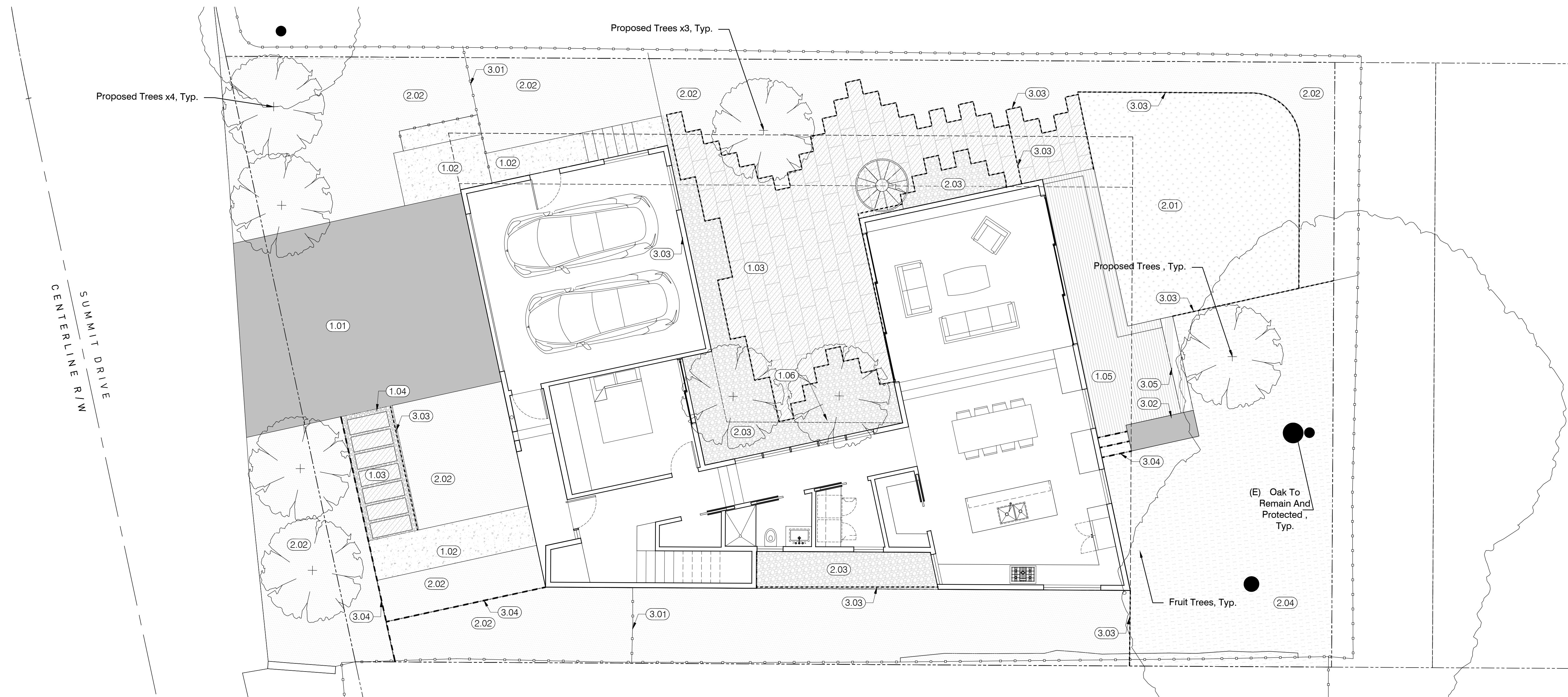
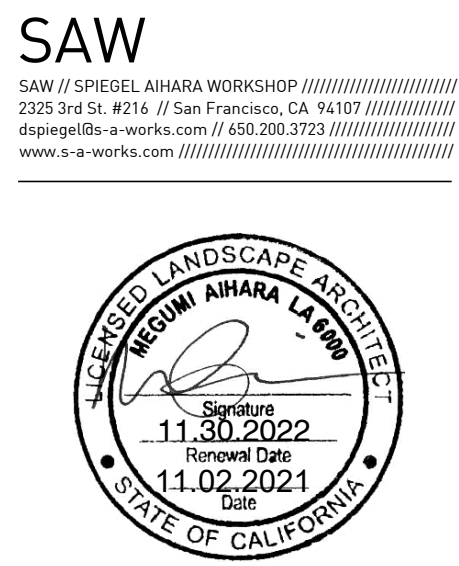
A300
 Scale: 1/4" = 1'-0"

MATERIALS LEGEND

1.00 PAVEMENTS				
NO.	SYMB.	ITEM	DESCRIPTION	AREA /SF
IMPERVIOUS PAVEMENT				
1.01	[Symbol]	CONCRETE DRIVEWAY	New Driveway	468
1.02	[Symbol]	CAST IN PLACE CONCRETE PAVEMENT	CIP Concrete with Integral Color, TBD. Sand Finish or Acid Finish	179
1.03	[Symbol]	PRECAST CONCRETE PAVER	2' X 3' Precast Concrete Paver By Stepstone, Inc. Integrated Color TBD. Light Sandblast Finish	547
1.04	[Symbol]	GRAVEL PAVEMENT	1" Decorative Gravel Over 3" Compacted Base Rock.	23
1.05	[Symbol]	WOOD DECK	Moso Bamboo X-treme® Decking	167
1.06	[Symbol]	NEW BLDG	New building roof line, see arch dwg for details.	1921
TOTAL IMPERVIOUS SURFACES				3305

2.00 PERVIOUS SURFACE				
2.01	[Symbol]	LAWN	Delta Bluegrass No Mow Sod For Front lawn; Low Water Lawn For Rear Lawn	415
2.02	[Symbol]	PLANTING BED	See L400 For Water Budget Calculation	1691
2.03	[Symbol]	GRAVEL MULCH	1" Decorative Gravel Over Planting Soil	296
2.04	[Symbol]	MULCH	3" Mulch Over Existing Grade	680
TOTAL PERVIOUS AREAS				3082
3.00 WALLS, STRUCTURES, MISC				
NO.	SYMB.	ITEM	DESCRIPTION	AREA
3.01	[Symbol]	WOOD FENCE	6' Tall New Entry Wood Fence, color& finish TBD	-
3.02	[Symbol]	BBQ COUNTER WITH GAS GRILL	30" Wide X36" Tall BBQ Counter with Outdoor Gas Grill	-
3.03	[Symbol]	LANDSCAPE EDGE	3/16" x 4" Duraedge or Similar, Black Powdercoat Finish, Typ.	-
3.04	[Symbol]	COR-TEN STEEL WALL	3/16" Duraedge or Similar Cor-ten Steel Plate, Height varies, 36" max height, Spot Weld at Corners, Typ.	-
3.05	[Symbol]	SEATWALL	18" Tall X12" Wide Reinforced CIP Concrete Seatwall	-

- NOTES:**
- SEE A001 FOR PROPOSED UTILITY LOCATIONS
 - SEE L101 FOR IMPERVIOUS AREA AND REHABILITATE LANDSCAPE AREA DIAGRAM.
 - SEE CIVIL DWG C-2 FOR GRADING AND DRAINAGE PLAN.
 - 3" OF MULCH APPLIED ON ALL EXPOSED PLANTING SURFACES.
 - SEE C-0 FOR CUT&FILL CALCULATIONS.
 - I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENCY LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.



N
LANDSCAPE PLAN- PROPOSED
PROPOSED

1
3/16" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

LANDSCAPE PLAN - PROPOSED

Date: November 2, 2021
Drawn By: SL
Checked By: MA

L100
Scale: 3/16" = 1'-0"

TREE INVENTORY

PROPOSED/REPLACEMENT TREES						
SYMBOL	NO.	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE SIZE	
	N1-4	Olive Tree	Olea Europaea	36" box	15-25' tall and 15-20' wide	
	N5-7	Coral bark Japanese Maple	Acer palmatum 'Sango Kaku'	36" box	15-25' tall and 15-20' wide	
	N8	Chinese Dogwood 'Kousa'	Cornus Kousa	36" box	15-20' tall and 10-15' wide	
EXISTING TREES						
NO.	COMMON NAME	SCIENTIFIC NAME	SIZE	Significant	NOTE	ARBORIST REPORT TREE NO.
1	Coast Redwood	Sequoia sempervirens	15.9" DHB	Y	Existing tree to remain and be protected	1
2	Scarlet Oak	Quercus Cocinea	8.0" DHB	Y	Existing tree to be removed	2
3	Coast Redwood	Sequoia sempervirens	11.0" DHB	Y	Existing tree to be removed	3
4	Coast Redwood	Sequoia sempervirens	17.0" DHB	Y	Existing tree to be removed	4
5	Coast Live Oak	Quercus agrifolia	10.0" DHB	Y	Existing tree to be removed	5
6	Coast Live Oak	Quercus agrifolia	21.0" DHB	Y	Existing tree to remain and be protected	6
7	Coast Live Oak	Quercus agrifolia	28.4" DHB	Y	Existing tree to remain and be protected	8

PROPOSED PLANTING ZONES

KEY	AREA	DESCRIPTION	AREA /SF	WATER REQUIREMENT	NOTES
	1. ENTRY GARDEN	Mixed Native Grasses and Shrubs	208	LOW	3' Thick Lyngso Premium Arbor Mulch
	2. NATIVE GRASSES	Native Grasses	504	LOW	3' Thick Lyngso Premium Arbor Mulch
	3. MIXED PLANTING	Mixed Shrubs and Tall Privacy Hedge	564	MEDIUM	3' Thick Lyngso Premium Arbor Mulch
	4. COURTYARD GARDEN	Mixed Shrubs and Grasses	231	MEDIUM	3' Thick Lyngso Premium Arbor Mulch
	5. SHADE GARDEN	Ferns	65	MEDIUM	3' Thick Lyngso Premium Arbor Mulch in Metal Planter
	6. REAR LAWN	Low Water Lawn	524	HIGH	Low Water Lawn
	7. SIDE HEDGE	Bamboo Privacy Screening	523	LOW	3' Thick Lyngso Premium Arbor Mulch in Metal Planter
	8. MULCH	Existing planting to remain	759	N/A	3' Thick Lyngso Premium Arbor Mulch

NOTES:

- Total Landscape Area is 2395 SF = (New landscape:665 SF +rehabilitated landscape:1730 SF). See L101 For diagram of new and rehabilitated landscape areas.
- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- Turf shall not exceed 25% of the landscape area in residential areas.
- No turf permitted in non-residential areas.
- Turf not permitted on slopes greater than 25%.
- *Turf is prohibited in parkways less than 10 feet wide.

SAW

SAW // SPIEGEL ARHARA WORKSHOP
 2325 3rd St. #216 // San Francisco, CA 94107
 415.269.3723
 www.s-a-works.com



PLANTING PLAN- PROPOSED

PROPOSED

1
 3/16" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

PLANTING PLAN - PROPOSED

Date: November 2, 2021

Drawn By: SL

Checked By: MA

L400

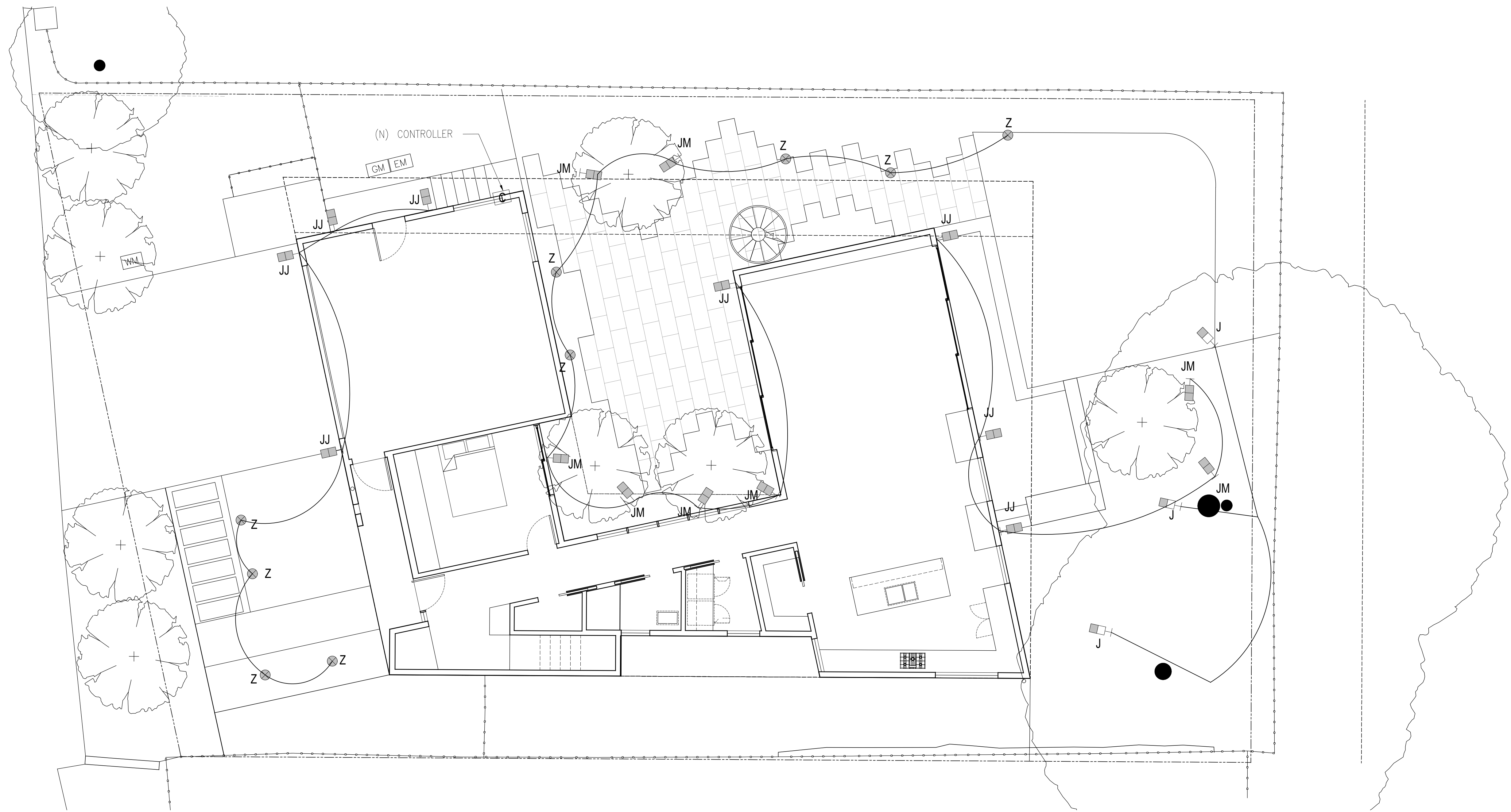
Scale: 3/16" = 1'-0"



PROPOSED LIGHTING SCHEDULE

SYM	KEY	DESCRIPTION	MANUFACTURER	MODEL	SPEC	LAMP	WATT / VOLT	QTY	NOTES
J	J	TREE DOWN LIGHT	FX Luminaire	DE LED Down Light	LIGHT: DE - ZD - 6LED - FB(Black)	LED	10-15 VOLT	3	Tree Mount Hardware necessary - use long stainless steel screws or a Tree Strap Mount, contractor's option.
JJ	JJ	DOWN LIGHT	FX Luminaire	JB LED Down Light	LIGHT: JB - ZD - FB (Black)	LED	10-15 VOLT	8	
JM	JM	UP LIGHT - MINI	FX Luminaire	OZ LED Up Light	LIGHT: OZ - ZD - 1LED - FB (Black)	LED	10-15 VOLT	8	
⊙ Z	Z	PATH LIGHT	WAC Lighting	Balance Path Light	LIGHT: 6061-27BZ (Bronze)	LED	10-15 VOLT	9	

SYMBOL	KEY	DESCRIPTION	MANUFACTURER	MODEL	SPEC	LAMP	WATT / VOLT	QTY	NOTES
C	C	CONTROLLER	FX Luminaire	Luxor	LUX - 300 - SS (Stainless steel)			1	FX Luminaire controller



LIGHTING PLAN - PROPOSED
 PROPOSED

MASSCHELEIN
 RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

PROPOSED LIGHTING
 PLAN

Date: November 20, 2021

Drawn By: SL

Checked By: MA

LL100

Scale: 3/16" = 1' - 0"



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

COLOR/MATERIAL BOARDS

BUILDING

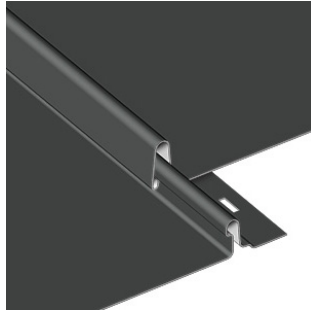


Smooth Stucco
Finish, Light Grey



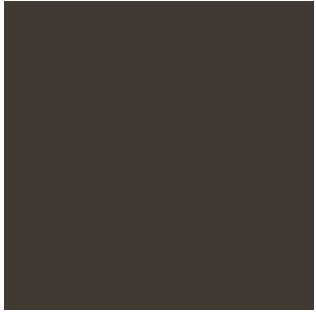
1X6 Western Red
Cedar Siding, Natural
Stain

ROOF



Standing Seam Metal
Roof, Grey, Low
Reflectivity

WINDOW



Aluminum - Bronze
Anodized



Low emissivity
with 0.25 U-Factor

RAILING

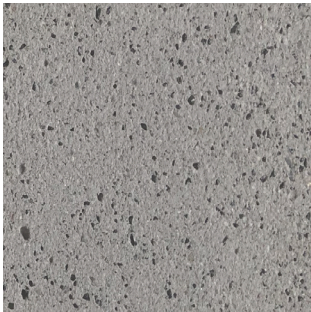


Glass Railing

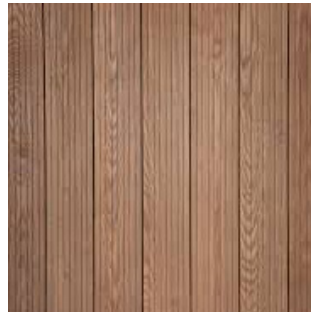
SITE COLOR (LANDSCAPE)



