

Planning and Building Department

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

Planning Permit Application Form

PLN: _____

BLD: _____

Applicant/Owner Information

Applicant: Edward C Love, Architect

Mailing Address: 720 Mill St

Half Moon Bay, CA Zip: 94019

Phone,W: 6507287615 H: _____

E-mail Address: edwardclovearch@gmail.com FAX: _____

Name of Owner (1): Akkamapet Sundarraj

Mailing Address: 10513 Peralta Rd

Cupertino, CA Zip: 95014

Phone,W: 4086568712

H: 6509386231

E-mail Address: apsundar@yahoo.com

Name of Owner (2): Hema Sundarraj

Mailing Address: 0513 Peralta Rd

Cupertino, CA Zip: 95014

Phone,W: 6502234474

H: _____

E-mail Address: hema_sundarraj@yahoo.com

Project Information

Project Location (address):

Reef Point Rd

Moss Beach, CA

Zoning: R-1/S-17/DR/CD

Assessor's Parcel Numbers: 37 — 123 — 560

— — — —

— —

Parcel/lot size: 11,586 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Vacant lot

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Flat lot, scrub grass, several dead trees on property line

Describe Existing Structures and/or Development:

n/a

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: *A.P. Sundarraj*

Owner's signature: *Hema Sundarraj*

Applicant's signature: *Edward C Love*

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: Edward C Love, Architect

Address: 720 Mill St

Half Moon Bay, CA Zip: 94019

Phone,W: 6507287615 H:

Email: edwardclovearch@gmail.com

Owner (if different from Applicant):

Name: Akkamapet & Hema Sundarraj

Address: 10513 Peralta Rd

Cupertino, CA Zip: 95014

Phone,W: 4086568712 H: 6509386231

Email: apsundar@yahoo.com

Architect or Designer (if different from Applicant):

Name:

Address:

Zip:

Phone,W:

H:

Email:

2. Project Site Information

Project location:

APN: 037-123-560

Address: Reef Point Rd

Moss Beach, CA Zip: 94038

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 11586 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 3242 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

Construction of a single family dwelling w/ attached garage.

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Stucco, smooth	Ben.Moore Winter Solstice	<input type="checkbox"/>
b. Trim	Hardie Trim	Ben.Moore Rock Gray	<input type="checkbox"/>
c. Windows	Fleetwood	Black	<input type="checkbox"/>
d. Doors	Fleetwood	Black	<input type="checkbox"/>
e. Roof	Standing seam metal	Dark Gray	<input type="checkbox"/>
f. Chimneys	n/a		<input type="checkbox"/>
g. Decks & railings	Trex w/ glass railing	Foggy Wharf	<input type="checkbox"/>
h. Stairs	Metal and concrete	Black metal, natural conc.	<input type="checkbox"/>
i. Retaining walls	n/a		<input type="checkbox"/>
j. Fences	Redwood fence	Natural	<input type="checkbox"/>
k. Accessory buildings	n/a		<input type="checkbox"/>
l. Garage/Carport	Stucco, smooth	Ben.Moore Winter Solstice	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: A.P. Sundarraj
Hemasundaraj
 Applicant: EA dcyne

Date: May 11, 2021
 Date: 7 May 2021

Permit Types	Application Companion Page	Environmental Info. Form	Ownership			Survey			Location Map	Site Plans (show all easements)	Elevation Plans	Floor Plans	Landscaping Plan	Grading Projects			Density Analysis/ Certification	Tentative Map	Geotechnical Report	Supporting Statements	NPDES	Dept. Of Public Works	Access Plans (if >150-ft. from public road)		Other Fire Reqs	Septic System	Well	See Regulations for Additional Application Requirements	Plan Reductions (8.5" X 11")	Other	
			Owner's Concurrence	Chain of Title	Title Report (within past 2 mo.)	Proof of Ownership (Deed or Tax Bill)	Boundary Survey	Topographic Survey						Existing Tree Plan	Grading Plans	Erosion/ Sediment Control							Haul Routes (if export exceeds 250 cy)	C.3 and C.6 Development Review Checklist							Drainage Plan
Agribusiness Permit Exemption	✓	✓	✓			✓	✓		✓	✓	✓	✓	✓						✓	✓	✓	✓									
Agricultural Preserve	✓	✓	✓			✓	✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Architectural Review	✓	✓	✓			✓	✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Architectural Review Exemption	✓	✓	✓			✓	✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Certificate of Compliance - Type A	✓	✓	✓	✓			✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Certificate of Compliance - Type B	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Coastal Development	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Coastal Development Exemption	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Major Development Review	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Confined Animal Permit or Exempt.	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Design Review	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Farm Labor Housing	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Fence Ht Ex.	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
General Plan Amendment	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Grading	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Grading Exemption	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Home Improvement Exception	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Kennel/Cattery	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Lot Line Adjustment	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Merger	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Off-Street Parking Exception	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Planned Agriculture	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Resource Management	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Rezoning	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Street Name Change	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Subdivision	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Surface Mining	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Timberland Preserve	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Use Permit	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Use Permit - Telecomm.	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								
Variance	✓	✓	✓				✓		✓	✓	✓	✓	✓							✓	✓	✓	✓								

Required where applicable, as determined by County Staff. **Water tanks may be required by Fire Department

Turn around may be required by Fire Department

Submittal Requirements: 1) 5 sets of plans are required for any application, with the exception of Subdivision applications where 7 sets are required, plus an electronic vector-based map on disc (preferred).

Disclaimers: In addition to those items checked, other items may be required on a case-by-case basis during the Planning Permit review process. Plans approved under a Planning Permit are preliminary to construction. Additional information may be requested at the building permit stage.

Environmental Information Disclosure Form

PLN _____

BLD _____

Project Address: _____

Assessor's Parcel No.: — —

 — —

Zoning District: _____

Name of Owner: _____

Address: _____

Phone: _____

Name of Applicant: _____

Address: _____

Phone: _____

Existing Site Conditions

Parcel size: _____

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). _____

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
		a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
		b. Construction of a new multi-family residential structure having 5 or more units?
		c. Construction of a commercial structure > 2,500 sq.ft?
		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
		f. Subdivision of land into 5 or more parcels?
		g. Construction within a State or County scenic corridor?
		h. Construction within a sensitive habitat?
		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
		j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
		<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
		<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date: 7 May 2021

Planning and Building Department

Application for a Coastal Development Permit

455 County Center , 2nd Floor • Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Companion Page

Applicant's Name:
Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?
Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?
Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Table with 4 columns: Fill in Blanks, Material, Color/Finish, Check if matches existing. Rows include Exterior Walls, Trim, Roof, Chimneys, Accessory Buildings, Decks/Stairs, Retaining Walls, Fences, Storage Tanks.

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|--------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|
| a. Demolition of existing housing units?
(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input type="checkbox"/> |

- | | | |
|------------------------------------------------------------------------|--------------------------|--------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

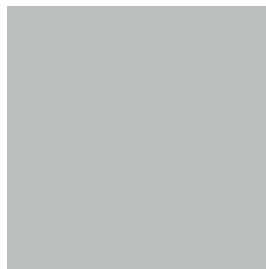
B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- Yes No

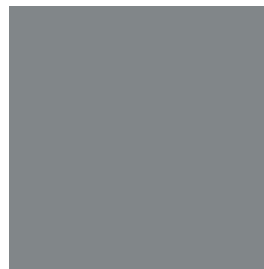
Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

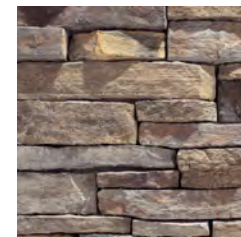
PRIMARY OPTION



BENJAMIN MOORE
WINTER SOLSTICE



BENJAMIN MOORE
ROCK GRAY



ELDORADO STONE
MOUNTAIN LEDGE, SIERRA



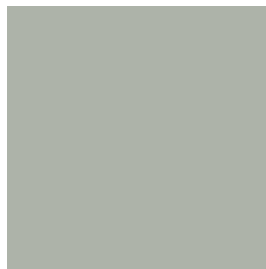
EDWARD C LOVE
ARCHITECT

720 MILL STREET
HALF MOON BAY, CA
94019
(650) 728-7615
edwardclovearch@gmail.com

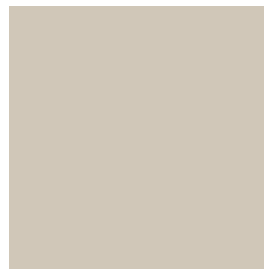
Raj Residence
Reef Point Road
Moss Beach, CA

Color Board

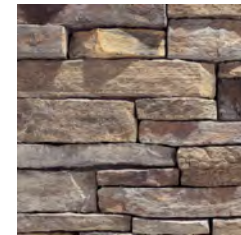
ALTERNATE OPTION



SHERWIN-WILLIAMS
OYSTER BAY



SHERWIN-WILLIAMS
ACCESSIBLE BEIGE



ELDORADO STONE
MOUNTAIN LEDGE, SIERRA



EDWARD C LOVE
ARCHITECT

720 MILL STREET
HALF MOON BAY, CA
94019
(650) 728-7615
edwardclovearch@gmail.com

Raj Residence
Reef Point Road
Moss Beach, CA

Color Board



SITE DATA:
 APN: 037-123-560
 ZONING: R-1.5-17(DR/CD)
 OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: V-B