Asphalt Driveway



Stepstone Paver Porce-
lain w/Slag (1413) Light
Sandblast



Composite Decking:
Moso X-treme Bamboo
Decking, WUI Certified



Gravel

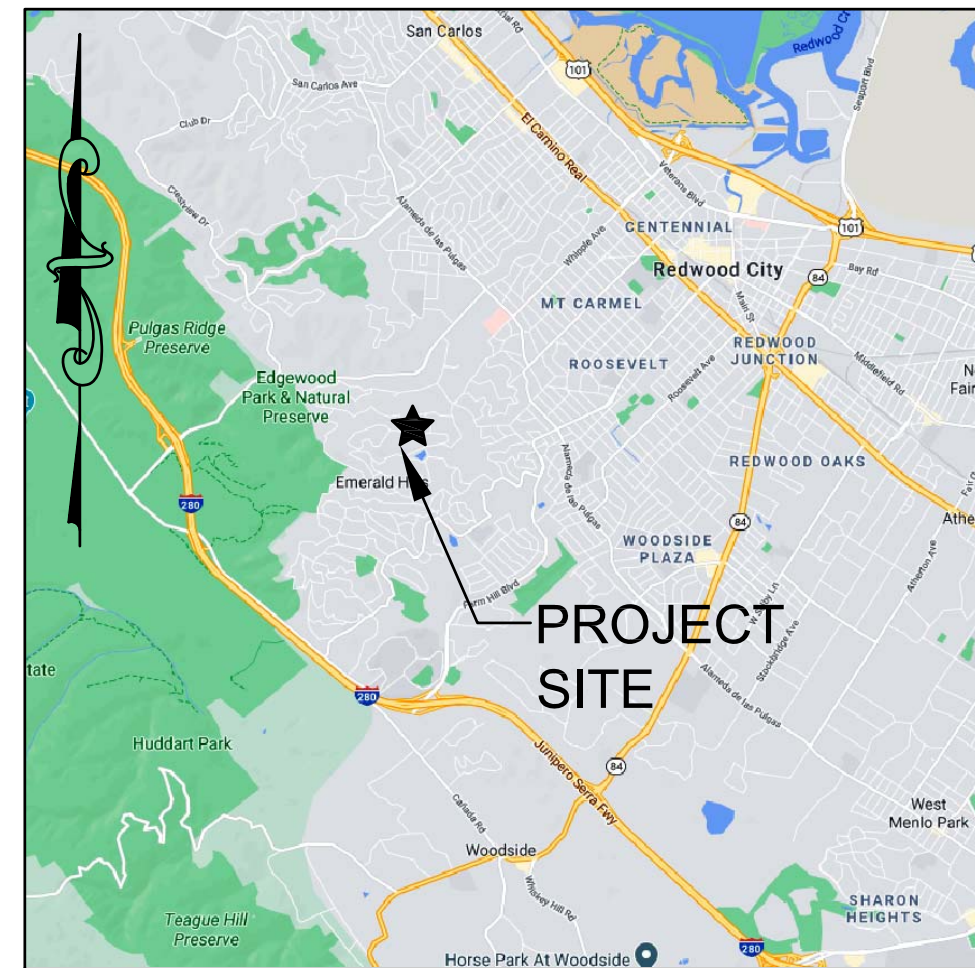


Corten steel
retaining wall

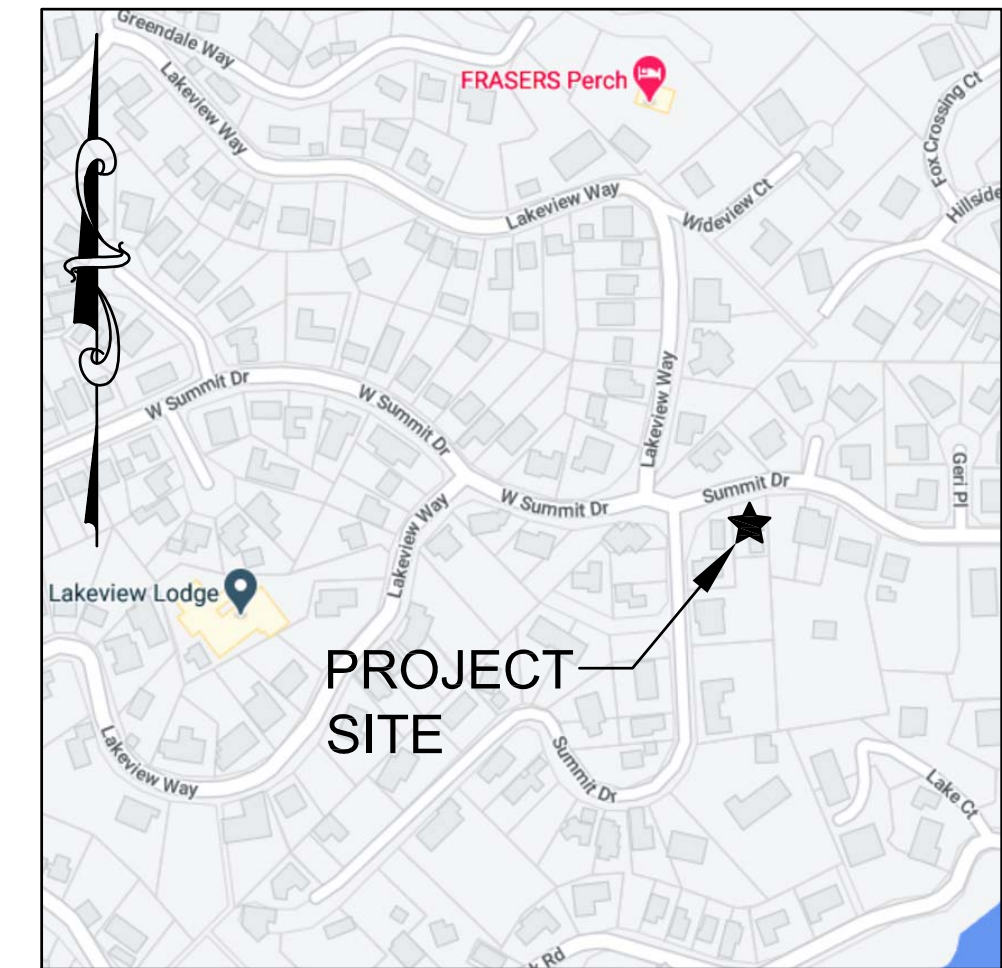


COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE

EMERALD HILLS (SMCO), CA 94062

JF LASHGARI
NO. 83-118319

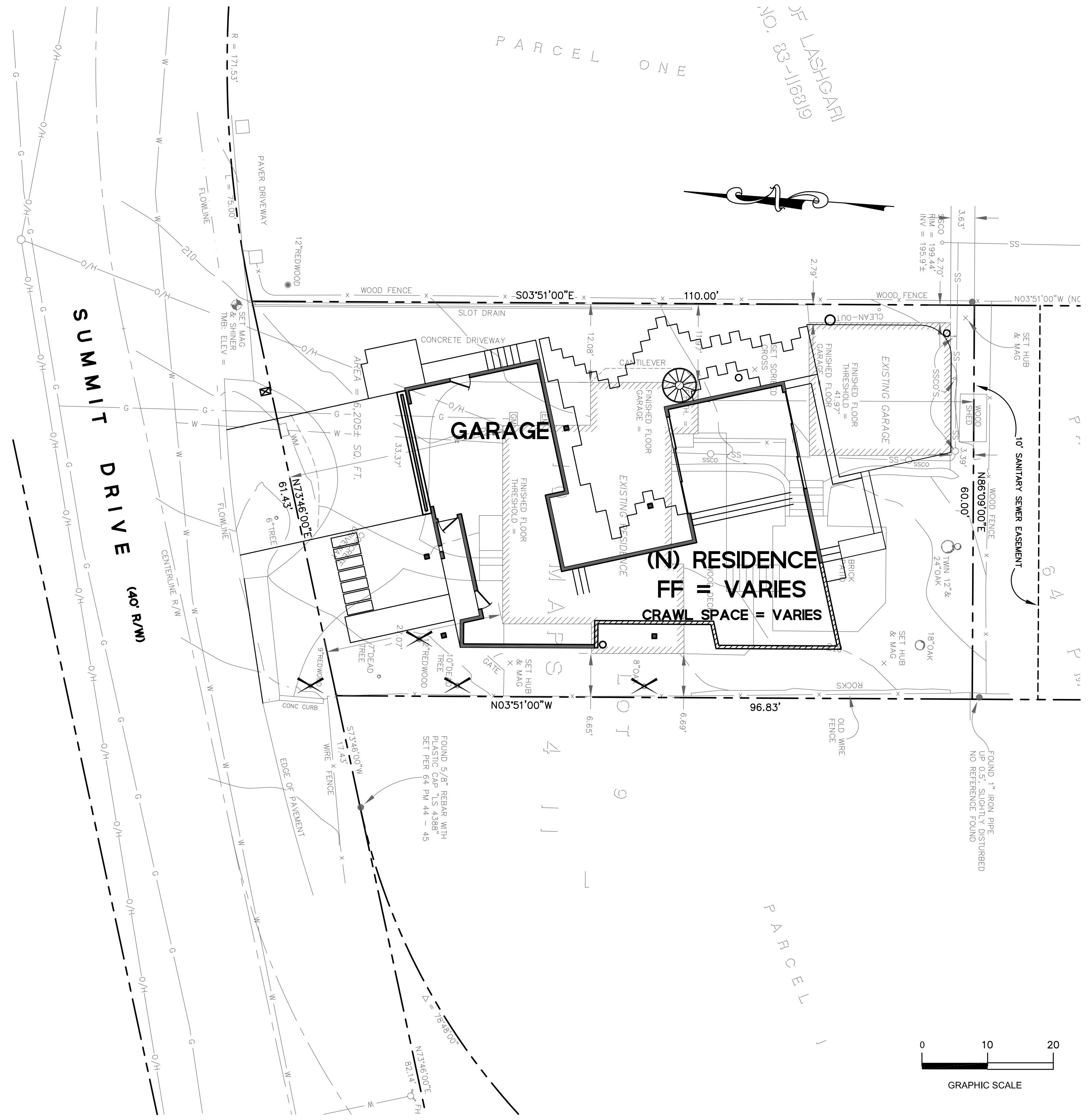
ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

EARTHWORK QUANTITIES

CUT	205 C.Y.
FILL	130 C.Y.
TOTAL TO BE MOVED	335 C.Y.
BALANCE	75 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.



LEGEND:

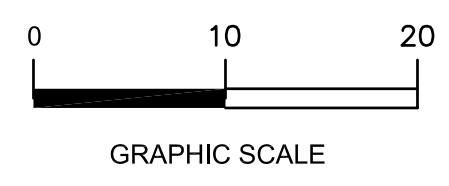
EXISTING	PROPOSED	DESCRIPTION
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
	SD	STORM SUB-DRAIN (PERFORATED PIPE)
	SD	TRANSITION FROM PERF. PIPE TO SOLID PIPE
FM	FM	FORCE MAIN
FW	FW	FIRE WATER LINE
W	W	DOMESTIC WATER SERVICE
IRR	IRR	IRRIGATION SERVICE
G	G	NATURAL GAS
E	E	ELECTRIC
JT	JT	JOINT TRENCH
X	X	FENCE
		CLEAN OUT
		DOUBLE DETECTOR CHECK VALVE
		POST INDICATOR VALVE
		VALVE
		METER BOX
		STREET LIGHT
		AREA DRAIN
		CATCH BASIN
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		BENCHMARK
		MANHOLE
		SIGN
		DOWNSPOUT
		SPLASH BLOCK
		CONTOURS
		PROPERTY LINE
		SETBACK
		GRASS SWALE
		RETAINING WALL/ BUILDING STEMWALL
		(E) TREE TO BE REMOVED

SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-1	NOTES SHEET
C-2	GRADING AND UTILITY PLAN
C-3	EROSION AND SEDIMENT CONTROL PLAN
C-3.1	BEST MANAGEMENT PRACTICES (BMPs)
C-3.2	TREE PROTECTION PLAN
C-4	DETAIL SHEET
C-4.1	DETAIL SHEET

HYDROLOGY

(E) IMPERVIOUS AREA	(N) IMPERVIOUS AREA	REQUIRED STORAGE VOL.	STORAGE VOL. PROVIDED
3,565 SF	2,931 SF	216 CF	233 CF

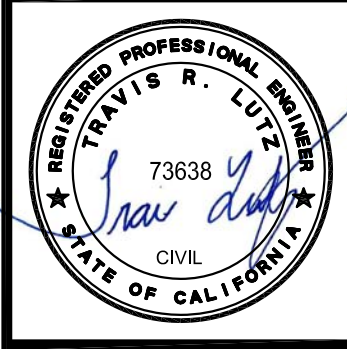


PRECISION ENGINEERING AND CONSTRUCTION
1331 Old County Road, Suite B
Belmont, CA 94002
T: 650.226.8640
Travis@precision-ec.com

DATE: 12/02/2021

REVISIONS:

SITE REVISIONS



TITLE SHEET
MASSCHELEIN RESIDENCE
434 SUMMIT DRIVE
EMERALD HILLS (SMCO), CA 94062

Date: 04/05/2021

Scale: AS SHOWN

Design: AJP

Check: TRL

Drawing Number: C-0

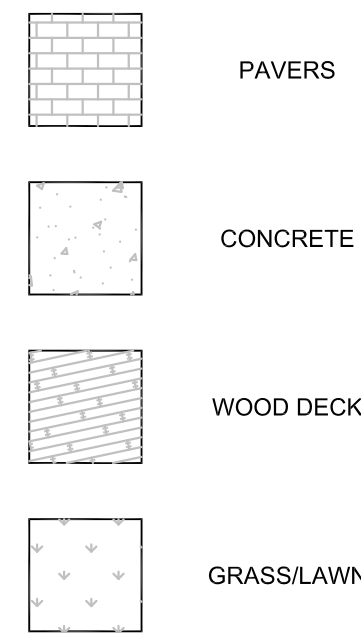
PEC Job No.: PEC 21-012



Small vertical text at the bottom left corner, likely a project or file reference.

PAVEMENT LEGEND:

SEE GEOTECHNICAL REPORT IF ONE EXISTS FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.



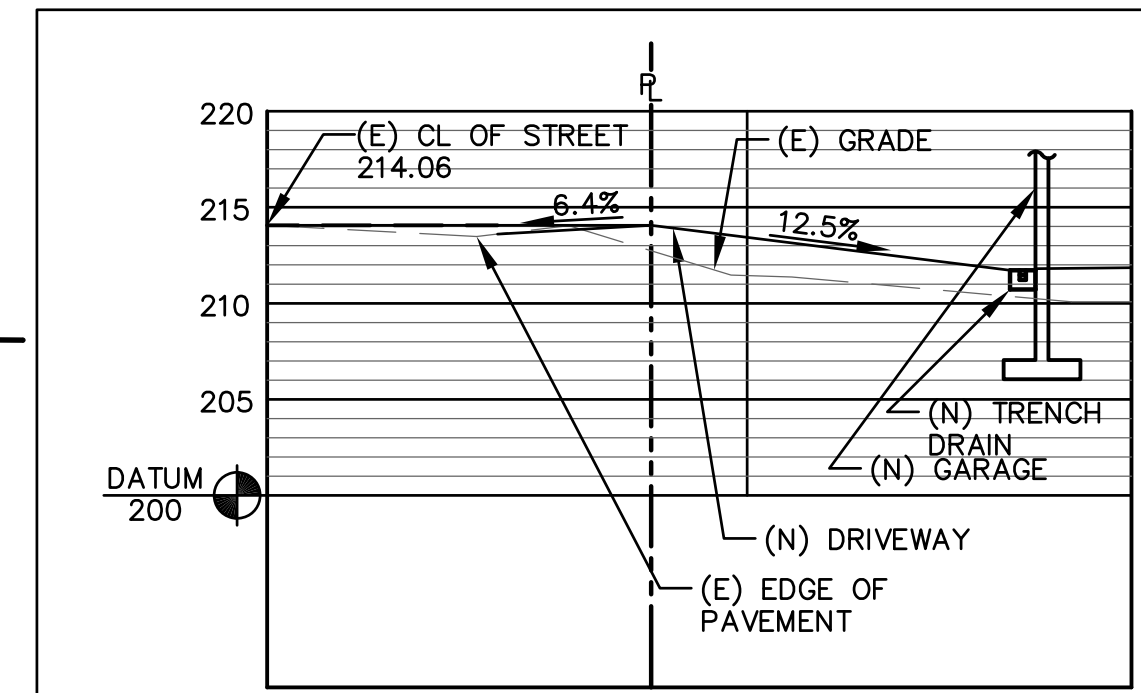
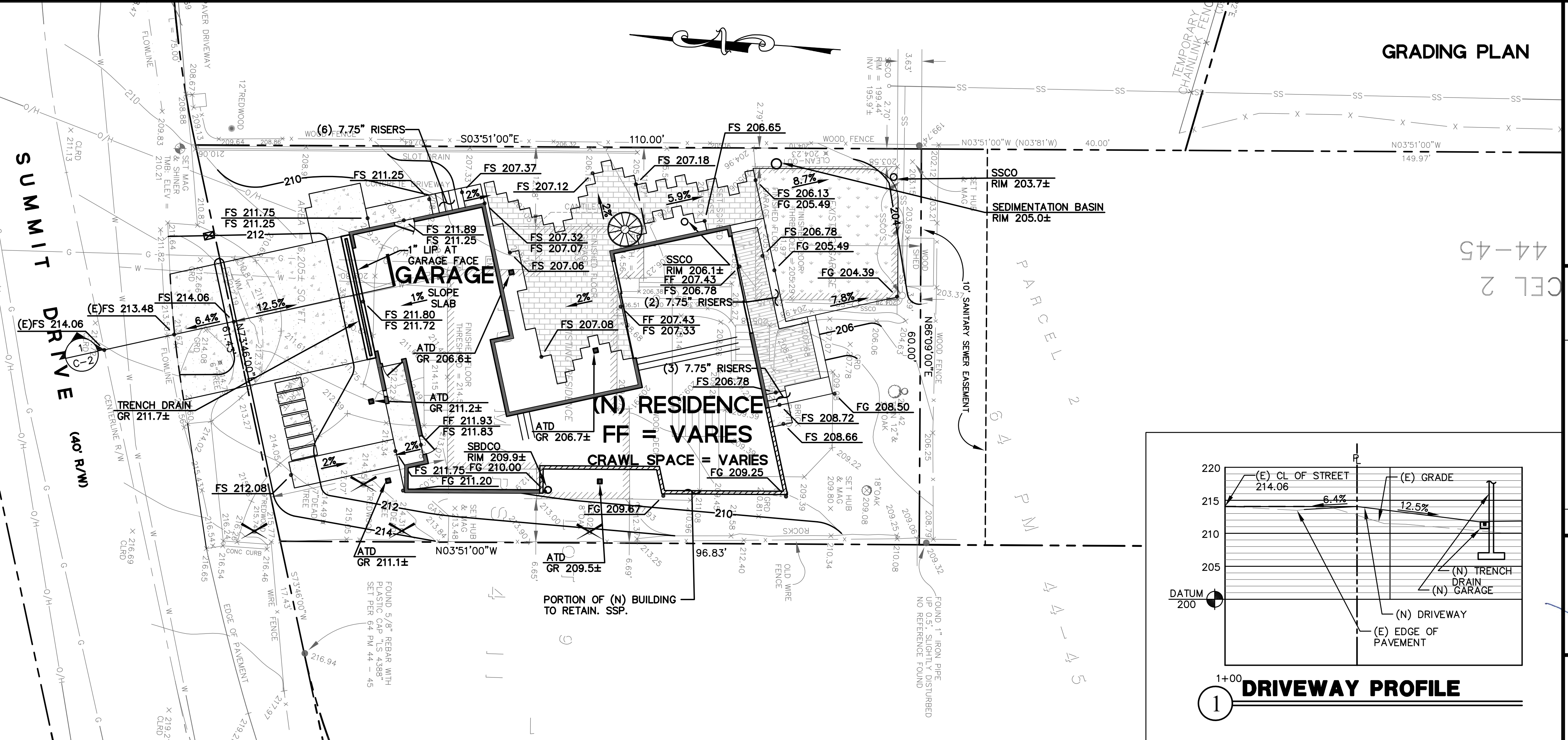
PAVER UNIT OVER A THIN LEVELING COURSE OF SAND OVER 6" MIN OF CLASS II AGGREGATE BASE. INSTALL PER MANUFACTURERS RECOMMENDATIONS. COLOR AND TYPE TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. INSTALL EDGE CONSTRAINT SUCH AS A FLUSH CURB. SAP.