PRE: 2021-00002
 PLN: 2021-00267
 BLD:

APPLICABLE CODES:
 SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

OWNER : HEMA & SUNDAR RAJ
 10513 PERALTA RD
 CUPERTINO, CA 95014
 650.936.6231
 dpsundar@yahoo.com

ARCHITECT: EDWARD C LOVE, ARCHITECT
 720 MILL ST
 HALF MOON BAY, CA 94019
 650.728.7615
 edwardclovearch@gmail.com

GEOTECHNICAL ENGINEERS: SIGMA PRIME GEOSCIENCES, INC
 332 PRINCETON AVE
 HALF MOON BAY, CA 94019
 650.728.3590

STRUCTURAL ENGINEER:

LANDSCAPING: BLUESKY DESIGNS, INC
 495 PURISIMA WAY
 HALF MOON BAY, CA 94019
 650.726.5990
 info@blueskydesignsinc.com

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	11586							
LOT COVERAGE	0	0.0	2890	24.9	2890	24.9	4055	35.0
FLOOR AREA			FIRST FLR 1304 SECOND FLR 1421 GARAGE 517		FIRST FLR 1304 SECOND FLR 1421 GARAGE 517			
Total	0	0.0	Total 3242	28.0	Total 3242	28.0	Total 6141	53.0

SCOPE OF WORK:
 CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE
 WITH ATTACHED GARAGE

NOTE:
 1. TO BE FIRE SPRINKLERED (FS). FS WILL BE UNDER A SEPARATE PERMIT.
 2.

Sheet List - DD

Sheet Number	Sheet Name
A0.01	Cover Sheet
SU.1	Survey
A0.03	Site Plan
C.1	Grading & Drainage
C.2	Erosion Control
C.3	Best Management Practices
A1.01	First Floor Plan
A1.02	Second Floor Plan
A1.03	Roof Plan
A1.04	Floor Area Calculations
A2.02	Elevations - West
A2.03	Elevations - East
A2.04	Elevations - South
A2.01	Elevations - North
A3.01	Section Views
A5.01	Details- Products
L1.01	Landscape Plan

REVISIONS



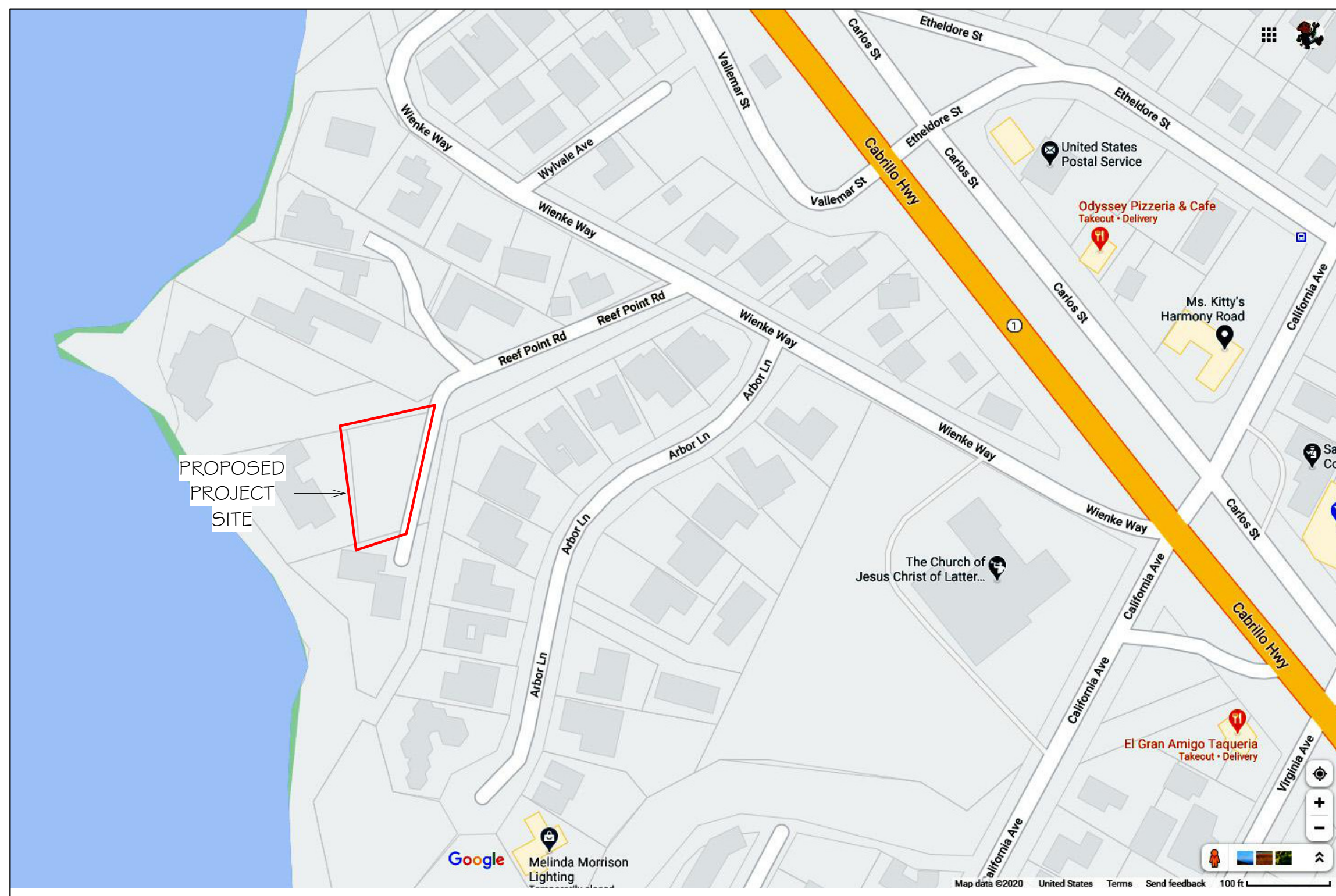
Edward C. Love
 Architect
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 (650) 728-7615
 edwardclovearch@gmail.com

Raj Residence
 Reef Point Road
 Moss Beach, CA

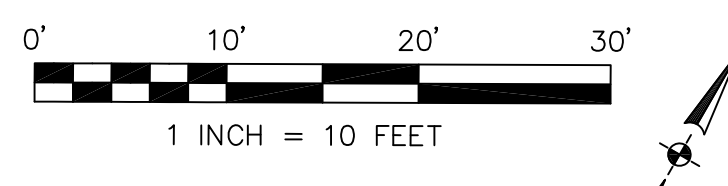
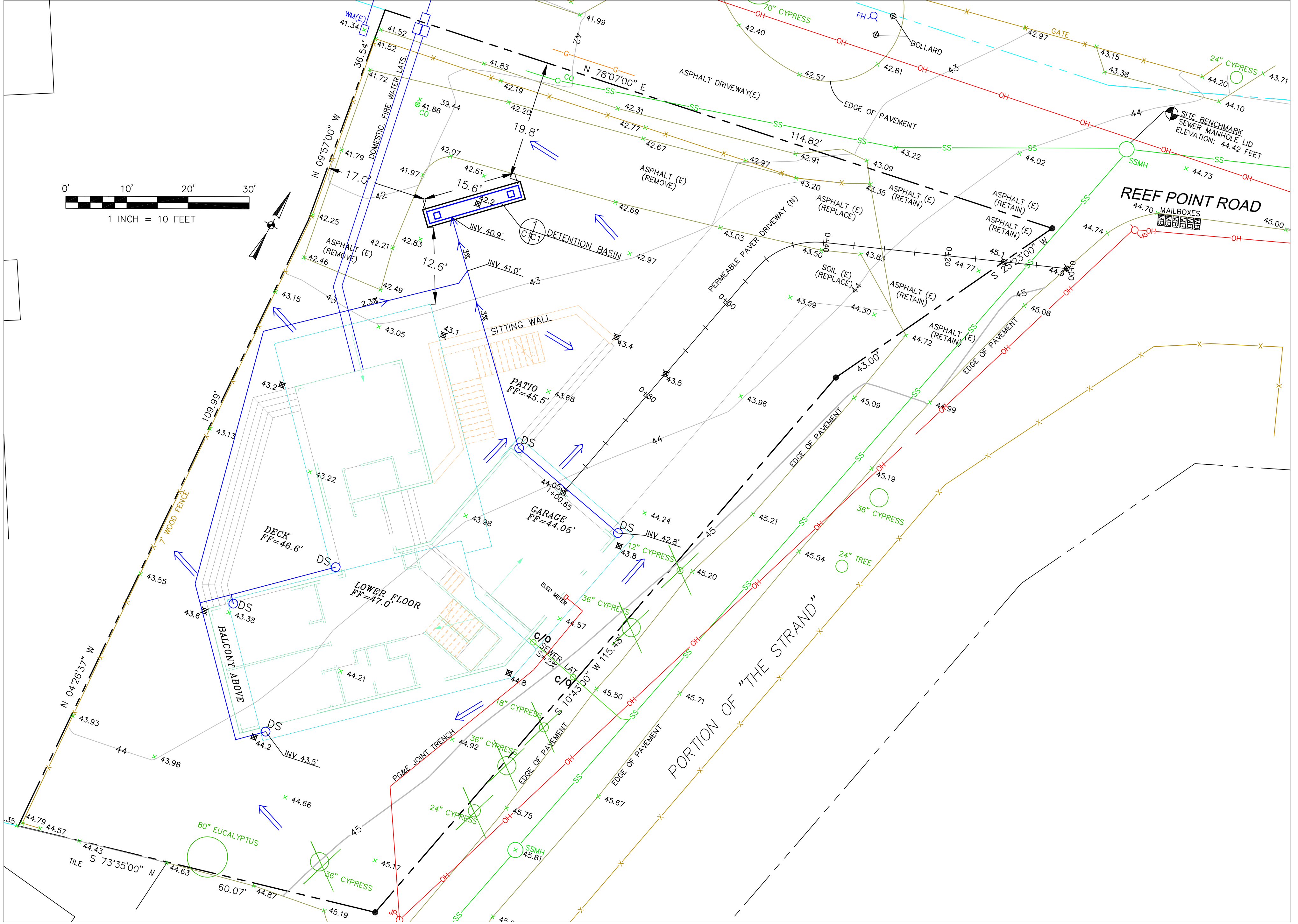
Cover Sheet