4" CONCRETE W/#4 BARS 12" O.C. - EACH WAY OVER 8" OF CALTRANS CLASS II AGGREGATE BASE ROCK.

SAP

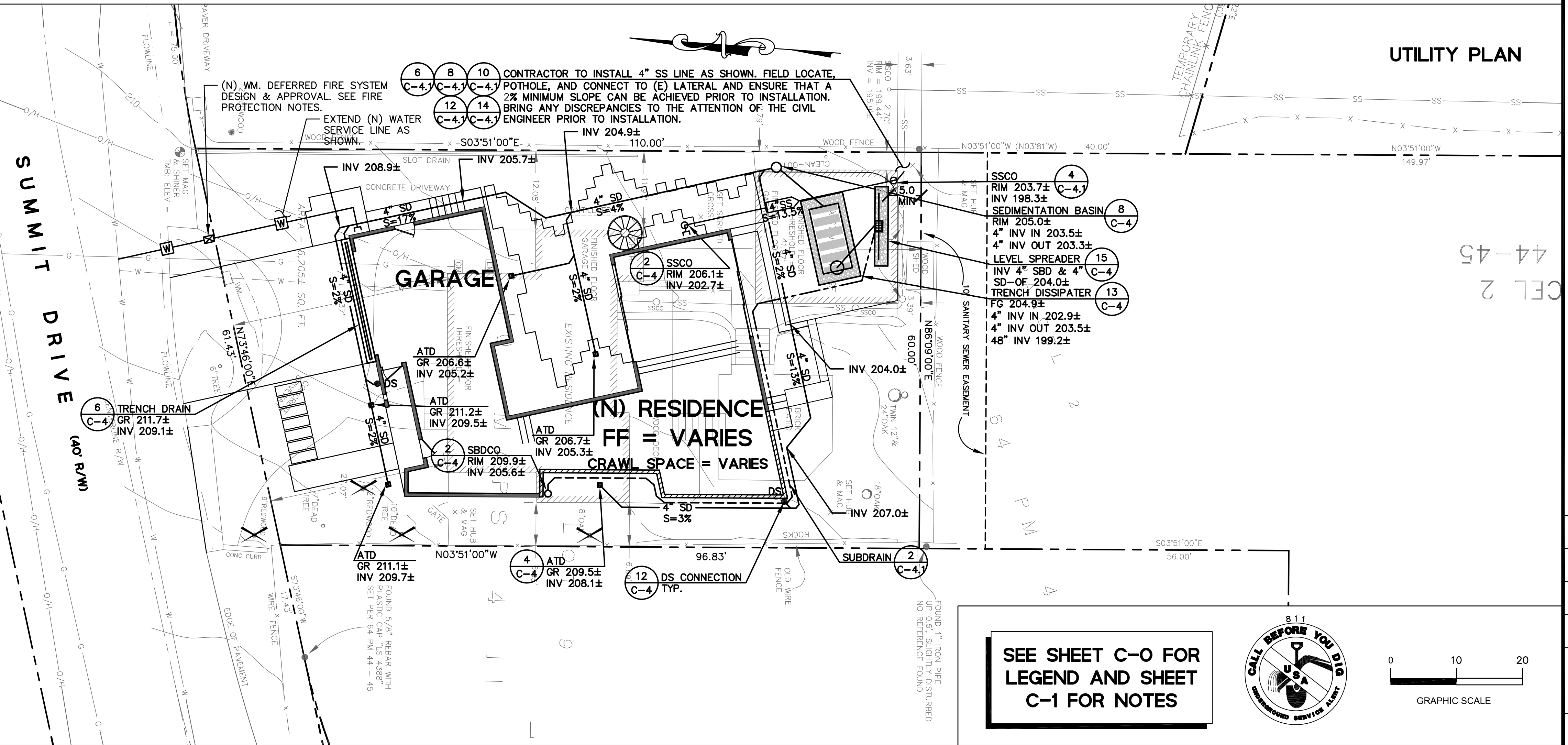
SAP

GRADING PLAN

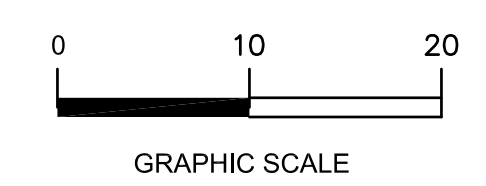


1 DRIVEWAY PROFILE

UTILITY PLAN



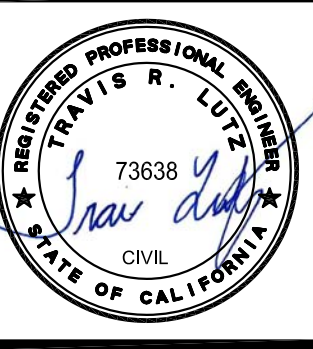
SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



PRECISION ENGINEERING AND CONSTRUCTION
 1331 Old County Road, Suite B
 Belmont, CA 94002
 T: 650.226.8640
 Travis@precision-ec.com

DATE: 12/02/2021

REVISIONS:	SITE REVISIONS



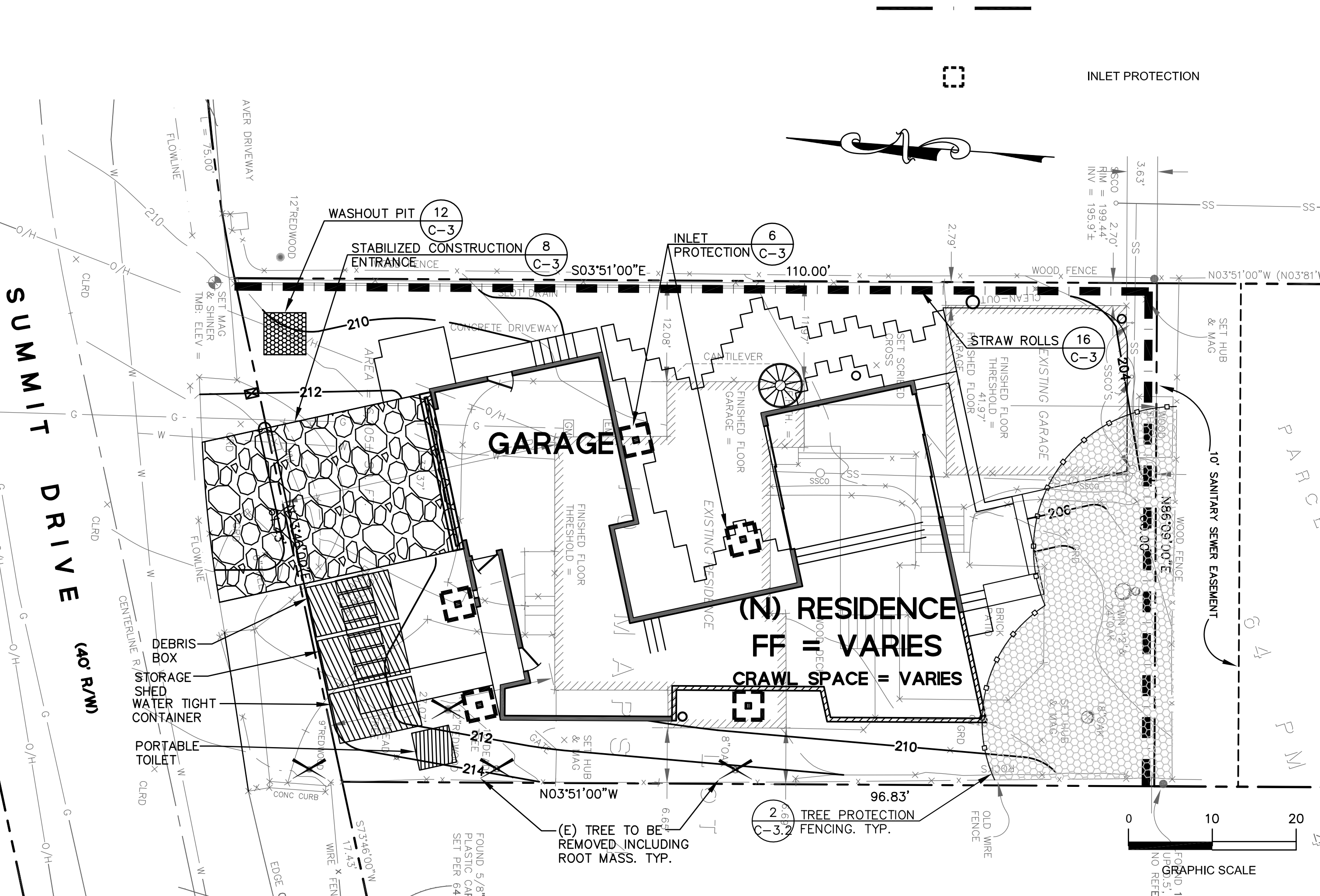
GRADING AND UTILITY PLAN
MASSCHELEIN RESIDENCE
434 SUMMIT DRIVE
EMERALD HILLS (SMCO), CA 94062

Date: 04/05/2021
 Scale: 1" = 10'
 Design: AJP
 Check: TRL
 Drawing Number: **C-2**
 PEC Job No.: PEC 21-012

04/05/2021 11:43:00 AM Project: 1144030301/PEC 21-012 - 434 Summit Dr, Emerald Hills, (SMCO) 94062 Date: 04/05/2021
 PLOT: 1144030301/PEC 21-012

EC POINT OF CONTACT: TO BE DETERMINED
CONSTRUCTION SCHEDULE: ANTICIPATED CONSTRUCTION DURATION 18 MONTHS

EC SYMBOL LEGEND:

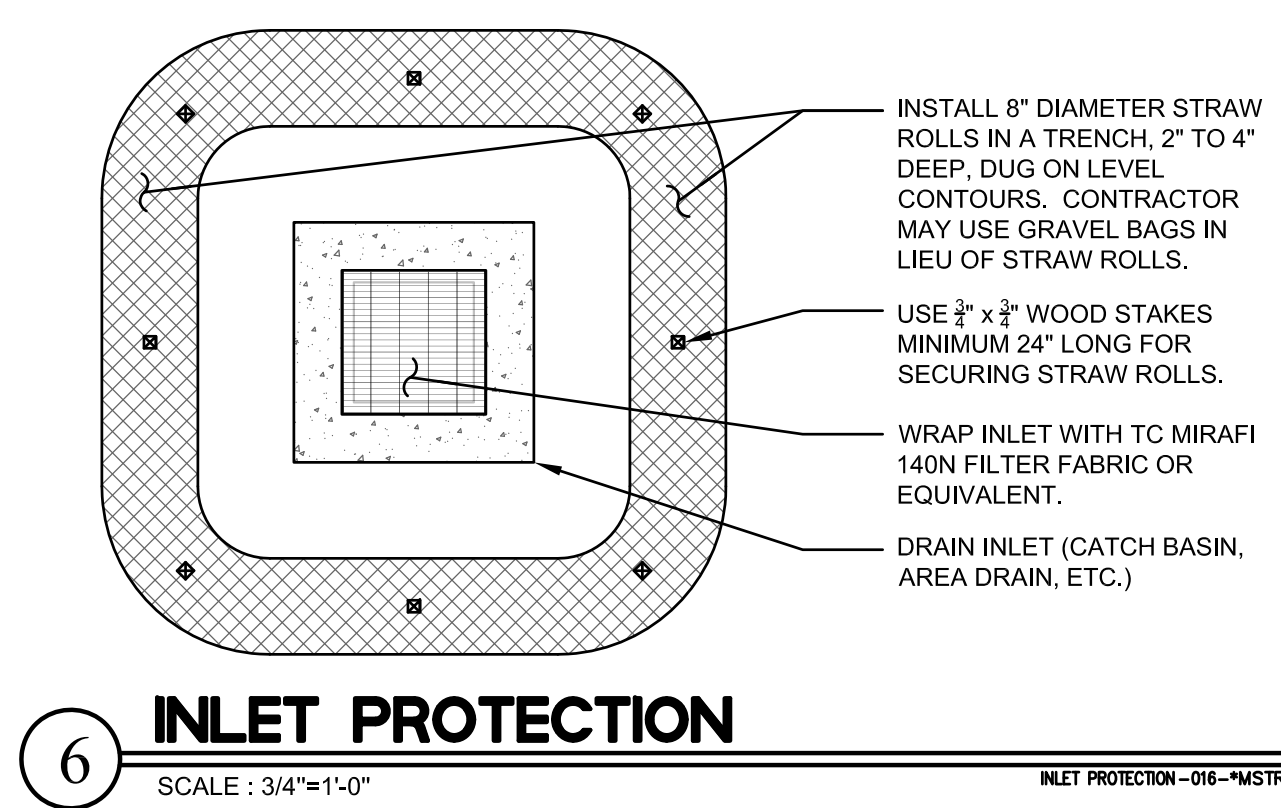


EROSION AND SEDIMENTATION CONTROL NOTES:

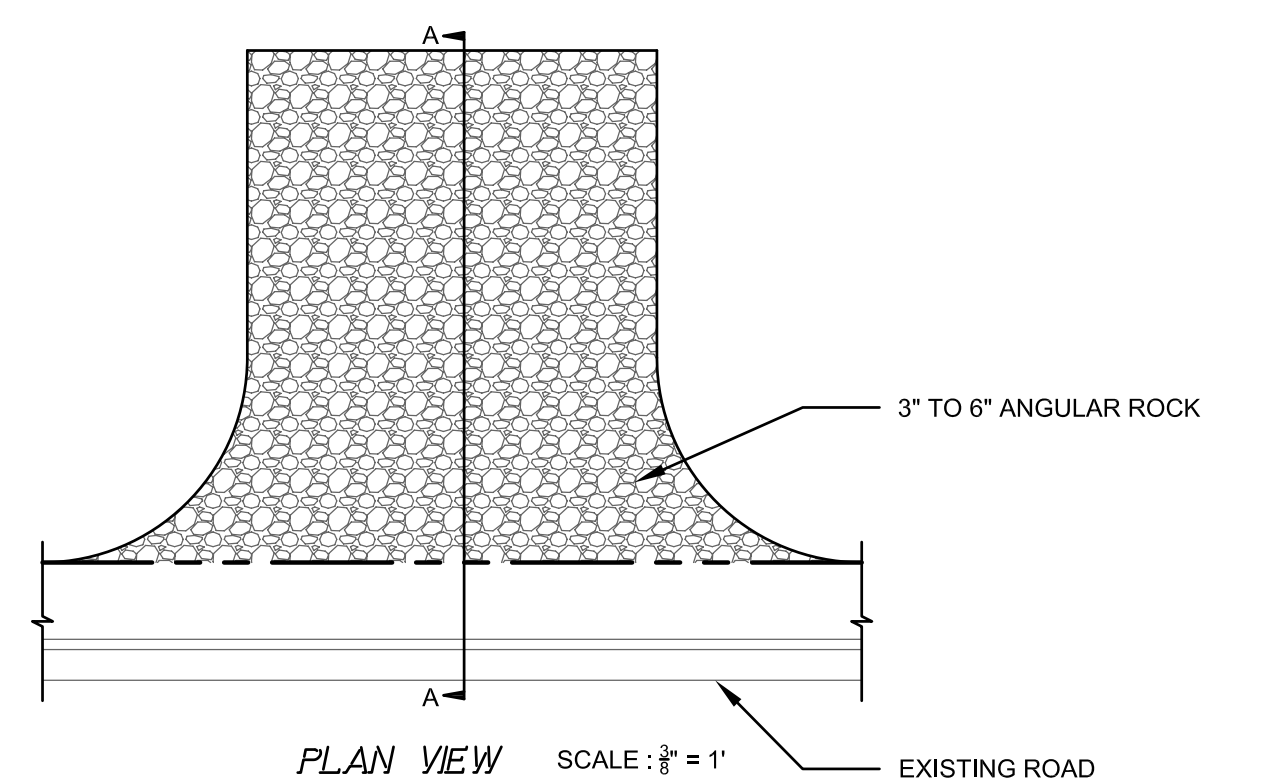
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED, BY OCTOBER 1st AND SHALL CONTINUE IN EFFECT UNTIL APRIL 30th OR UNTIL INSTALLATION OF THE PERMANENT SITE IMPROVEMENTS.
- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN WHICH ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS IN THE STREET AND FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- NECESSARY EROSION CONTROL MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.
- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY GREYSTONE WEST AND/OR THE DISTRICT IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).

EROSION AND SEDIMENTATION CONTROL NOTES CONT.:

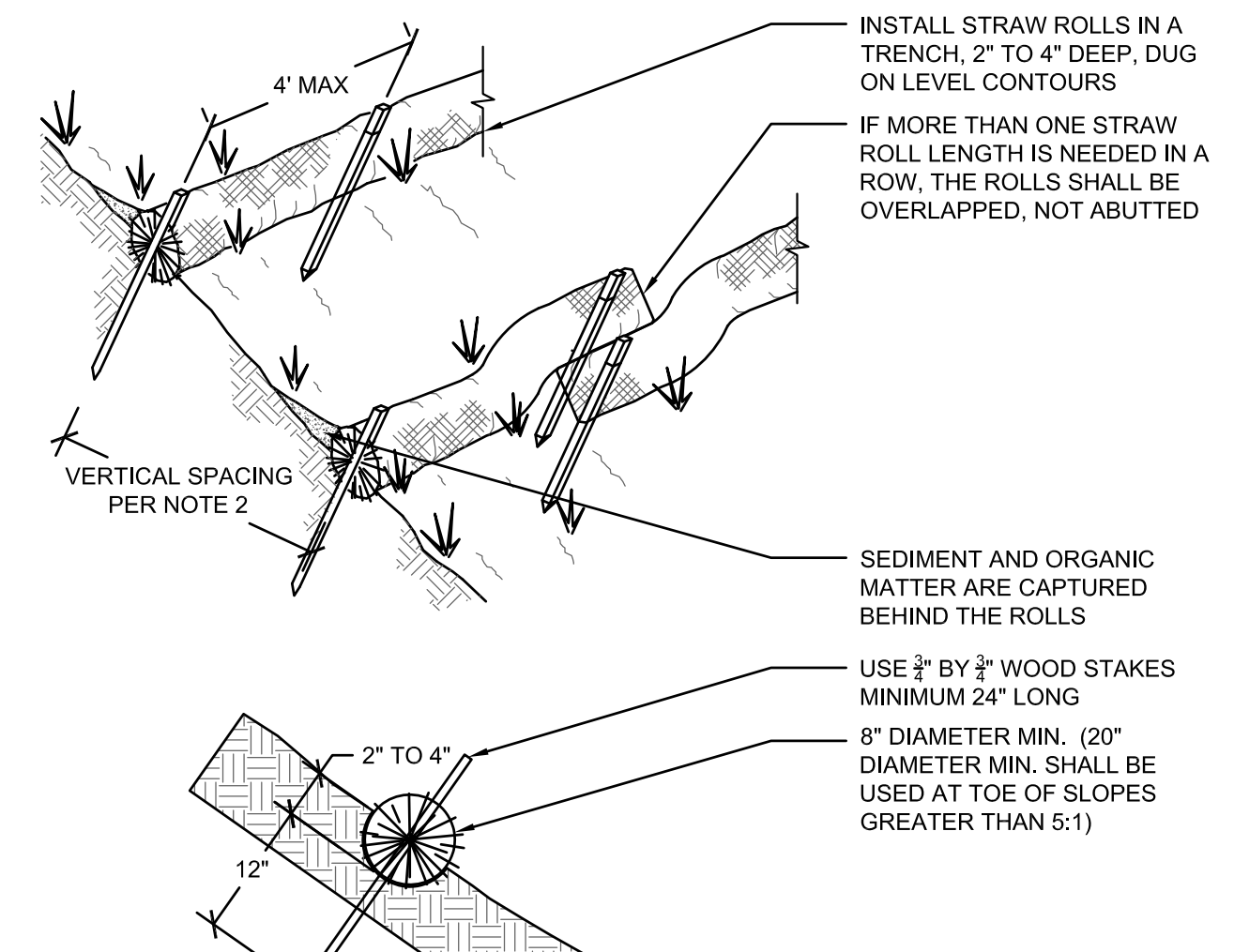
- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE WATERED AS NECESSARY TO PREVENT DUST NOISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE HOME OWNER RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA VEHICLE TRAFFIC, SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. COVER STOCKPILED MATERIAL WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULINS OR OTHER EFFECTIVE COVERS.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ALL CONSTRUCTION IMPROVEMENTS SHALL ADHERE TO NPDES NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN AND HOME OWNER. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE RIGHT-OF-WAY IS PERMITTED.
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.
- THE CONTRACTOR SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR EROSION CONTROL PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OF COUNTY STORM DRAIN SYSTEMS.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION WITH PROPERLY INSTALLED INLET FILTERS.
- SILT FENCE(S) AND FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15 AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO ENSURE THEIR PROPER FUNCTION.
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS. (LIST LOCATIONS).
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.



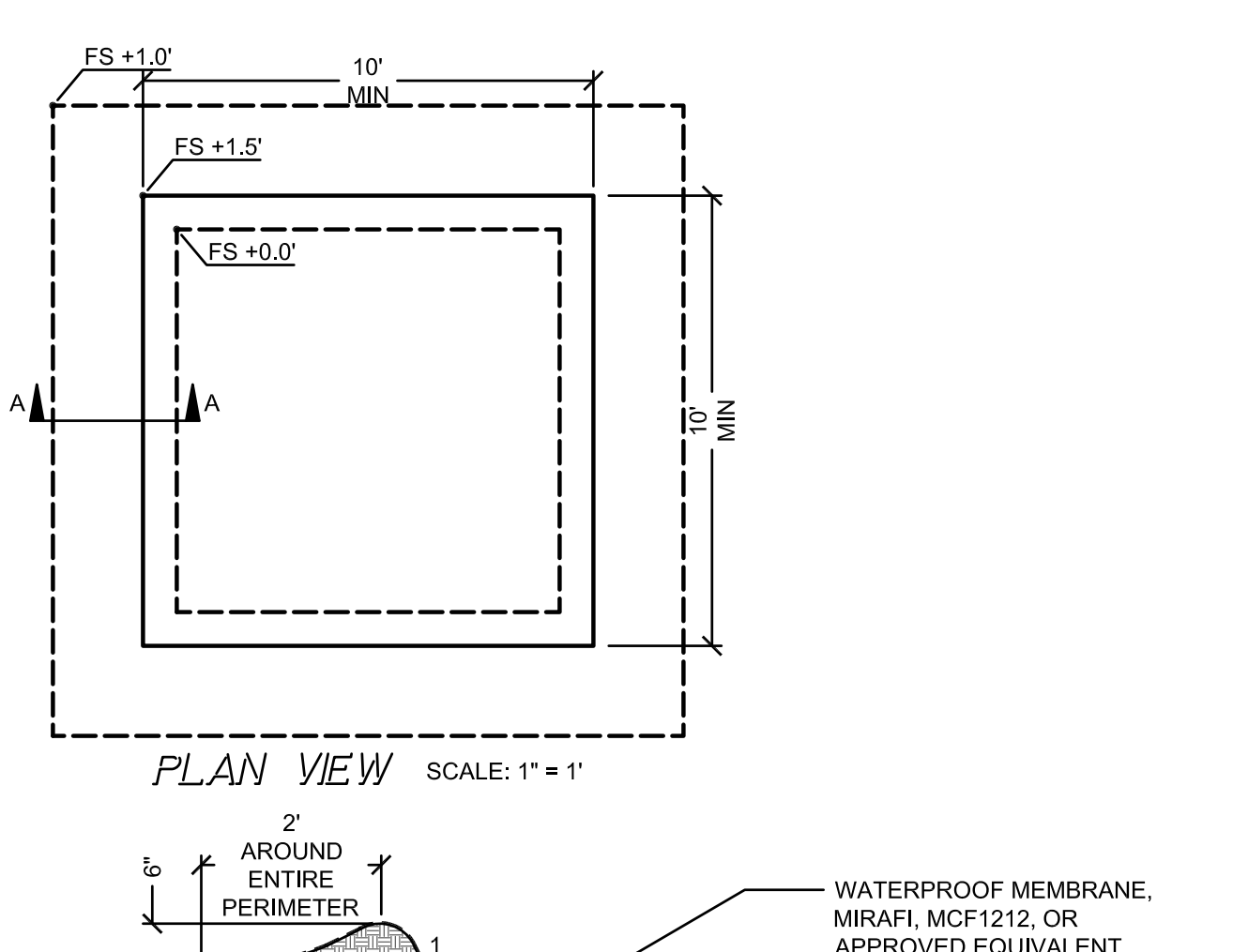
6 INLET PROTECTION
SCALE: 3/4"=1'-0"



8 GRAVEL CONSTRUCTION ENTRANCE
SCALE: AS SHOWN



16 STRAW ROLL
SCALE: 3/4"=1'-0"



12 TEMPORARY WASHOUT PIT
SCALE: AS SHOWN

- NOTES:**
- INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
 - SPACE STRAW ROLLS AS FOLLOWS:
 - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 - SLOPE OF 2:1 OR GREATER = 10 FEET APART
 - INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
 - IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

- NOTES:**
- LOCATE AWAY FROM STORM DRAIN INLETS, DRAINAGE FACILITIES, OR WATERCOURSES. DO NOT DISCHARGE WASH WATER TO STORM DRAINS OR WATERCOURSES.
 - BERM UP EDGES AS SHOWN IN SECTION A-A TO CONTAIN WASH WATERS AND TO PREVENT RUNON AND RUNOFF.
 - IF WASH WATER REACHES WITHIN 3" OF THE TOP OF BERM, CONTRACTOR SHALL UTILIZE SUMP PUMP AND DESILTING BASIN TO REMOVE SEDIMENT LADEN WASH WATER.

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



PRECISION ENGINEERING AND CONSTRUCTION
 1331 Old County Road, Suite B
 Belmont, CA 94002
 T: 650.226.8640
 Travis@precision-ec.com

DATE: 12/02/2021
 REVISIONS: SITE REVISIONS

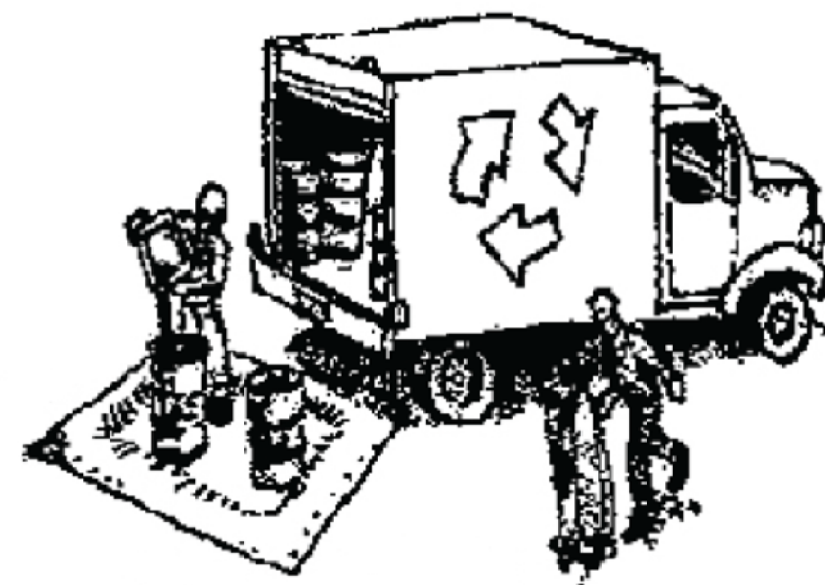
EROSION AND SEDIMENT CONTROL PLAN
MASSCHELEIN RESIDENCE
434 SUMMIT DRIVE
EMERALD HILLS (SMCO), CA 94062

Date: 04/05/2021
 Scale: AS SHOWN
 Design: AJP
 Check: TRL
 Drawing Number: C-3
 PEC Job No.: PEC 21-012

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

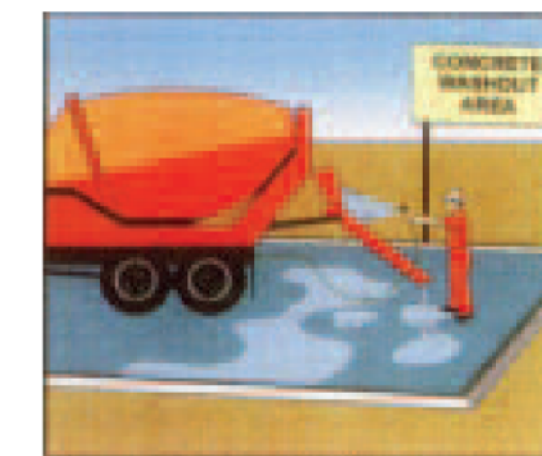


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



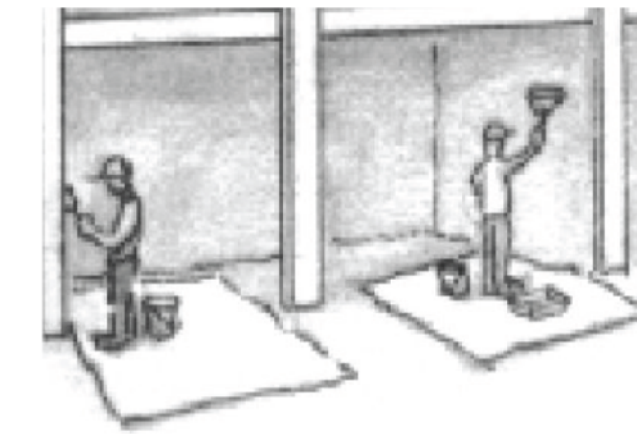
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

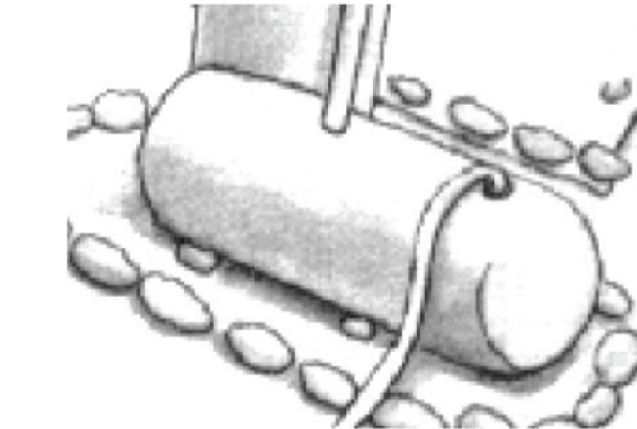
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

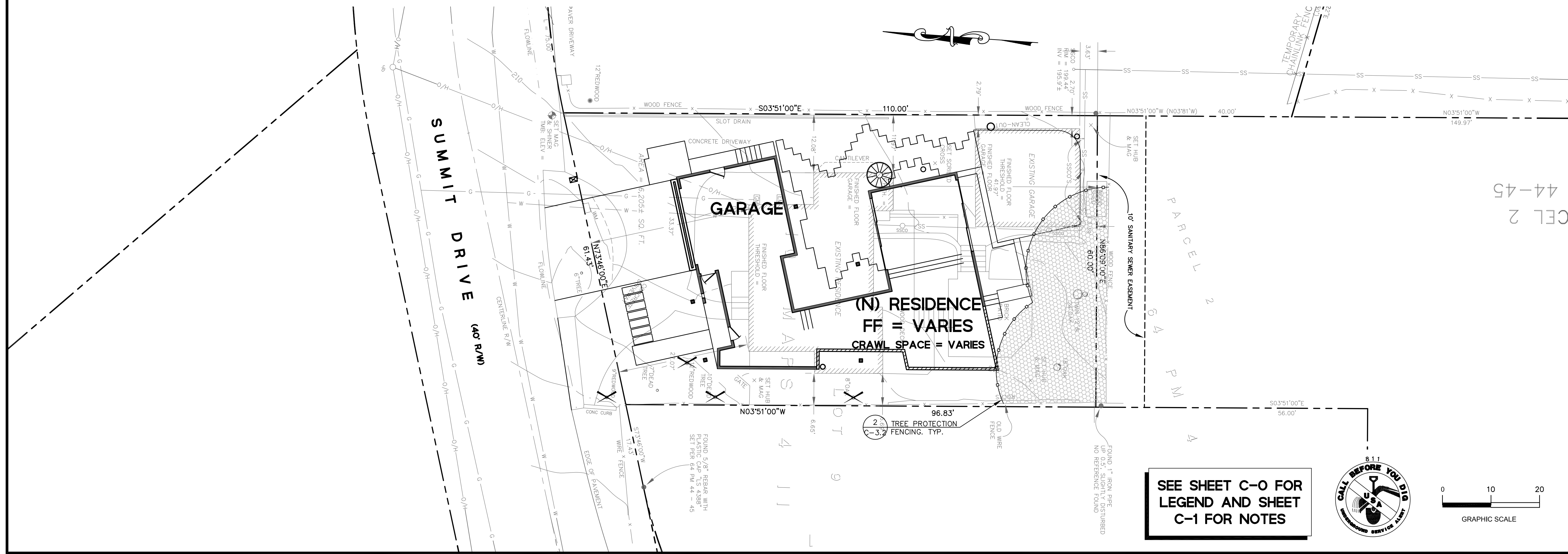
Dewatering



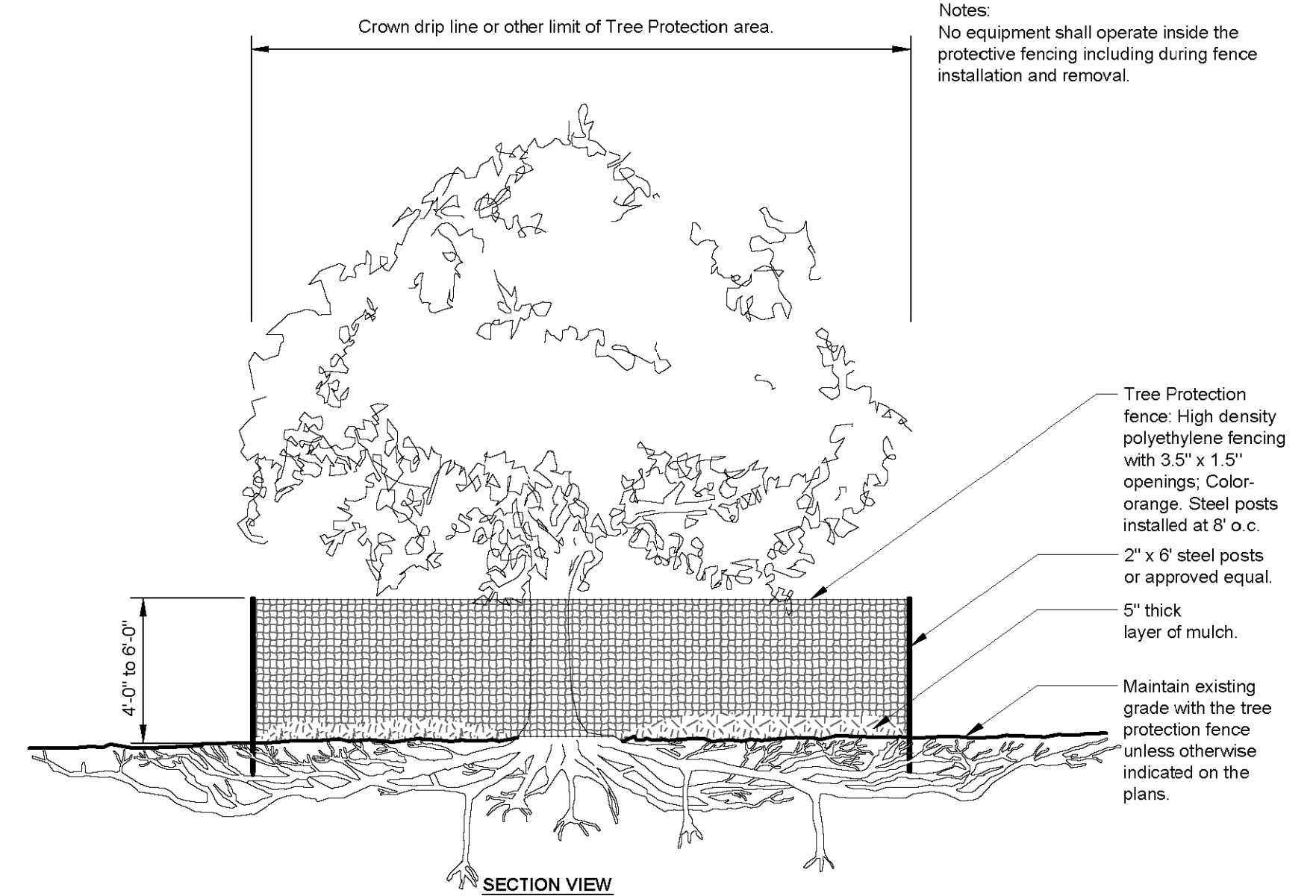
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

DATE: 04/05/2021
 DRAWING NAME: TREE PROTECTION PLAN
 PROJECT: 21-012

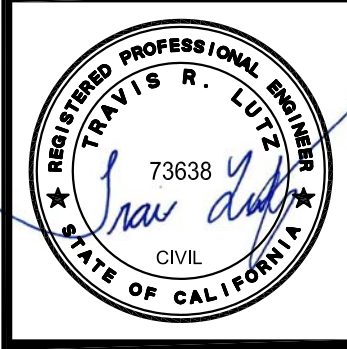


2 TREE PROTECTION



Notes:
 No equipment shall operate inside the protective fencing including during fence installation and removal.