FOR REVIEW ONLY

DATE: 01/14/2021
 SCALE:
 DRAWN: GMH
 JOB: Project Name
 SHEET:
 A0.01
 OF SHEETS



S:\Client Projects 2020\Raj\Revit\Raj-DD.rvt



LEGEND

- (E) CONTOUR
- PROPOSED SPOT ELEVATION
- TREE TO BE REMOVED
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE

GENERAL NOTES

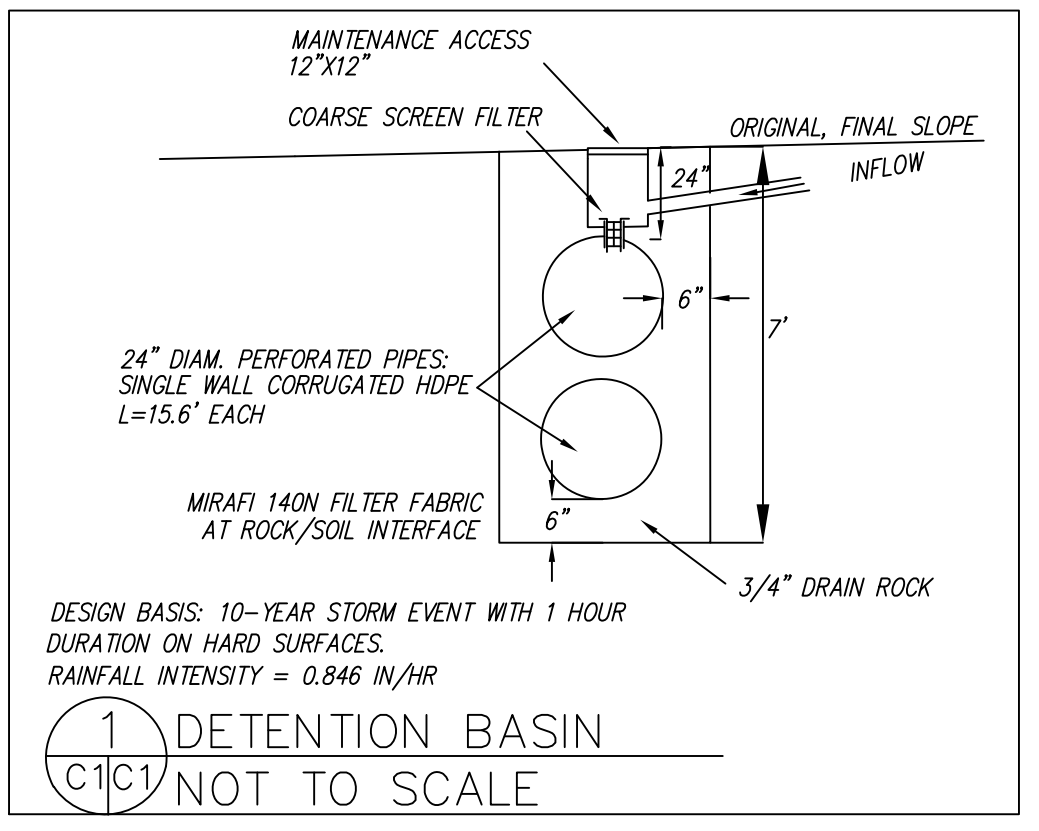
1. PLANS PREPARED AT THE REQUEST OF: A.P. SUNDARRAJ, OWNER
2. TOPOGRAPHY BY BGT SURVEYING, SURVEYED 9-3-20.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: REEF POINT ROAD, MOSS BEACH, CALIFORNIA.** DATE: JUNE 18, 2021, BY SIGMA PRIME INC., PROJECT NO. 21-150 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTACT NUMBER (650)-728-3590 (SIGMAPRM@GMAIL.COM). THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

GRADING NOTES

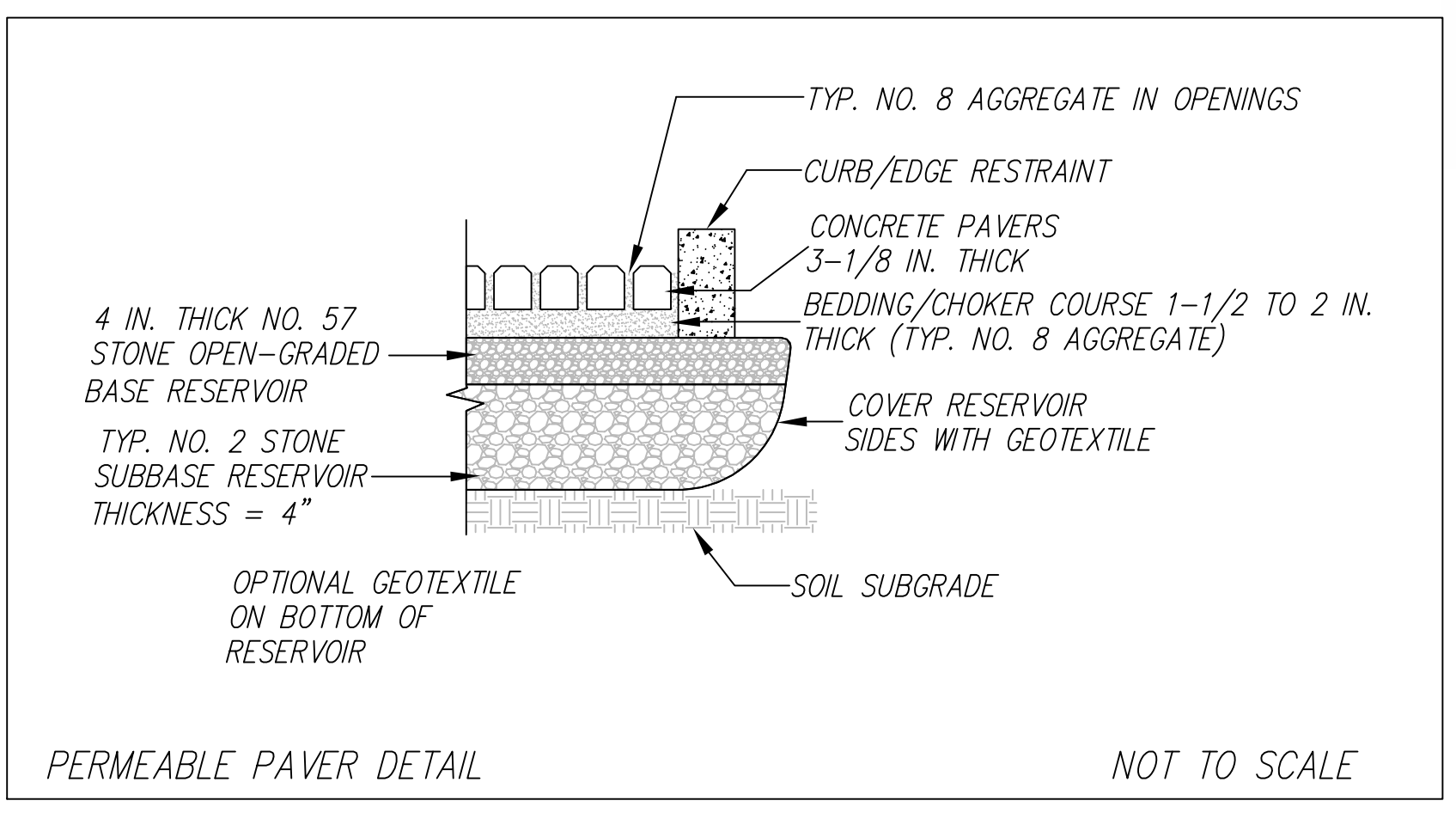
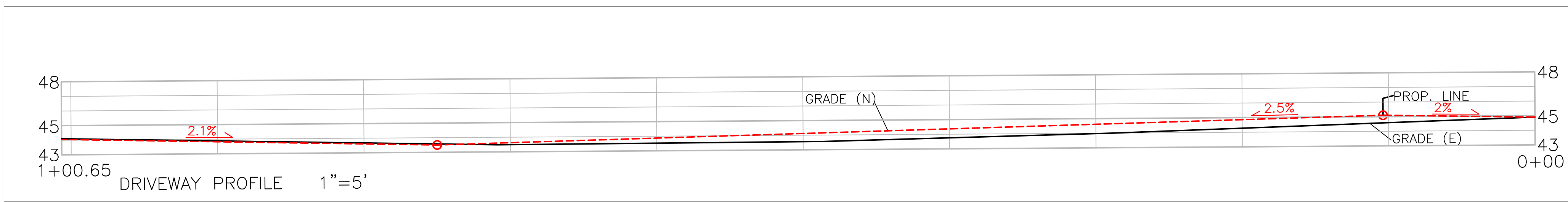
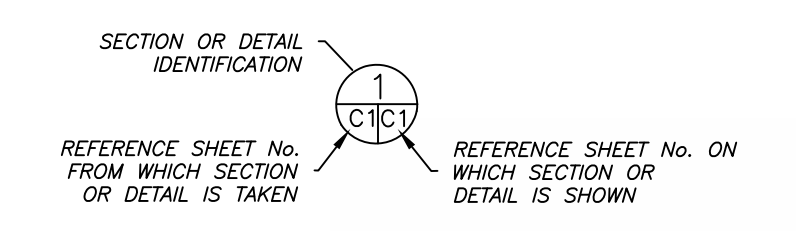
- CUT VOLUME : 20 CY (FOR FOUNDATION)
- FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 2% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