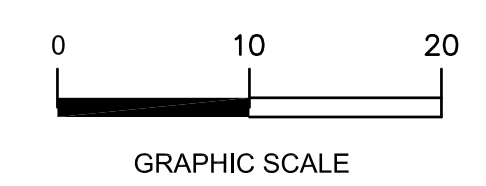
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REVISIONS:	SITE REVISIONS



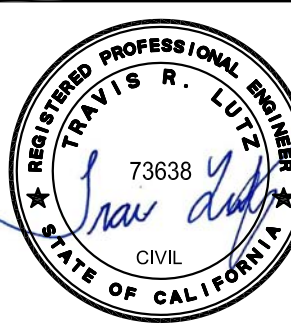
TREE PROTECTION PLAN
MASSCHELEIN RESIDENCE
434 SUMMIT DRIVE
EMERALD HILLS (SMCO), CA 94062

Date:	04/05/2021
Scale:	1" = 10'
Design:	AJP
Check:	TRL
Drawing Number:	C-3.2
PEC Job No.:	PEC 21-012

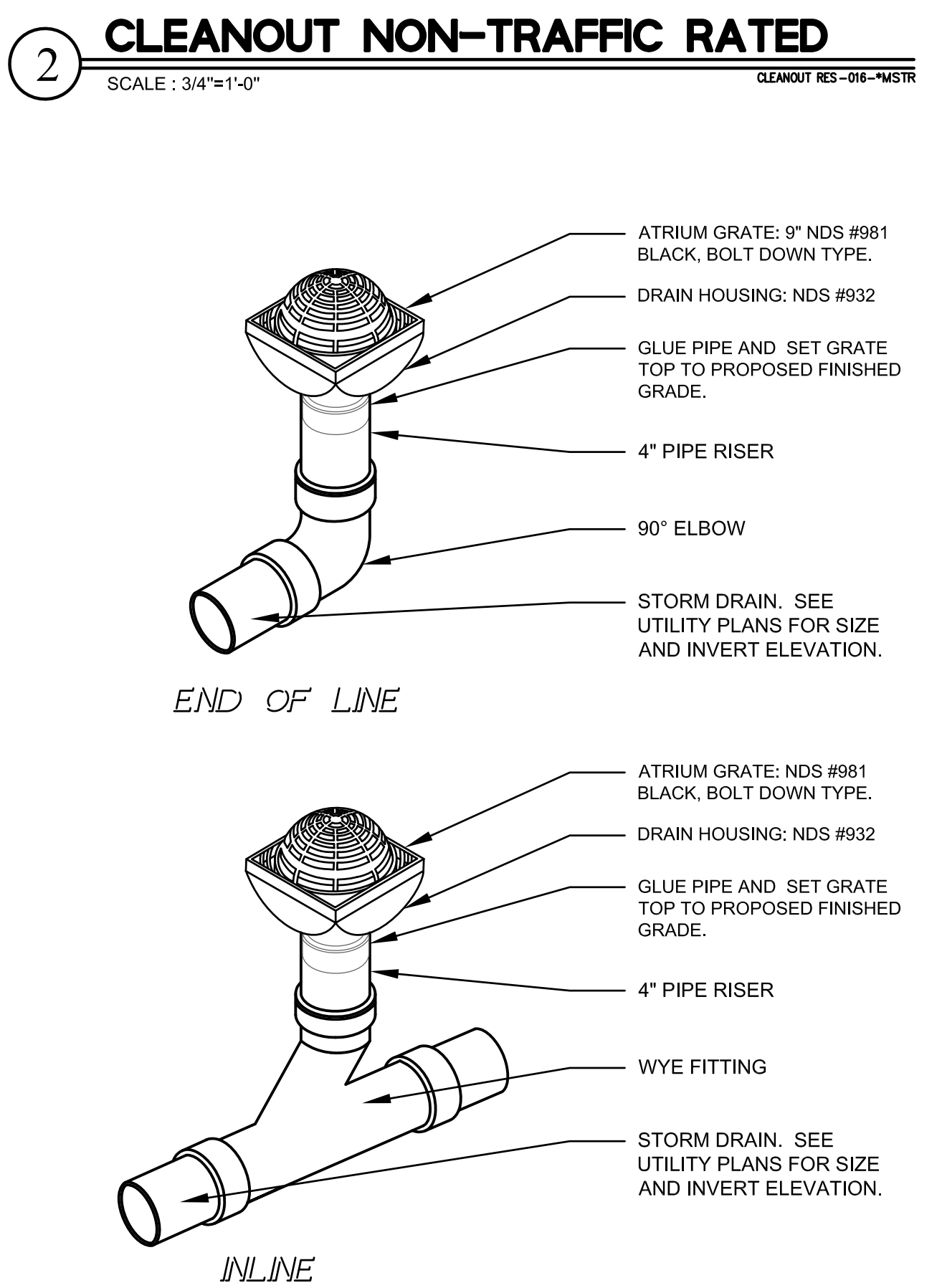
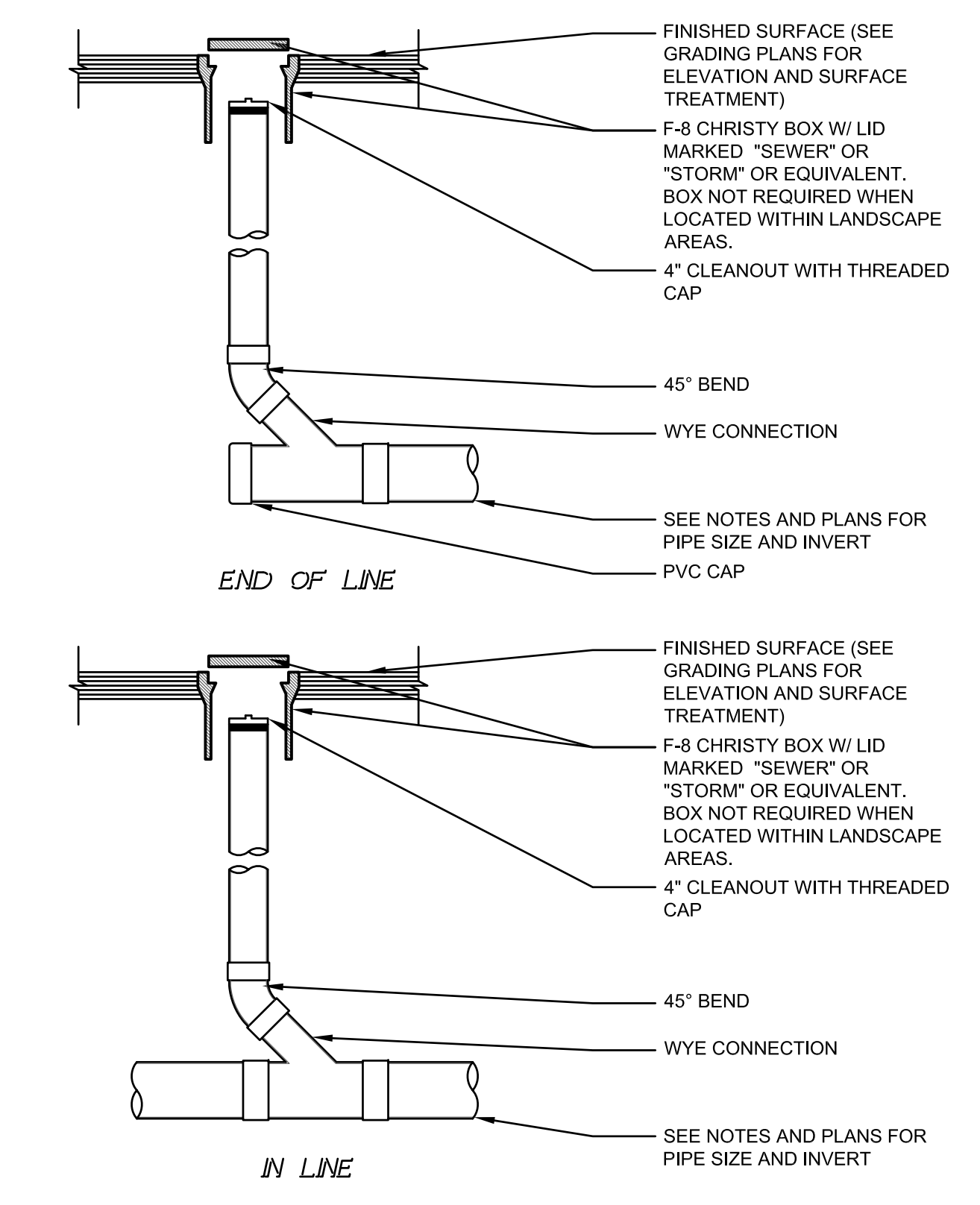
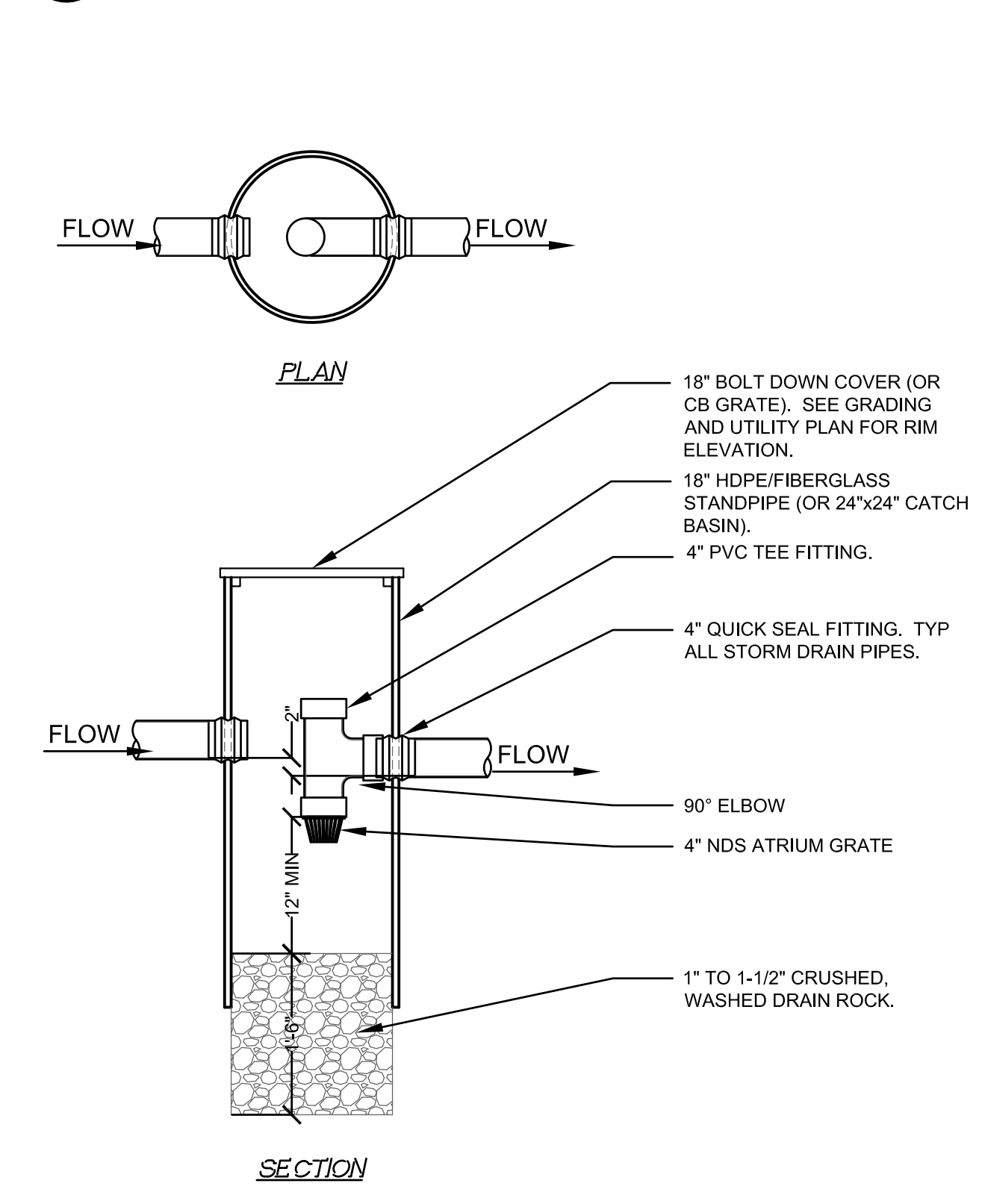
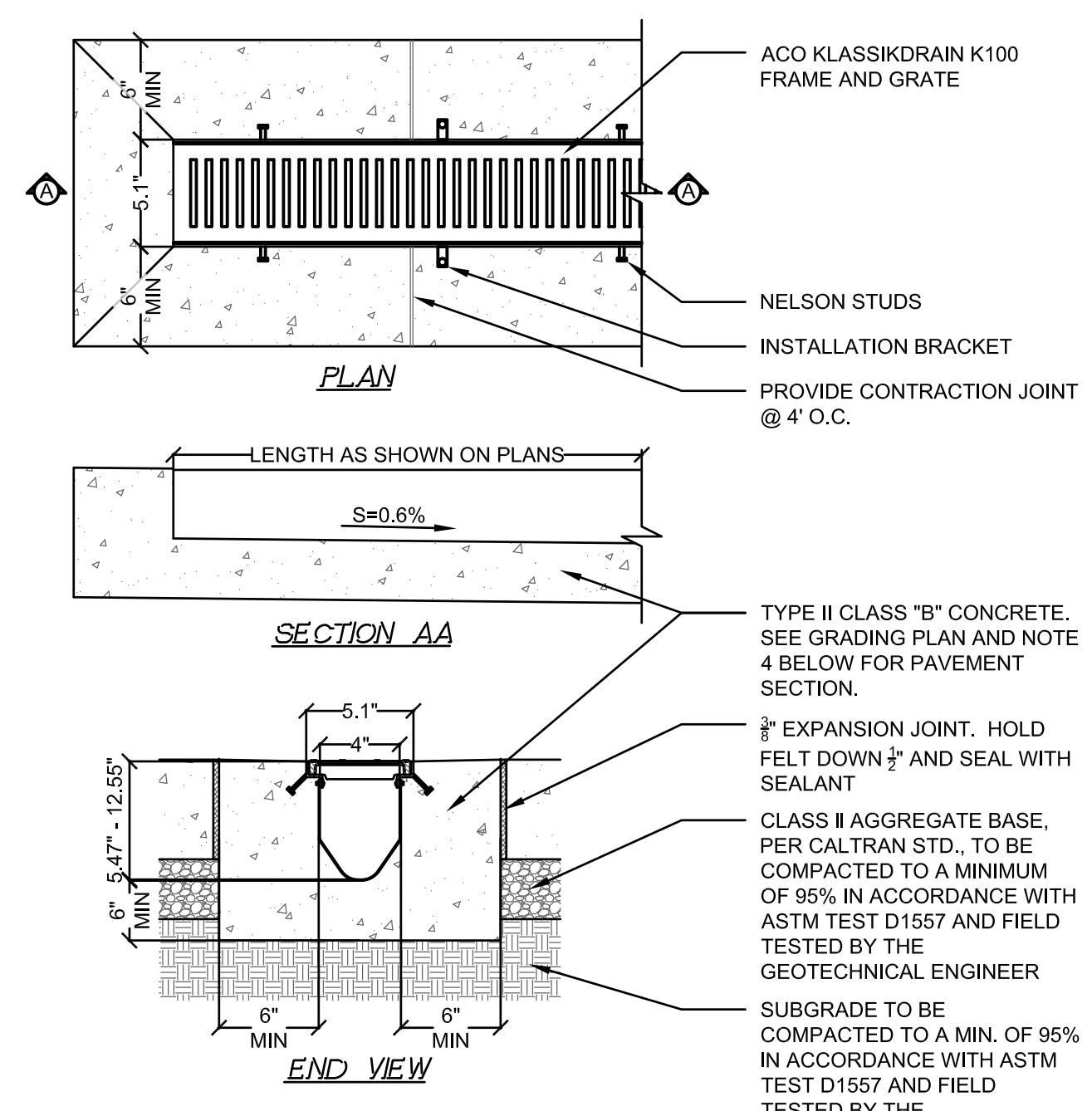
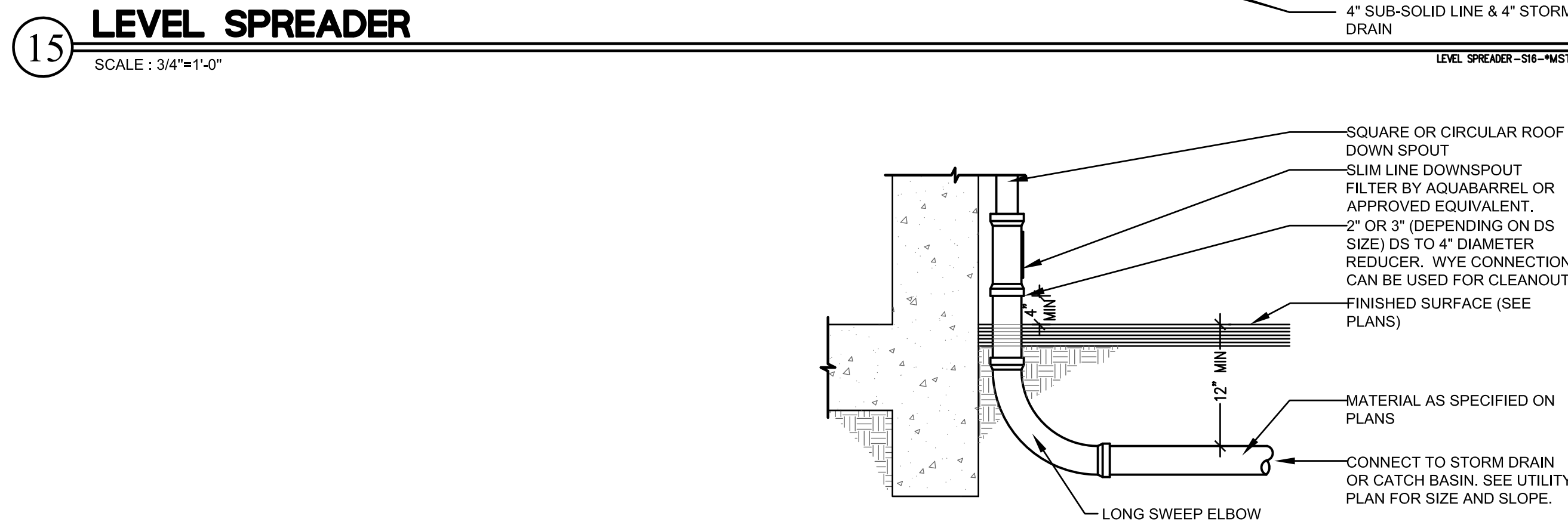
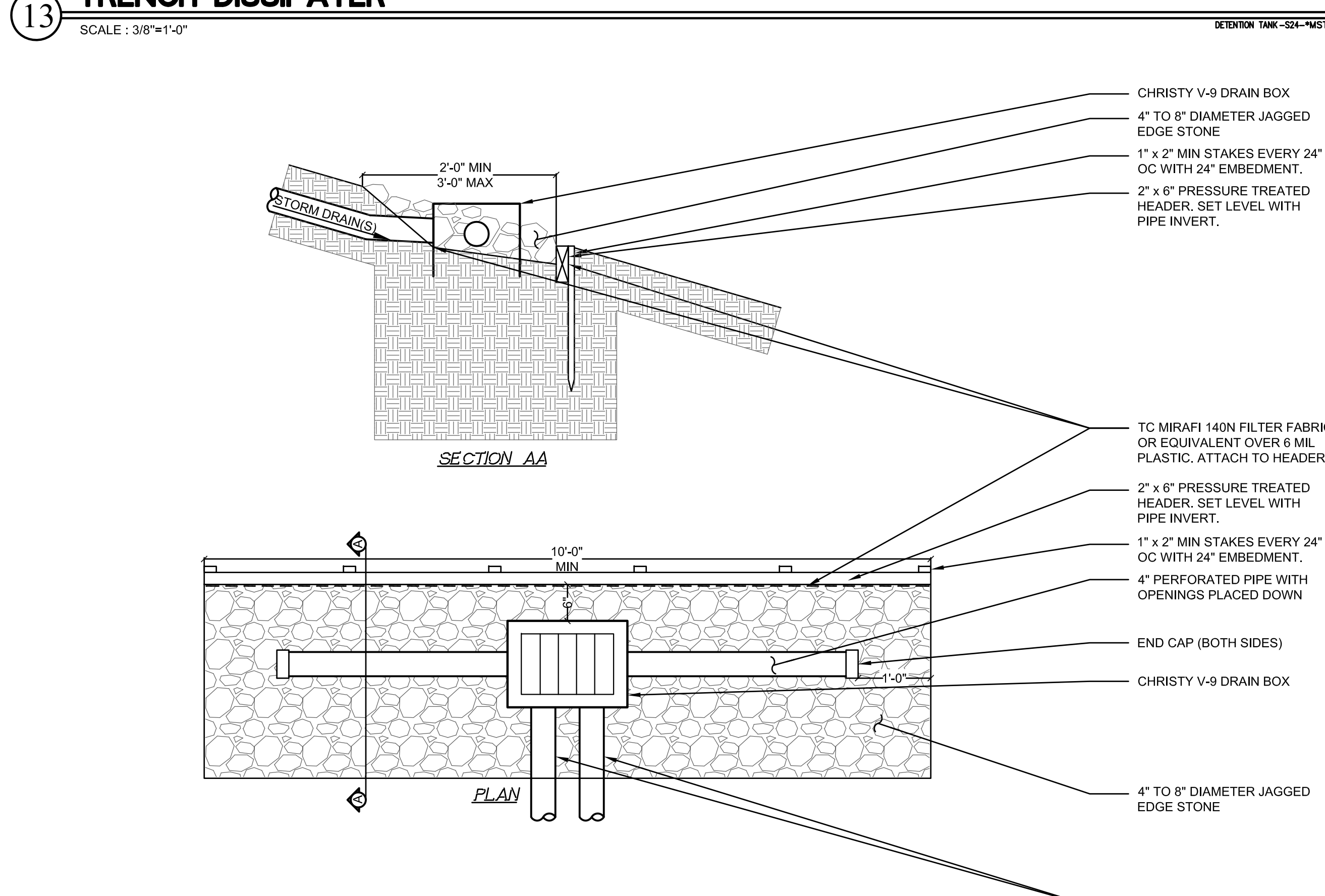
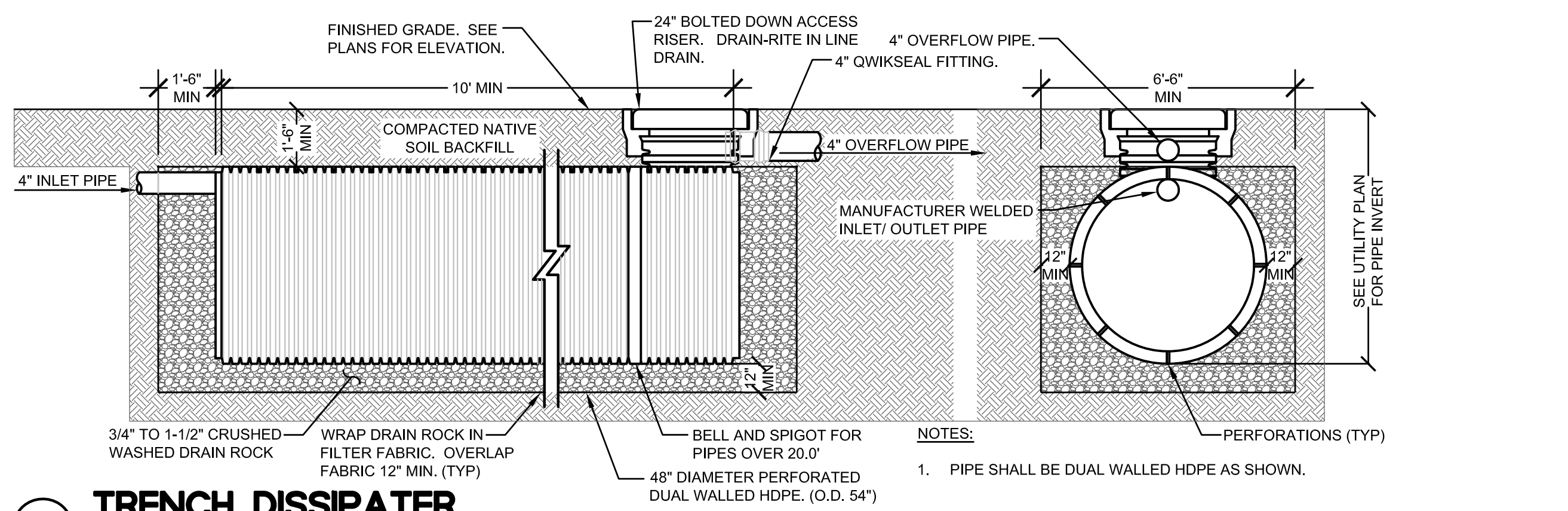
SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



DATE:	12/02/2021
REVISIONS:	SITE REVISIONS



Date:	04/05/2021
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Design:	AJP
Check:	TRL
Drawing Number:	C-4
PEC Job No.:	PEC 21-012



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SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

GENERAL NOTES

- ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- THE APPROVAL OF THESE PLANS BY THE DISTRICT SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE DISTRICT'S STANDARDS. THE DISTRICT'S APPROVAL, IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DISTRICT AT 363-4765 OR 363-4100 TWO (2) WORKING DAYS IN ADVANCE OF BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE DISTRICT INFORMED OF HIS SCHEDULE FOR SANITARY SEWER WORK.
- ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE DISTRICT SHALL BE REMOVED AND RECONSTRUCTED UNDER INSPECTION.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE COUNTY OR CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
- UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE DISTRICT.
- SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
- PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE EASEMENTS THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE EASEMENTS WAS TO BEGIN AND THAT THEY HAVE UPDATED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.

C-13

14 GENERAL NOTES

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

LATERAL CONNECTION INSTALLATION DETAIL ON EXISTING PIPE

PLAN VITRIFIED CLAY

PLAN DUCTILE IRON PIPE

PLAN POLYVINYL CHLORIDE PIPE

LATERAL CONNECTION INSTALLATION DETAIL ON EXISTING PIPE

C-8

**10 LATERAL CONNECTION
INSTALLATION**

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED: 4/97

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

PIPE AND FITTINGS

POLYVINYL CHLORIDE PIPE (PVC)

- ALL PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS D3034, SDR 35.
- ALL JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH ELASTOMERIC SEALING GASKETS. SEALING GASKETS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D1869. SOLVENT CEMENT JOINTS ARE NOT PERMITTED.
- ALL PIPE ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A RUBBER WATERSTOP GASKET ATTACHED TO IT. THE WATERSTOP GASKET SHALL CONFORM TO THE PIPE MANUFACTURER'S SPECIFICATIONS. THE WATERSTOP GASKET SHALL BE SEATED FIRMLY AROUND THE PIPE EXTERIOR AND BE CAST INTO THE CONCRETE STRUCTURE.
- ALL PIPE JOINTS SHALL BE MADE USING MANUFACTURED PVC COUPLINGS. BAND TYPE COMPRESSION COUPLINGS ARE NOT PERMITTED.

DUCTILE IRON PIPE (DIP)

- ALL PIPE SHALL BE THICKNESS CLASS 50 (FOUR INCH PIPE SHALL BE THICKNESS CLASS 51) IN ACCORDANCE WITH ANSI SPECIFICATIONS A21.51. FITTINGS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATION A21.10.
- JOINTS SHALL BE PUSH-ON TYPE OR MECHANICAL JOINT TYPE IN ACCORDANCE WITH ANSI SPECIFICATION A21.11. RUBBER GASKETS FOR PUSH-ON JOINTS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS HEREIN.
- PIPE AND FITTINGS SHALL HAVE A BITUMINOUS COATING OUTSIDE IN ACCORDANCE WITH ASTM SPECIFICATION A746-86, UNLESS OTHERWISE SPECIFIED HEREIN.
- PIPE AND FITTINGS SHALL HAVE A 1/16" (ONE-SIXTEENTH INCH) CEMENT-MORTAR LINING WITH AN ASPHALTIC SEAL COAT.

VITRIFIED CLAY PIPE (VCP)

- PIPE AND FITTINGS SHALL BE EXTRA STRENGTH, UNGLAZED, BELL AND SPIGOT, CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C700.
- JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH FACTORY INSTALLED FLEXIBLE COMPRESSION TYPE GASKETS MADE OF PLASTICIZED POLYVINYL OR POLYURETHANE CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATIONS C425. BAND TYPE COUPLINGS ARE NOT ALLOW.

C-14

12 PIPE AND FITTINGS

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

SEWER LATERAL DETAIL

PLAN

PROFILE

C-5

6 COUNTY LATERAL

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED: 7/97

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

**STANDARD TRENCH BACKFILL
AND BEDDING DETAIL FOR PVC
SEWER PIPE**

TYPE A (IN ROADWAY)

TYPE B (OUTSIDE ROADWAY)

NOTES:

- SAND... MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SIEVE SIZE	% PASSING SIEVE
No. 4	100
No. 200	0-5

- STRUCTURE BACKFILL MATERIAL... MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SIEVE SIZE	% PASSING SIEVE
3"	100
No. 4	35-100
No. 30	20-100

- BACKFILL MATERIAL... MATERIAL FROM EXCAVATION, FREE FROM STONES OR LUMPS EXCEEDING 3 INCHES GREATEST DIMENSION, ORGANIC MATTER, OR OTHER UNSATISFACTORY MATERIAL.

C-7

8 STANDARD TRENCH DETAIL

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

SUB-DRAIN

SUB-DRAIN

C-9

2 SUB-DRAIN

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 8/06
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

COUNTY CLEANOUT

TYPICAL SEWER CLEANOUT & BOX DETAIL - NEW CONSTRUCTION

TYPICAL SEWER CLEANOUT & BOX DETAIL - REPLACEMENT

NOTES:

- WHEN BOX IS SUBJECT TO TRAFFIC LOADING, PROVIDE CAST IRON LID.
- BOX TO BE PLACED SUCH THAT CLEANOUT CAP CAN BE EASILY REMOVED. SEE ILLUSTRATION.
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING LATERAL FROM THE PROPERTY STRUCTURE TO DISTRICT MAIN. DISTRICT PROVIDES COURTESY SERVICE FROM DISTRICT STANDARD PROPERTY LINE CLEANOUT TO THE MAIN.
- SDR-26 WYE, RISER, CLEANOUT BODY AND CAP CAN BE USED ONLY WHEN LATERAL FROM PROPERTY LINE TO MAIN LINE IS REPLACED WITH SDR-26.
- WHEN ENTIRE LATERAL IS REPLACED, LATERAL FROM PROPERTY LINE CLEANOUT TO MAIN LINE SHALL HAVE A 14-1-UFG QUAGE MINIMUM SINGLE CONDUCTOR TRACER WIRE TAPED TO THE ENTIRE LENGTH OF THE PIPE.

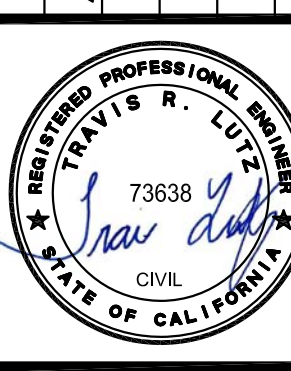
CONSTRUCTION OF A STANDARD CLEANOUT REQUIRES MULTIPLE INSPECTIONS BY DISTRICT PERSONNEL:

- FIRST INSPECTION - TO INSPECT WYE AND RISER. WYE AND RISER MUST BE EXPOSED.
- SECOND INSPECTION - TO INSPECT PLACEMENT OF BOX, LID AND LOCATION OF CLEANOUT WITHIN BOX.

C-3

4 COUNTY CLEANOUT

DATE:	12/02/2021
REVISIONS:	SITE REVISIONS



DATE:	04/05/2021
Scale:	AS SHOWN
Design:	AJP
Check:	TRL
Drawing Number:	C-4.1
PEC Job No.:	PEC 21-012

DETAIL SHEET
MASSCHELEIN RESIDENCE
434 SUMMIT DRIVE
EMERALD HILLS (SMCO), CA 94062

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT G

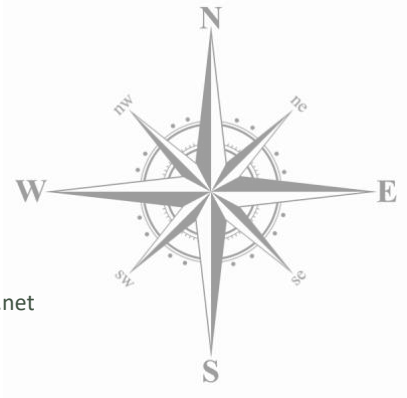
Ellyn Shea, Consulting Arborist

dba Garden Guidance LLC

ISA Certified Arborist # WE-5476A - ISA Qualified Tree Risk Assessor

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Laryssa Stecyk
Broadway Design Build
1721 Broadway Suite 201
Oakland CA 94612

RE: 434 Summit Drive, Emerald Hills, CA

February 3, 2021

Assignment

- Review San Mateo County tree ordinances pertaining to protected tree status, tree protection and removal as related to development.
- Site visit to 434 Emerald Hills to assess protected trees and gather the information required by San Mateo County ordinance.
- Review development plans for 434 Summit Drive dated January 26, 2021.
- Provide a written report that can serve as a tree protection plan and to support a removal permit application as part of a Planning submittal.

Background

Broadway Design Build contacted me to provide an arborist report for proposed development at 434 Summit Drive as required by San Mateo County. I visited the site on January 11, 2021. Two site plans have been included in this report – Existing Conditions and Proposed.

Observations – Summary

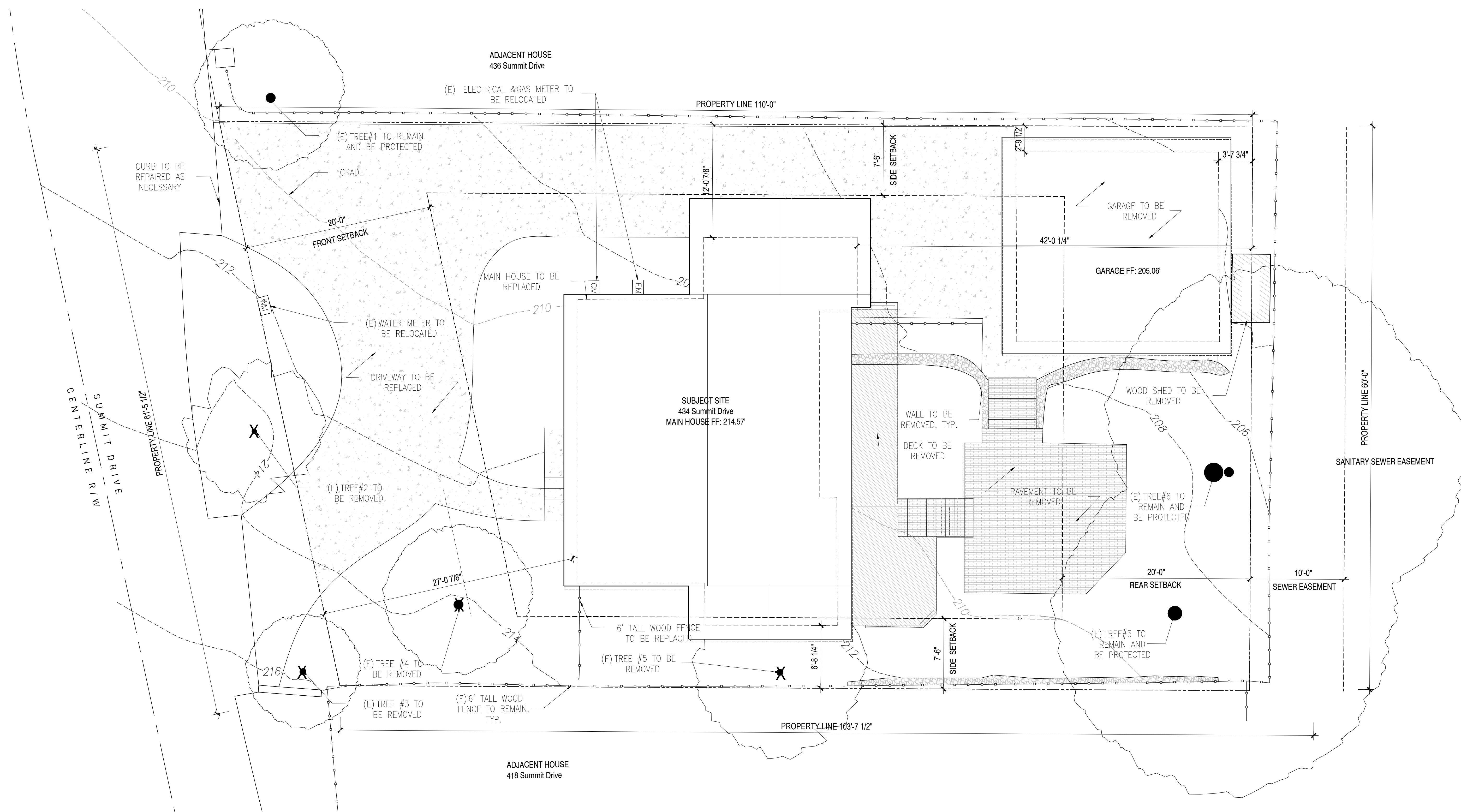
- Seven trees were considered, six on the subject property and one on a neighboring property.
- All trees are protected according to the Significant Tree ordinance of San Mateo County, because the property is an RH/DR Zone District, and the trunk circumferences exceed 19 inches, measured at 4.5 feet from the ground.
- Four trees are to be removed either due to poor health or proximity to proposed development.
- Three trees are to be preserved.