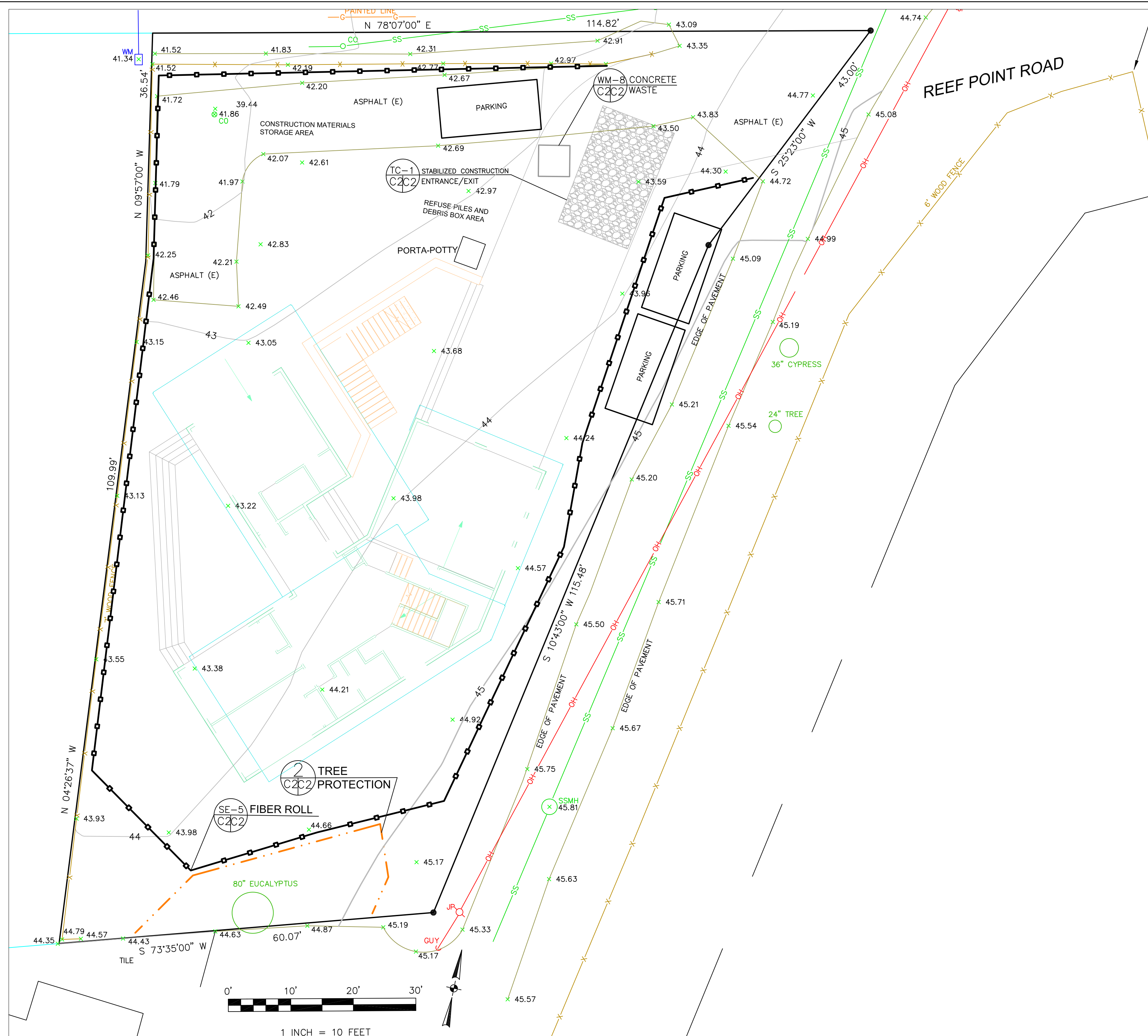


SECTION AND DETAIL CONVENTION

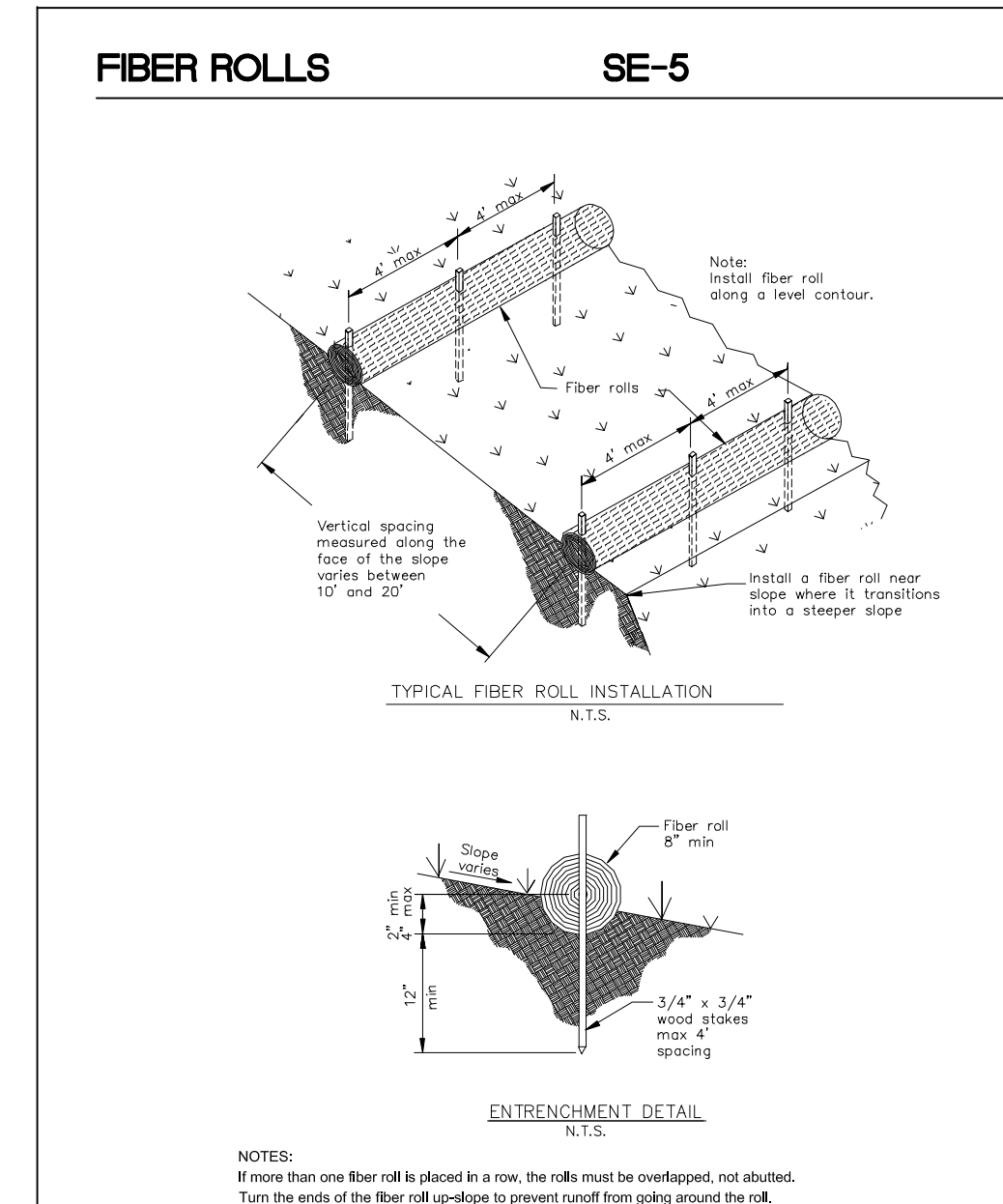
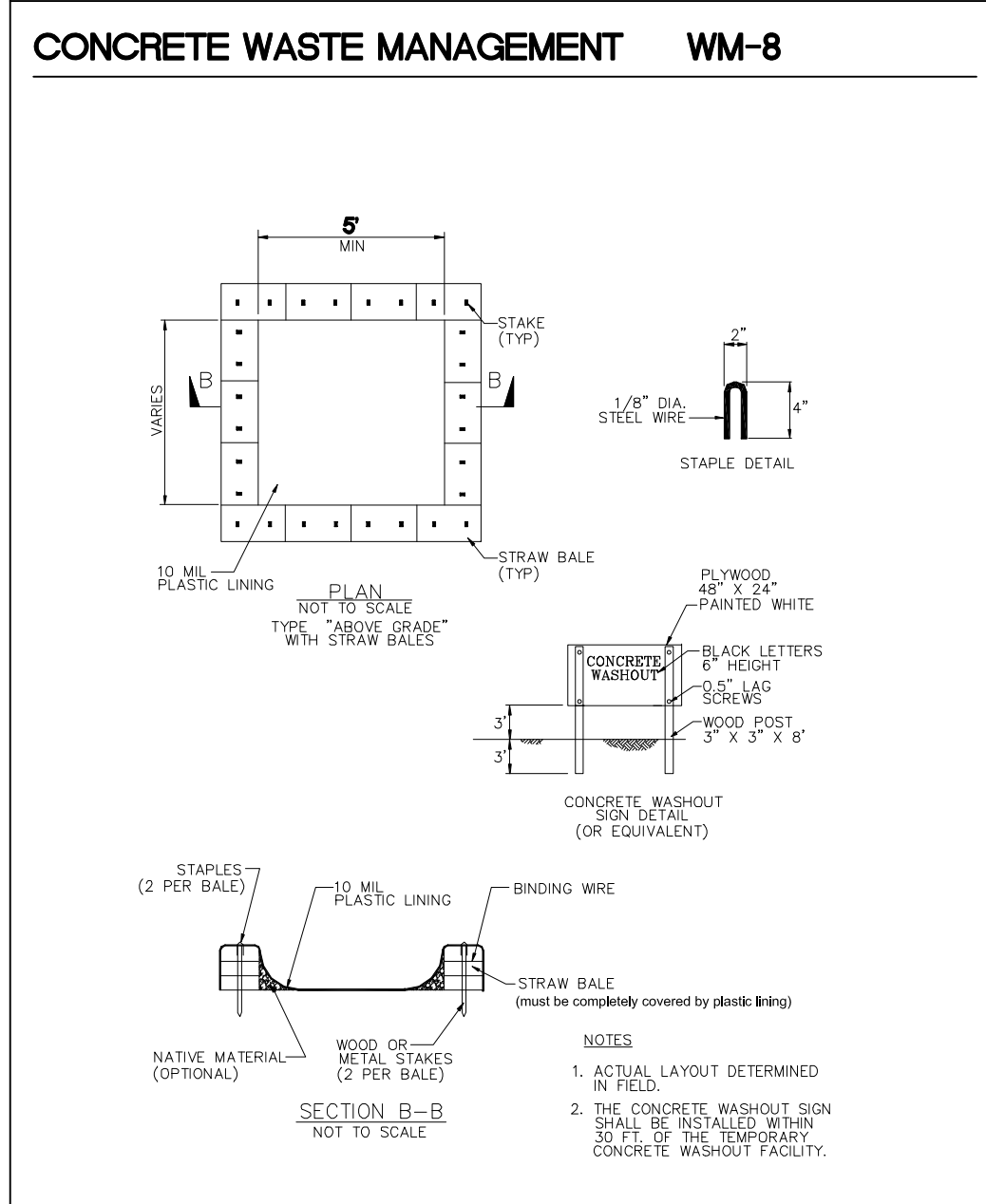
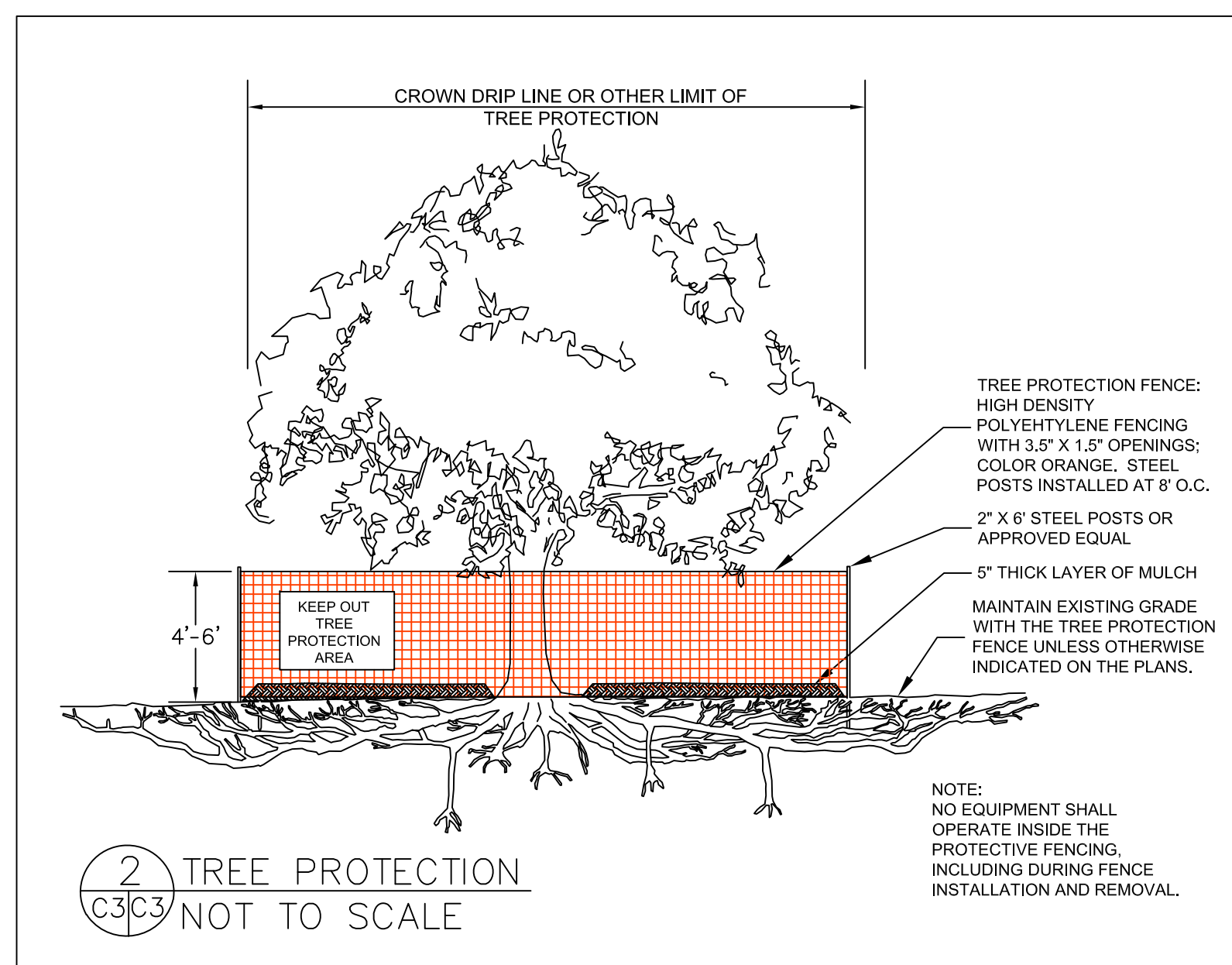


GRADING AND DRAINAGE PLAN	DATE: 6-23-21	DRAWN BY: CMK	Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX: 726-3593
	CHECKED BY: AZG	REV. DATE:	
	REV. DATE:	REV. DATE:	
	REV. DATE:	REV. DATE:	
	REV. DATE:	REV. DATE:	

SUNDARRAJ PROPERTY
 REEF POINT ROAD
 MOSS BEACH
 APN 037-123-560



- TREE PROTECTION NOTES**
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
 2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
 3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
 4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE CUT BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
 5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
 6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