434 Summit Drive, Emerald Hills
Tree Data

Tree Number	Diameter at 54 inches (in inches)	Circumference at 54 inches (in inches)	Species	Height (feet)	Tree Type	Condition	Suitability for Preservation	Protected Status	Impacts	Retain and Protect	Remove Tree	Reason for removal
1	49.9	15.9	Sequoia sempervirens, Coast Redwood	25	Conifer	Good	Good	Significant Tree	Planting and landscaping within dripline - possible root loss/damage	x		
2	25.1	8.0	Quercus coccinea, Scarlet Oak	25	Deciduous hardwood	Good (dormant)	Good	Significant Tree	Within footprint of proposed development		x	Too close to proposed development
3	34.5	11.0	Sequoia sempervirens, Coast Redwood	25	Conifer	Poor	Poor	Significant Tree	Within footprint of proposed development		x	Nearly dead, too close to proposed development
4	53.4	17.0	Sequoia sempervirens, Coast Redwood	40	Conifer	Poor	Poor	Significant Tree	Planting and pavement replacement within dripline - possible root loss/damage		x	Nearly dead
5	31.4	10.0	Quercus agrifolia, Coast Live Oak	35	Evergreen Hardwood	Fair	Poor	Significant Tree	Foundation excavation within 6xDBH - possible loss of structural roots		x	Too close to proposed construction-poor structure with low live crown ratio
6	65.9	21.0	Quercus agrifolia, Coast Live Oak	40	Evergreen Hardwood	Fair	Good	Significant Tree	No construction within dripline. Protect from storing/staging only.	x		
7	89.2	28.4	Quercus agrifolia, Coast Live Oak	55	Evergreen Hardwood	Fair	Good	Significant Tree	Excavation for deck, seatwall at edge of dripline. Landscaping within dripline including low-water lawn	x		



NOTE:
 1. SEE L400 FOR TREE INVENTORY
 2. SEE A001 FOR PARCEL INFORMATION



SITE PLAN- EXISTING
 EXISTING

1
 3/16" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
 EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SITE PLAN - EXISTING

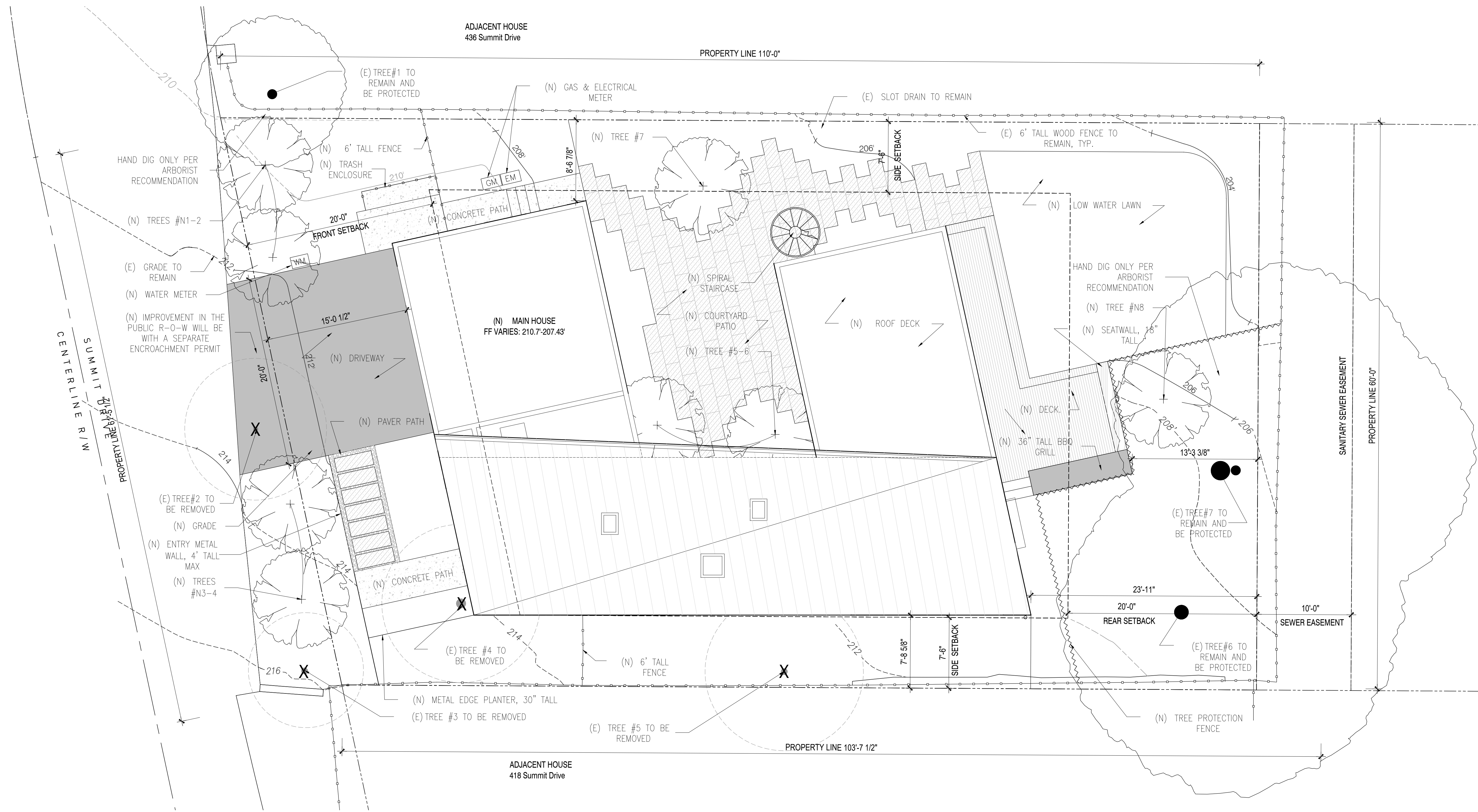
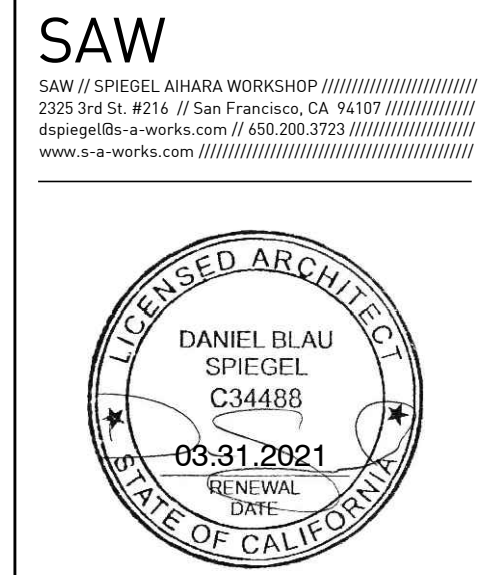
Date: January 26, 2021
 Drawn By: SL
 Checked By: DS

AX001
 Scale: 3/16" = 1'-0"

PROJECT ADDRESS: 434 SUMMIT DRIVE, EMERALD HILLS, CA 94062	
PARCEL NO.: 057-143-100	
SITE ZONING DISTRICT: RH,DR	
LOT AREA	6180 SF (Non-Conforming Site, Min. Lot Area:12,000 SF)
FLOOR AREA LIMIT (FAL)	2400 SF
MAXIMUM ALLOWABLE LOT COVERAGE	1,545 25%

PROJECT DATA	EXISTING (SQ FT)	PROPOSED (SQ FT)
SQFT OF STRUCTURES	980 SF (Main House) +427.5 SF (Garage) = 1407.5 SF	2,688 SF (Previously Permitted For 2700 SF)
FLOOR AREA RATIO (FAR)	22.8%	43.5%
LOT COVERAGE	1247 SF (Main House) +561 SF (Garage) = 1808 SF 29.3%	1,930 SF (Main house) 31.2%
LANDSCAPING AREA	665 SF- REHABILITATE	1730 SF - NEW
TREE PROTECTION FENCE	~~~~~	

- NOTE:
- SEE L400 FOR TREE INVENTORY.
 - SEE L100 FOR LANDSCAPE MATERIALS.
 - SEE L200 FOR GRADING AND DRAINAGE PLAN
 - SEE ARBORIST REPORT FOR TREE PROTECTION DETAILS.



SITE PLAN- PROPOSED
PROPOSED

1
3/16" = 1'-0"

MASSCHELEIN RESIDENCE

434 SUMMIT DRIVE
EMERALD HILLS, CA 94062

PLANNING PERMIT SET

SITE PLAN - PROPOSED

Date: January 26, 2021
Drawn By: SL
Checked By: DS

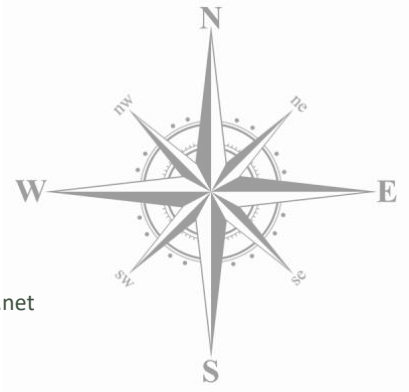
A001
Scale: 3/16" = 1'-0"

Ellyn Shea, Consulting Arborist dba Garden Guidance LLC

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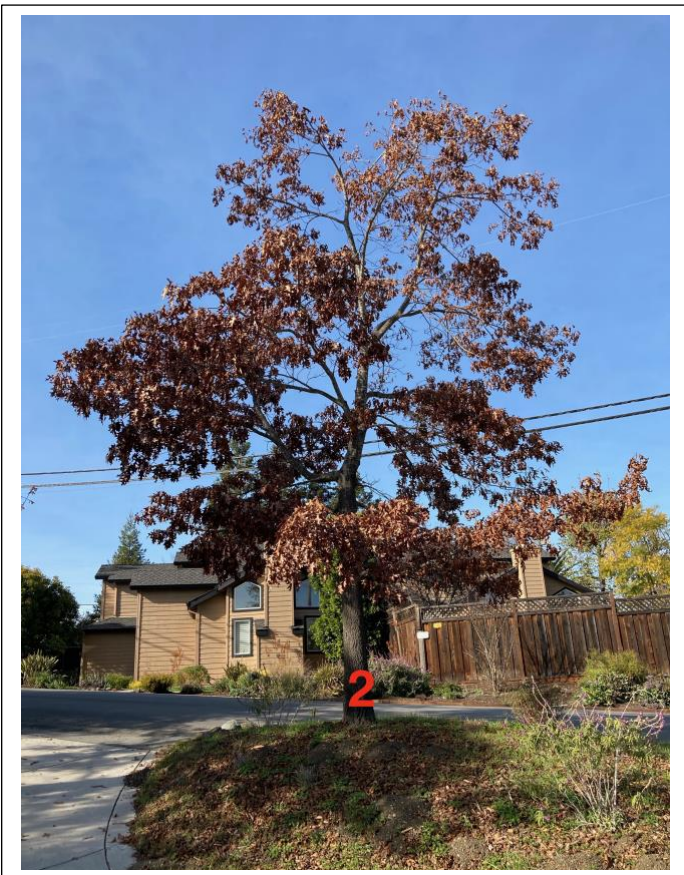
Tree Removal information:

Method of marking trees to be removed: Pending County approval, I recommend that the trees to be removed be marked with a bright-colored ribbon tied around the trunk.

Method of removal: Pending County approval, trees are to be removed prior to construction in compliance with local ordinance, OSHA regulations and current ANSI Z 133 safety standards.

Replacement planting: Information regarding replacement planting is included with the landscaping plan.

Trees 2 and 3



Tree 2, on the left, is proposed for removal because it is in the footprint of the new driveway. Tree 3, on the right, is nearly dead and too close to proposed landscape improvements to be able to survive impacts of construction.

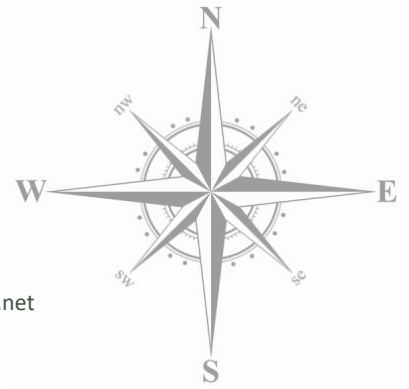
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Trees 4 and 5



Tree 4, on the left is in very poor health and too close to proposed development to survive impacts of construction. Foundation excavation would take place within 3 times the trunk diameter, as shown on the plans, negatively impacting tree stability. The tree has poor suitability for preservation and should be removed.

Tree 5, on the right, has very low live crown ratio (LCR), meaning that the ratio of the live crown height to total tree height is under 50%, creating a top-heavy tree that is more likely to fail than a tree with a higher LCR. In addition, foundation excavation would take place within 3 times the trunk diameter and negatively impact tree stability. The tree has poor suitability for preservation and should be removed.

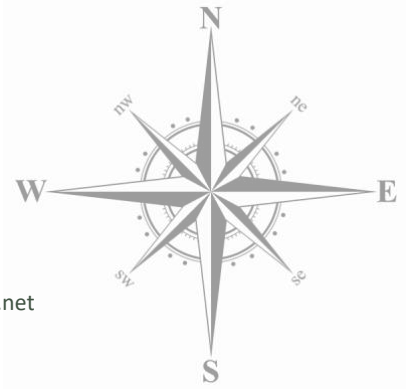
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Tree protection plan – Tree 1

Tree 1 is adjacent to the existing driveway. This existing driveway is proposed to be removed and turned into a landscaped area. The potential impacts to the tree are root loss or damage, or damage to the lower branches. The property line fence protects the trunk from inadvertent damage. Protection recommendations are detailed below:

- Install tree protection fencing at the dripline prior to commencement of the project, for the duration of the project. The ordinance specifies 5-foot-tall orange plastic fencing supported by poles pounded into the ground. For this tree, while the driveway remains, I would recommend that the poles be supported by an appropriate concrete grade level base instead, if approved by the County. The fencing poles can be pounded into the ground once the driveway is removed.
- Note that although the ordinance calls for plastic fencing, chain link fencing is sturdier and more difficult to inadvertently breach.
- When work takes place within the dripline:
 - Lower branches may be tied out of the way to prevent inadvertent damage. Pruning lower branches should be done with permission from the adjacent property owner and performed by a qualified ISA Certified Arborist. Do not prune more than necessary to prevent branch damage.
 - Hand-dig only within the dripline. No self-propelled equipment or rototilling.
 - Contractors shall not clean any tools, forms or equipment within the dripline.
 - Do not store materials or equipment within the dripline. If temporary storing or staging must be done on exposed soil during the landscaping phase, install a root buffer to protect soil as follows: The buffer shall consist of secured geotextile material covering the area to be protected. Cover the geotextile material with 4 to 6 inches of clean wood chips (2-inch unpainted, untreated wood chips or approved equal). Securely install 3/4-inch plywood over the wood chips. The root buffer shall be installed and removed without wheeled equipment touching exposed soil. This may mean some or all of the work is done by hand. However, existing pavement serves as a root buffer, so preserve existing pavement as long as needed.
- Do not prune roots over 2 inches in diameter or large masses of roots without inspection by a certified arborist or registered forester prior to cutting. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a sharp tool. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within 5 business days from site inspection following root cutting.



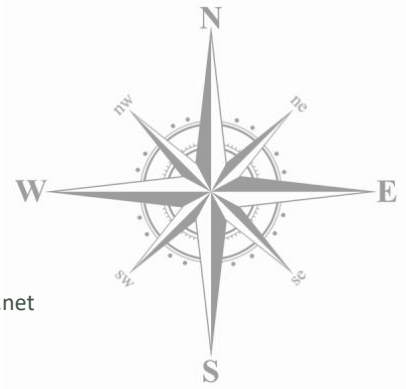
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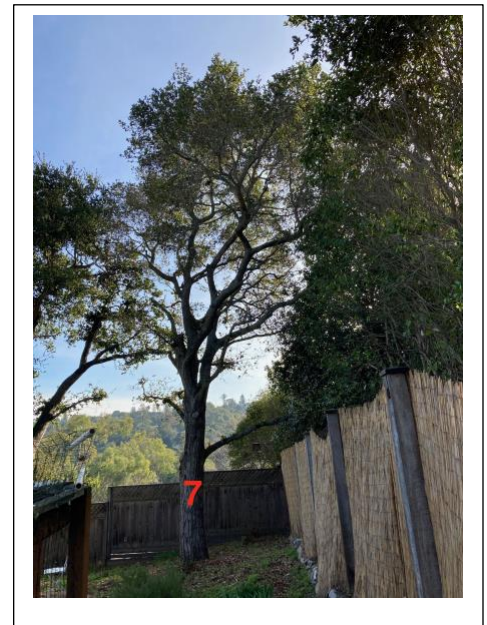
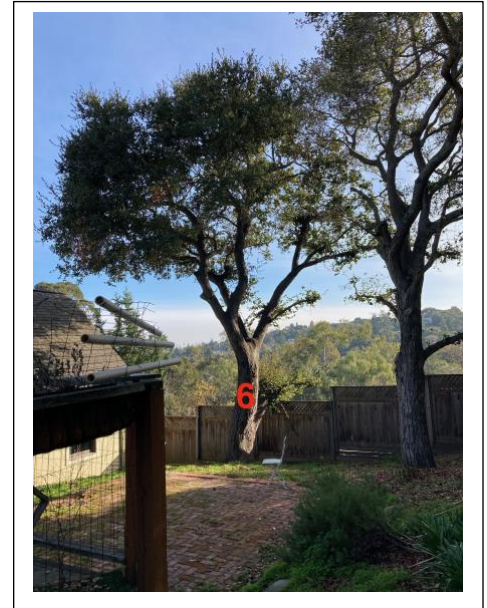
2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Tree Protection Plan: Trees 6 and 7

Garage demo and landscaping work is proposed to take place near the edge of the dripline for tree 6, including excavation for a seating wall, deck and low-water lawn, and a tree planting. Potential impacts primarily include root loss or damage. Tree 7 does not have work proposed within the dripline, but soil should be protected from compaction. Tree protection details are noted below:

- Install tree protection fencing at the dripline prior to commencement of the project, for the duration of the project. The ordinance specifies 5-foot-tall orange plastic fencing supported by poles pounded into the ground.
- Note that although the ordinance calls for plastic fencing, chain link fencing is sturdier and more difficult to inadvertently breach.
- When work takes place within the dripline:
 - Hand-dig only within the dripline. No self-propelled equipment or rototilling.
 - Contractors shall not clean any tools, forms or equipment within the dripline.
 - Do not store materials or equipment within the dripline. If temporary storing or staging must be done on exposed soil during the landscaping phase, install a root buffer to protect soil as follows: The buffer shall consist of secured geotextile material covering the area to be protected. Cover the geotextile material with 4 to 6 inches of clean wood chips (2-inch unpainted, untreated wood chips or approved equal). Securely install 3/4-inch plywood over the wood chips. The root buffer shall be installed and removed without wheeled equipment touching exposed soil. This may mean some or all of the work is done by hand. Existing pavement also serves as a root buffer.
 - Wrap the trunk with straw wattles, orange fence and 2x4 boards in concentric layers to a height of eight feet.
- Do not prune roots over 2 inches in diameter or large masses of roots without inspection by a certified arborist or registered forester prior to cutting. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a sharp tool. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within 5 business days from site inspection following root cutting.