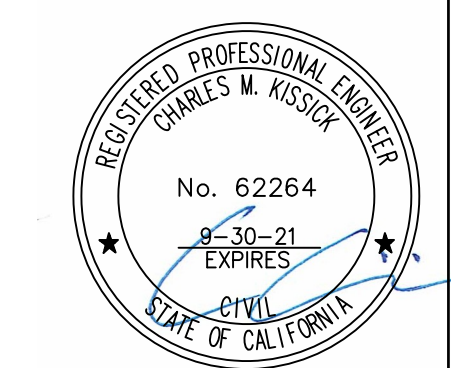
NAME: A.P. SUNDARRAJ

TITLE/QUALIFICATION: OWNER

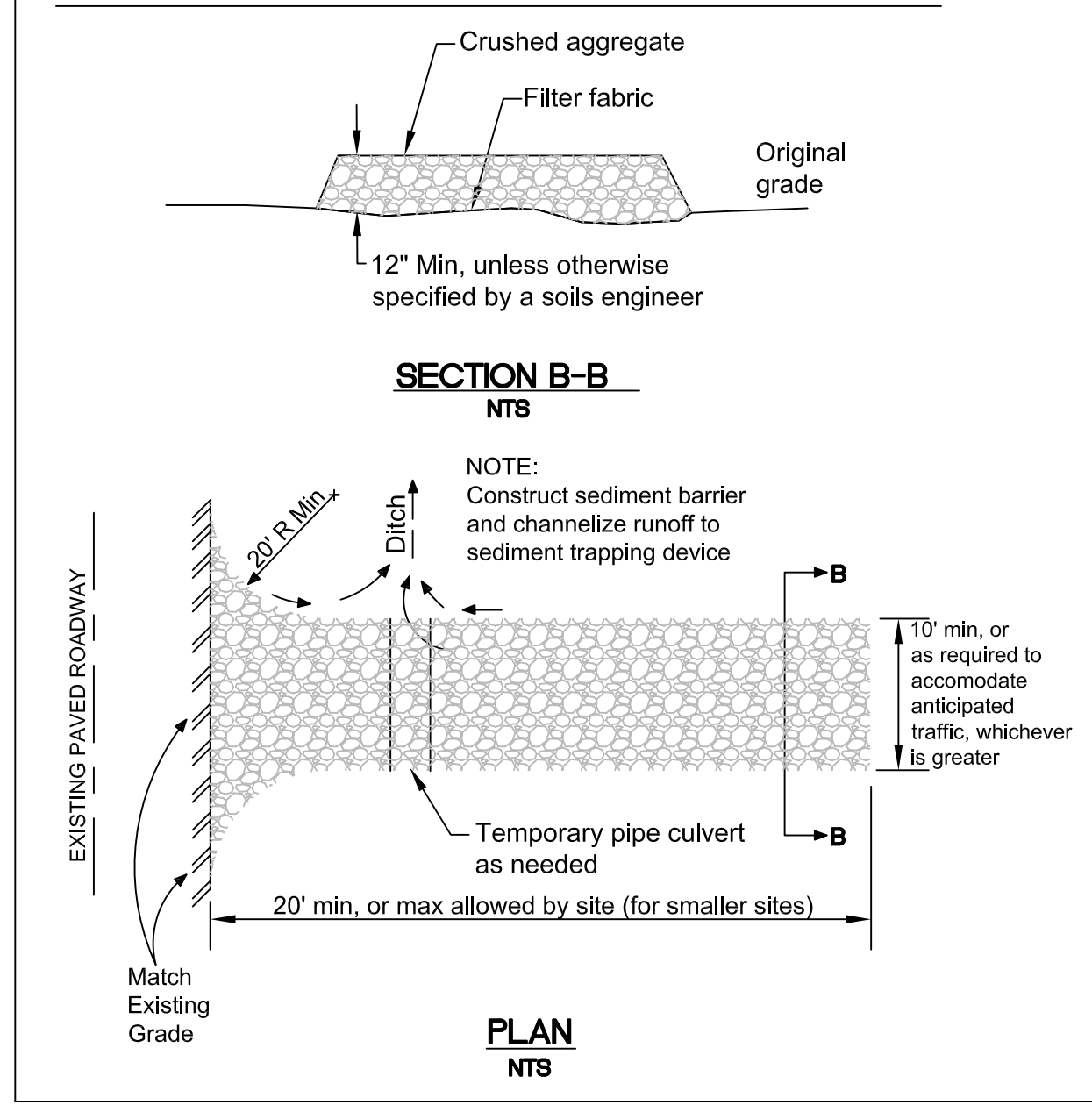
PHONE: 408-656-8712

PHONE: _____

E-MAIL: APSUNDAR@YAHOO.COM



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



EROSION AND SEDIMENT CONTROL PLAN

DATE: 6-23-21
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: _____
REV. DATE: _____
REV. DATE: _____

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
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HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

SUNDARRAJ PROPERTY
REEF POINT ROAD
MOSS BEACH
APN 037-123-560

SHEET C-2



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Raj Residence
Reef Point Road
Moss Beach, CA

Best Management
Practices

FOR
REVIEW
ONLY

DATE: 04/26/21
SCALE:
DRAWN: GMH
JOB: Project Name
SHEET:

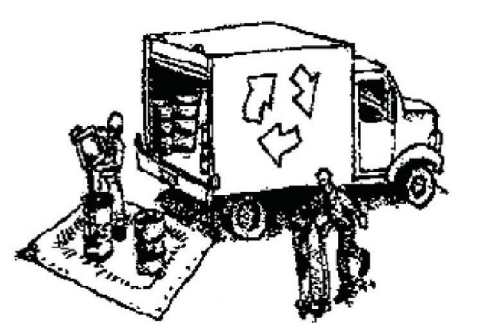
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OF SHEETS



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- Term and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

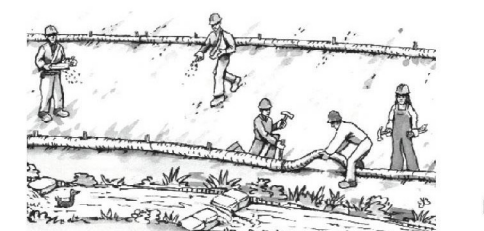
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

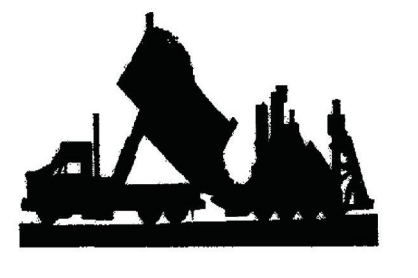
Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as matting) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

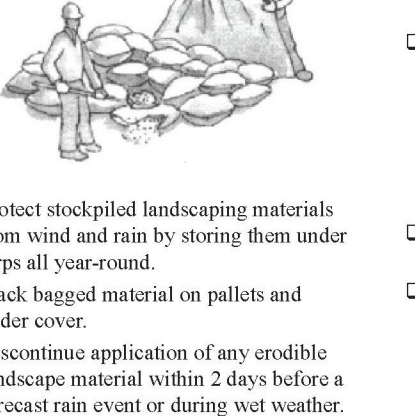
- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
 - If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



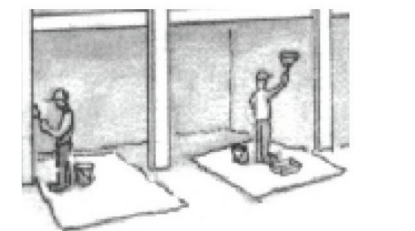
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



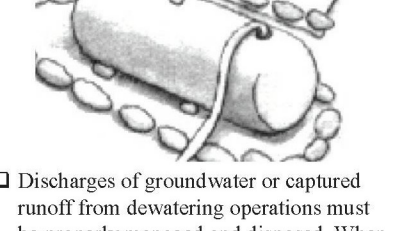
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.



Requirements for Architectural Copper

Protect water quality during installation, cleaning, treating, and washing!

Copper from Buildings May Harm Aquatic Life

Copper can harm aquatic life in San Francisco Bay. Water that comes into contact with architectural copper may contribute to impacts, especially during installation, cleaning, treating, or washing. Patination solutions that are used to obtain the desired shade of green or brown typically contain acids. After treatment, when the copper is rinsed to remove these acids, the rinse water is a source of pollutants. Municipalities prohibit discharges to the storm drain of water used in the installation, cleaning, treating and washing of architectural copper.



Building with copper flashing, gutter and drainpipe.

Use Best Management Practices (BMPs)

The following Best Management Practices (BMPs) must be implemented to prevent prohibited discharges to storm drains.

During Installation

- If possible, purchase copper materials that have been pre-patinated at the factory.
- If patination is done on-site, implement one or more of the following BMPs:
 - Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
 - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
 - Collect the rinse water in a tank and haul off-site for proper disposal.
- Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.



Storm drain inlet is blocked to prevent prohibited discharge. The water must be pumped and disposed of properly.