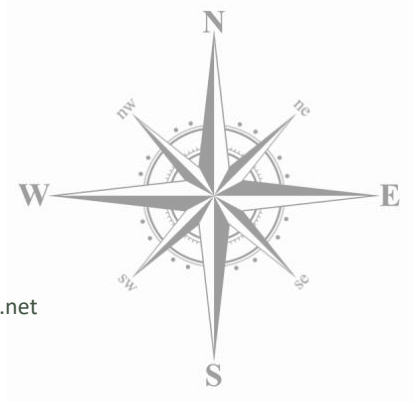
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For all trees to be preserved, note that prior to the issuance of a Building Permit (Including Grading or Demolition Permits), the Planning and Building Department shall complete a pre-construction site inspection, as necessary, to verify that all required tree protection and erosion control measures are in place.

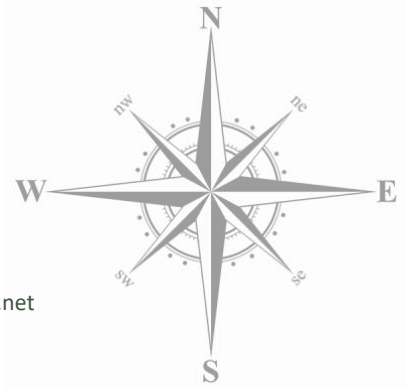
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Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. Various diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be construed as surveys, architectural or engineering drawings.
5. Loss or alteration of any part of this report invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.
7. This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.
8. This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.
10. Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

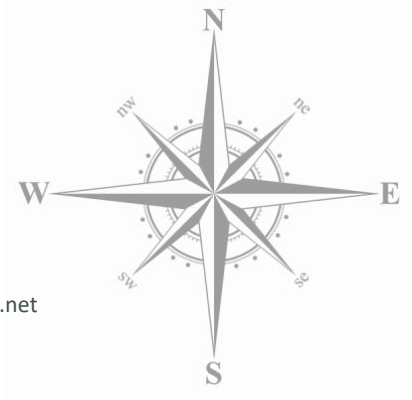
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2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. An arborist cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

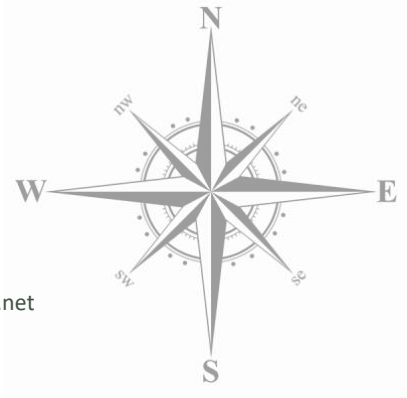
Ellyn Shea, Consulting Arborist

dba Garden Guidance LLC

ISA Certified Arborist # WE-5476A - ISA Qualified Tree Risk Assessor

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Certification of Performance

I, Ellyn Shea, Certify:

- That I have personally inspected the trees and/ or property evaluated in this report. I have stated my findings accurately, insofar as the limitations of my Assignment and within the extent and context identified by this report;
- That I have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.
- I am a member in good standing, Certified Arborist (#WE-5476A), and a Qualified Tree Risk Assessor with the International Society of Arboriculture, and a Registered Consulting Arborist (#516) with the American Society of Consulting Arborists.

I have attained professional training in all areas of knowledge asserted through this report by completing relevant college courses, routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

I have rendered professional services in a full-time capacity in the field of horticulture and arboriculture for more than 20 years.

Signature:

Date: 2/3/21



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT H

455 County Center, 2nd Floor, Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Zoning Nonconformity Use Permit

Applicant's Name : _____

Primary Permit #: _____

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: _____

Existing nonconformity: _____
(Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: _____

Proposed nonconformity: _____

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

- 1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The County must make four additional findings for projects involving substandard parcels:

- | | |
|---|--|
| <ol style="list-style-type: none"> 2. The proposed development is proportioned to the size of the parcel on which it is being built. 3. All opportunities to acquire additional contiguous land have been investigated. | <ol style="list-style-type: none"> 4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. 5. Use permit approval does not constitute a granting of special privileges. |
|---|--|

Write a brief statement in which you present evidence to support the required findings.

This non-conforming property, which is half the size of the minimum conforming lot, has an existing main house that encroaches into the side yard setbacks by 58 SF and a separate garage structure that encroaches 350 SF into the rear and side yard setbacks, requiring a long concrete driveway. By removing the non-conforming garage and relocating the parking closer to the street within the new residence, a significant portion of the property can be given back to the natural landscape, while significantly improving compliance with the existing setbacks. The proposed structure would minimize the overall encroachment from 408 SF to 177 SF over the front and side yard setbacks. The total impervious surface coverage would be reduced from 3,565 SF to 2,803 SF, creating a more environmentally-sustainable project. The new residence would also reduce the lot coverage from 29.3% to 28% with a Floor Area of 2,688 SF. While this proposed square footage requires additional approval above the 2,400 SF limit, it remains smaller than a previously approved plan for the lot, which allowed a 2,769 SF structure for the previous homeowner.

434 Summit Narrative

Basis for variance

- The lot is half the size of a minimum conforming lot
- We purchased the property with approved plans from 2018 that were allowed FAR, square footage and setback variances
- The property line is set in from the street line
- Total setback impingement is going from the current area coverage of [X%] to a proposed area coverage of [Y%] area coverage

Reasons for encroachment on setback

- To create more greenspace in the backyard on a very small lot
- To impose less on neighbours (less intrusion into their backyard line of sight)
- To site the home upslope in order to best take advantage of views
- To allow for a contemporary and thoughtful building form
- To align building front facade to the edge of street for better frontage as the current property is set back from the street line
- To create a way to get up the upper deck from the ground floor (spiral staircase)

Additional considerations

- We are removing the tall garage structure that is outside of the setback encroaching on the neighbor and replacing it with greenscape thereby reducing setback encroachment as well as impervious surface
- We are opening the view for neighbors from the previously approved plans
- We are converting a significant amount of impervious surface to pervious surface in removing the concrete driveway and adding lawn and orchard space
- The massing of our proposed structure is unimposing from all angles in relationship to the street and neighbors
- Existing property to be demolished is currently in violation of rear and side setbacks and we will be reducing the total amount of setback encroachment
- Many other ELH projects have had multiple variances approved



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT I

October 6, 2021

Dan Spiegel
2325 3rd Street, Suite No. 216
San Francisco, CA 94107

SUBJECT: Emerald Lake Hills Design Review and Grading Permit Recommendation
434 Summit Drive, Emerald Lake Hills
APN 057-143-100; County File No. PLN 2021-00029

Dear Mr. Spiegel:

At the July 6, 2021 meeting, the Emerald Lake Hills Design Review Officer (DRO) considered your Design Review application for a new 2,688 sq. ft. single-family residence with a new 2-car garage on a non-conforming 6,205 sq. ft. parcel. Four significant trees are proposed for removal. The proposal requires a Grading Permit for 305 cubic yards of earthwork and a Non-Conforming Use Permit to allow a 15-foot front setback where 20 feet is required, a left side setback of 8 feet 7 inches where 12.5 feet is required, 2,688 sq. ft. of floor area where 2,400 sq. ft. is the maximum, a height of 28 feet 7 inches where 28 is the maximum and 31.2 percent lot coverage where 30 percent is the maximum.

At the hearing, the Design Review Officer (DRO) stated that the proposed house was modern in style and had elements consistent with the design standards which made it compatible with the eclectic mix of houses in Emerald Lake Hills. The project complies with applicable design standards, including Section 6565.15.A (Site Planning) with respect to removal of trees, minimization of changes of topography, and blockage of sunlight. The DRO stated that the facades are well-articulated and are in compliance with Section 6565.15.E (Facades) with well-patterned windows and doors, and the proposed materials are consistent with Section 6565.15.G (Colors and Materials). The design was recommended for approval.

Two emails were received prior to the hearing which stated that the proposed house was too large for the non-conforming subject lot and stated opposition to the requested exceptions. No members of the public spoke at the meeting. The DRO recommended to the applicant that an effort be made to reduce the number of exceptions being requested. The applicant stated that they believed that there were compelling reasons for each exception request and would move forward with the proposal without modification.

The DRO recommended approval of the proposal based on the design review findings and conditions as listed below.



FINDINGS**For the Environmental Review, Find:**

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3, relating to construction of a small structure, including single-family residences in a residential zone.

For the Design Review, Find:

2. After consideration of project plans and public testimony, the DRO found that the proposed house design, as proposed and conditioned on July 6, 2021, is in compliance with the Design Review Standards due to the incorporation of the following: (a) the use of materials and colors is compatible with the natural setting and the immediate area (b) facades are well-articulated and proportional, and (c) the site planning including minimization of tree removal and topography changes are consistent with the standards.

CONDITIONS OF APPROVAL**Current Planning Section**

1. The project shall be constructed in compliance with the plans once approved by the Planning Commission. Any changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are in substantial compliance with the approved plans, prior to being incorporated into the building plans. Adjustments to the design of the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building permit stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are deemed to be major, to a new Emerald Lake Hills Design Review public hearing which requires payment of an additional fee of \$1,500.
2. Four significant trees (Trees 2-5) as shown on plans dated April 1, 2021 are approved for removal. Trees designated to remain shall be protected from damage during construction. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.
3. The applicant shall plant four (15-gallon) replacement trees, two of which shall be oaks, prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.

4. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to final Planning approval of the building permit.
5. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
6. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
7. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
8. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and the County Fire Department.
9. No site disturbance shall occur, including any grading or tree/vegetation removal, until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Summit Drive. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Summit Drive. There shall be no storage of construction vehicles in the public right-of-way.
11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
12. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
13. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.

- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

Water Efficient Landscape Ordinance (WELo)

14. The project is subject to compliance to the Water Efficient Landscape Ordinance (WELo): <http://planning.smcgov.org/documents/water-efficient-landscape-ordinance-welo>.

Building Inspection Section

15. A building permit is required.
16. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

County Fire Department

17. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 feet is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 percent shall be paved and no grade shall be over 20 percent. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95 percent. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
18. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch x 18-inch green reflective metal sign.
19. A fire flow of 500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site
20. Maintain around and adjacent to such buildings or structures a fuel break/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
21. All roof assemblies in Very high Fire Hazard Severity Zones shall have a minimum CLASS-A fire resistive rating and be installed in accordance with the manufacturer's specifications and current California Building and Residential Codes.
22. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.

23. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
24. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
25. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
26. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.

Department of Public Works

27. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
28. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
29. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

A decision on the Design Review Permit, Grading Permit, and Non-Conforming Use Permit will be made by the Planning Commission at a public hearing to be scheduled at a later date. If you have questions or need further information, please contact me at eadams@smcgov.org or 650/363-1828.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT J

Erica Adams

From: Kelland <kelland@yahoo.com>
Sent: Friday, July 2, 2021 3:53 AM
To: Erica Adams
Subject: Reg. Public Hearing File #PLN2021-00029

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

Hi, Erica:
We received your Notice of public hearing on July 6 2021 at 2pm again.

reg.
File #: PLN2021-00029
434 Summit Dr.
Redwood city.

This exact same issue resurfaced again. Please see our comment 3 years ago reg. this property.

The new proposed structure is still way too giant for this tiny lot in this area.

Please don't break the rules for someone's personal pleasure, it's simply not fair to its adjacent neighbors.

It'll be greatly appreciated for your help to preserve the rules and our community.

Thank you.

Kelland

On Tuesday, June 12, 2018, 4:17:54 PM PDT, Erica Adams <eadams@smcgov.org> wrote:

Hello,

Did you have any questions about the project specifically?

Regards,

Erica D. Adams, Planner III

Planning and Building Department

455 County Center, Second Floor

Redwood City, CA 94063

Phone: (650) 363-1828

Fax: (650) 363-4849

From: Kelland [mailto:kelland@yahoo.com]

Sent: Tuesday, June 12, 2018 2:23 AM

To: Erica Adams <eadams@smcgov.org>; Janneth Lujan <JLujan@smcgov.org>; Planning_Commission <Planning_Commission@smcgov.org>

Subject: Re: Reg. Public hearing on Jun 27, 2018

Hi, Erica and Janneth Lujan

We've received the notice of public hearing regarding File No. PLN2017-00365, 434 Summit Dr.

The new application (N)402+(N)257+(N)1128+(E)985 sq ft building on a 6205 sq ft lot is simply too giant, and violating too many regulations in this area. We just don't think it's appropriate to violate any regulations just by personal pleasure, it's simply not fair to its adjacent neighbors. So please help to preserve the rules and our community.

Thanks.

Kelland

On Thursday, February 1, 2018, 1:53:09 AM PST, Kelland <kelland@yahoo.com> wrote:

Hi, Erica:

Thank you for sending us the notice of public hearing. I'm afraid, due to our schedule, we can't attend the hearing on that day, even though we see some issues there.

First is the File No. PLN2017-00388, 572 Lakeview Way

Please do your best to save those 8 significant trees, or at least have them put the same qty. and will be the similar size trees back on their lot to preserve the traditional environment of our community.

The second one File No. PLN2017-00365, 434 Summit Dr.

This is a very small lot, much smaller than its adjacent lots. The current structure with the 2 car garage is already on, if it's not inside, its side setback, and is already 2 story high at 436 Summit Dr. side. The new proposed structure on such a small lot with the new 1138 sq. ft. 2nd floor addition will be easily recognized as a giant 3 story urban town house like structure with almost zero setback from the street, esp. when it is sitting much closer than the required 20', 18'-2" to be exact, to the street.

We believe the current 25% allowance is very generous already in this low density hill side environment. This new proposed structure will be violating too many current regulations, and will be encroaching to its adjacent neighbors' privacy and rights.

Best Regards

Kelland

Erica Adams

From: David Ross <ross@gnac.com>
Sent: Thursday, October 14, 2021 8:35 AM
To: Erica Adams
Subject: 434 Summit - Neighbor Support Letter
Attachments: 434 Summit - Neighbor Letter -211014.docx

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

Hi Erica,

Attached is a letter of support for the proposed remodel at 434 Summit Dr, Emerald Hills, CA. Let me know if you have any questions or concerns.

Thanks
David Ross
650 369 1375

To whom it may concern,

I am writing this letter in support of the proposed new construction at 434 Summit Drive.

I live next door to this proposed development at 418 Summit Drive and we share a fence. I recently reviewed the proposal including the plans, elevations, renderings and exceptions that are being requested. I am in full support of this proposal and I understand why exceptions have been requested given they have a very small lot to work with. Unlike my house, their property line is setback so it makes sense to me that they are asking for a variance. They also have the smallest lot in the immediate area by far so I see no issue with the exception.

It's clear the home has been designed to work with the topography and is using a color palette in-line with the surrounding homes. It is a substantially better design than the previous proposal for a two story, Mediterranean box home. I really appreciate that the owners have taken their direct neighbors into consideration as we will be most affected by the new construction.

In closing, I am happy to have these new neighbors and it's clear they have taken my opinion into consideration. I welcome their development project and look forward to the addition of this beautiful home to our neighborhood.

David Ross



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT K

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Erica D. Adams, Design Review Officer

EDA:agv – EDAFF0828_WAN.DOCX

CC: Kate Masschelein and Alexander Lee-Rodgers, Property Owners

Interested parties

Gediminas & Christina Ramanauskas-379 Summit Drive

ramanauskas.haam@gmail.com

Kelland kelland@yahoo.com

434 Summit Narrative

Basis for variance

- The lot is half the size of a minimum conforming lot
- We purchased the property with approved plans from 2018 that were allowed FAR, square footage and setback variances
- The property line is set in from the street line
- Total setback impingement is going from the current area coverage of [X%] to a proposed area coverage of [Y%] area coverage

Reasons for encroachment on setback

- To create more greenspace in the backyard on a very small lot
- To impose less on neighbours (less intrusion into their backyard line of sight)
- To site the home upslope in order to best take advantage of views
- To allow for a contemporary and thoughtful building form
- To align building front facade to the edge of street for better frontage as the current property is set back from the street line
- To create a way to get up the upper deck from the ground floor (spiral staircase)

Additional considerations

- We are removing the tall garage structure that is outside of the setback encroaching on the neighbor and replacing it with greenscape thereby reducing setback encroachment as well as impervious surface
- We are opening the view for neighbors from the previously approved plans
- We are converting a significant amount of impervious surface to pervious surface in removing the concrete driveway and adding lawn and orchard space
- The massing of our proposed structure is unimposing from all angles in relationship to the street and neighbors
- Existing property to be demolished is currently in violation of rear and side setbacks and we will be reducing the total amount of setback encroachment
- Many other ELH projects have had multiple variances approved

Erica Adams

From: Laryssa Stecyk <laryssa@broadwaydb.com>
Sent: Tuesday, February 1, 2022 4:46 PM
To: Erica Adams
Cc: Dan Spiegel; Jeremy Ferguson
Subject: Fwd: FW: Per my phone call

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

Hi Erica

Please see the correspondence below showing proof of an attempt to acquire the land adjacent to the rear of their property. The neighbors declined.

Thank you
Laryssa



Laryssa Stecyk

Founder | Broadway Design Build

O: 510-868-0066

M: 415-861-9384

www.broadwaydb.com

----- Forwarded message -----

From: Masschelein, Kate [ETHUS] <kmassch8@its.inj.com>
Date: Tue, Feb 1, 2022 at 4:06 PM
Subject: FW: Per my phone call
To: Laryssa Stecyk <laryssa@broadwaydb.com>, Ben Lee-Rodgers <bl307z@gmail.com>

Please forward to Erica.

From: Chantel Fitting <cfitting@gff-law.com>
Sent: Tuesday, February 1, 2022 6:56 PM
To: Masschelein, Kate [ETHUS] <kmassch8@ITS.JNJ.com>
Cc: Justine Vu <jvu@gff-law.com>
Subject: [EXTERNAL] RE: Per my phone call

Sorry. I talked to Jay and we are going to respectfully decline your request. Chantel and Jay

From: Masschelein, Kate [ETHUS] <kmassch8@ITS.JNJ.com>

Sent: Tuesday, February 1, 2022 3:48 PM

To: Chantel Fitting <cfitting@gff-law.com>; jay blundell <jwbz@icloud.com>

Subject: Per my phone call

Hi Jay and Chantel,

We hope you are both doing well!

We are writing to you regarding the piece of land you own directly to the rear of our property.

We are looking to purchase this land from you. This purchase would bring our lot closer to conforming by adding square footage as we move forward on our house project.

Are you interested in selling us this piece of your land?

Thank you

Kate and Ben