During Maintenance

- Implement the following BMPs during routine maintenance activities, such as power washing the roof, re-patination or re-application of impervious coating:
 - Block storm drain inlets as needed to prevent runoff from entering storm drains.
 - Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

Protect the Bay/Ocean and yourself!

If you are responsible for a discharge to the storm drain of non-stormwater generated by installing, cleaning, treating or washing copper architectural features, you are in violation of the municipal stormwater ordinance and may be subject to a fine.



Photo credit: Don Edwards National Wildlife Sanctuary

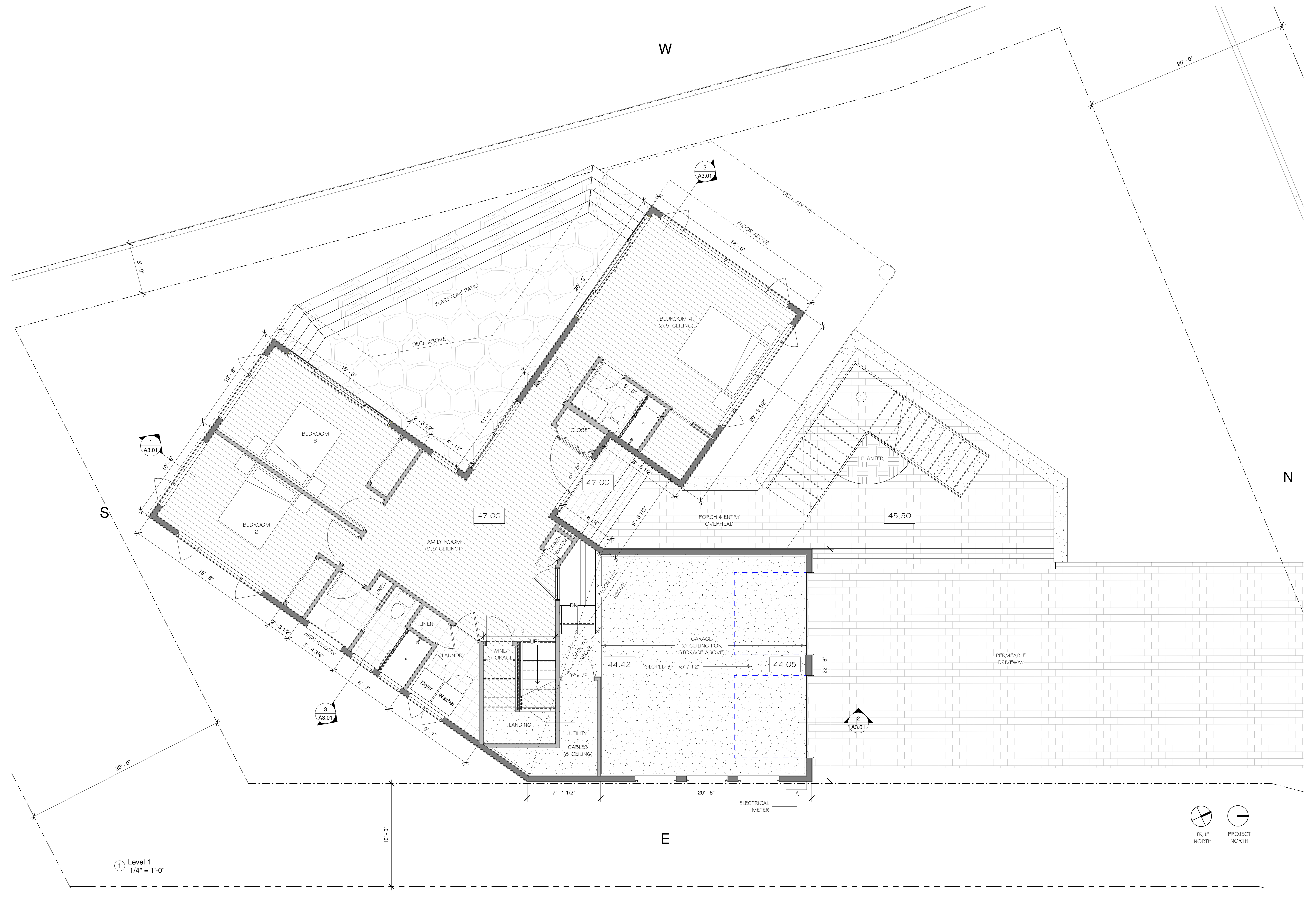
Contact Information

The San Mateo Countywide Water Pollution Prevention Program lists municipal stormwater contacts at www.flowstobay.org (click on "Business", then "New Development", then "local permitting agency").

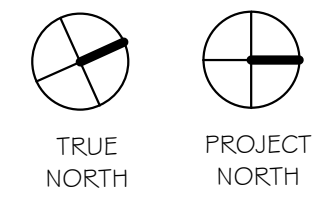
FINAL February 29, 2012

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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1 Level 1
1/4" = 1'-0"



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Raj Residence
Reef Point Road
Moss Beach, CA

First Floor Plan

FOR REVIEW ONLY

DATE: 01/14/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

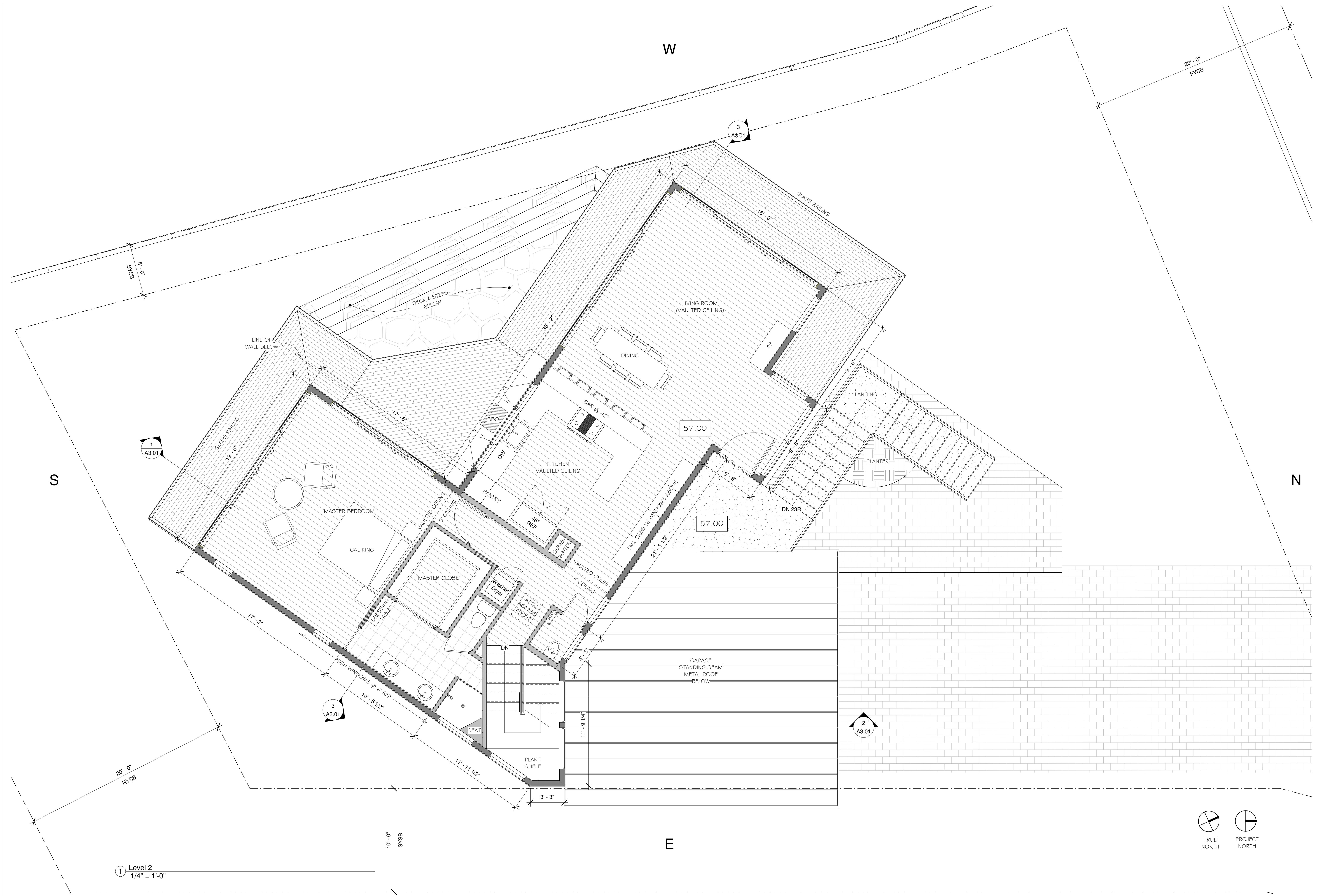
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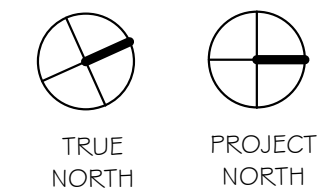
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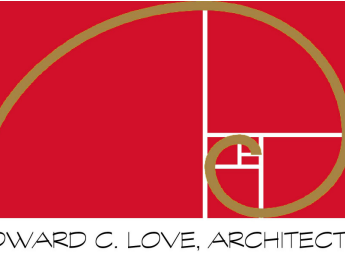


1 Level 2
1/4" = 1'-0"



REVISIONS

NO.	DATE	DESCRIPTION



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Second Floor Plan

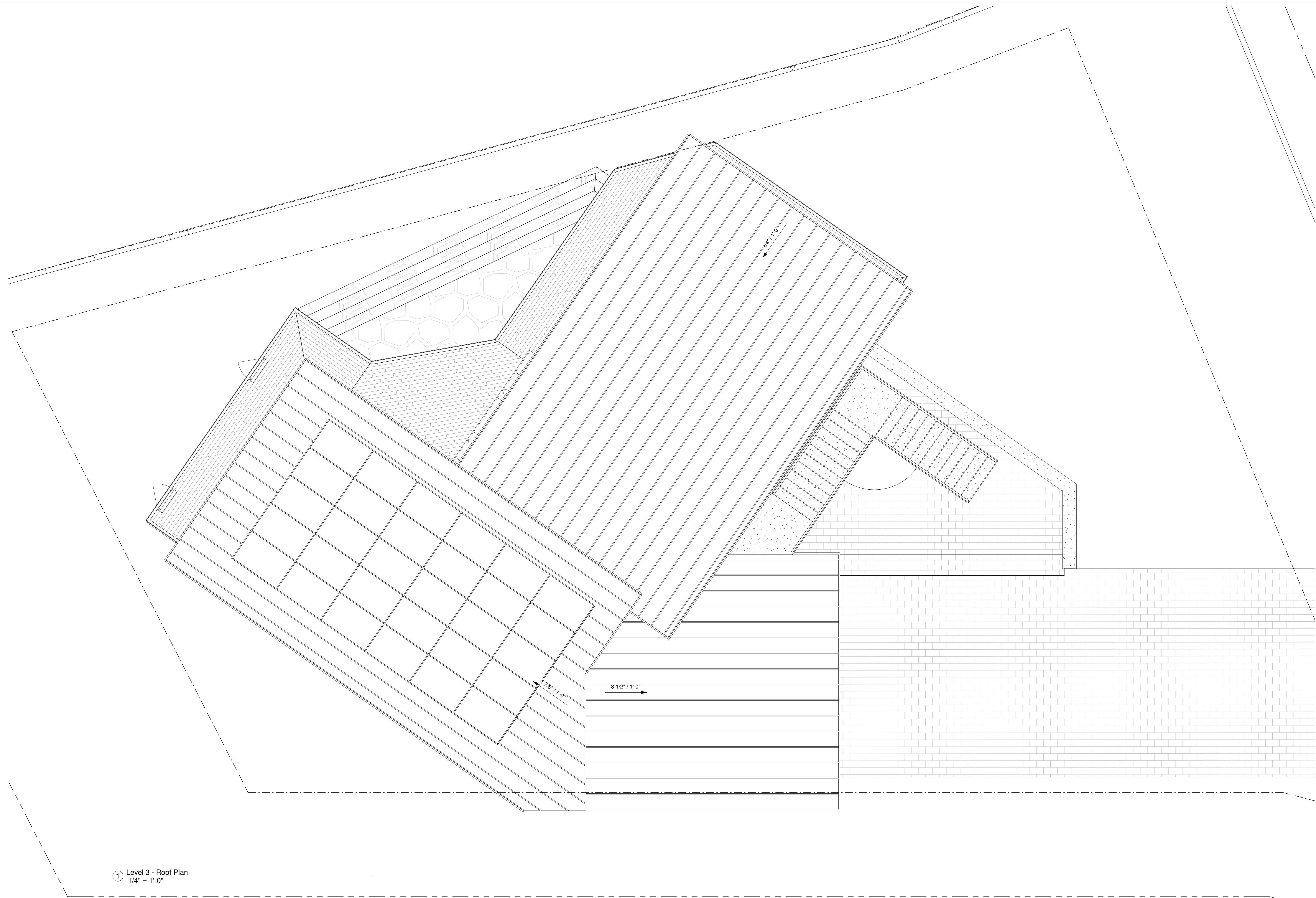
FOR REVIEW ONLY

DATE: 01/14/2021
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: Project Name

SHEET:
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① Level 3 - Roof Plan
1/4" = 1'-0"

REVISIONS



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Raj Residence
Reef Point Road
Moss Beach, CA

Roof Plan

FOR REVIEW ONLY

DATE: 01/03/22

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: Project Name

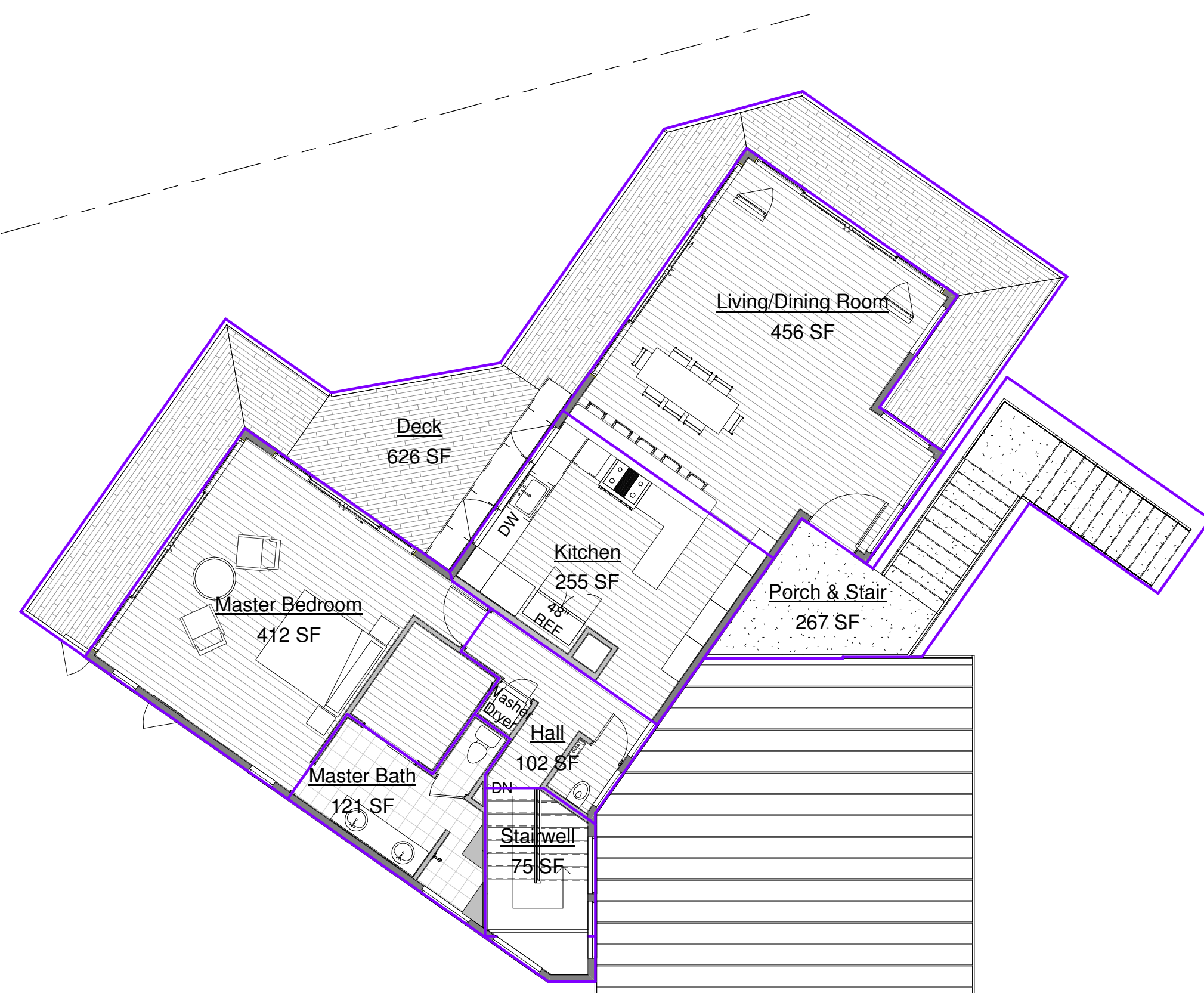
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OF SHEETS



1 Level 1
1/8" = 1'-0"



2 Level 2
1/8" = 1'-0"

Area Schedule

Name	Area	Comments
Level 1		
Bedroom2	188 SF	Floor Area
Bedroom3	188 SF	Floor Area
Bedroom4	373 SF	Floor Area
Entry	85 SF	Floor Area
Family Room	347 SF	Floor Area
Garage	517 SF	Floor Area/Lot Coverage
Laundry	64 SF	Floor Area
Stairwell	75 SF	
Utility	59 SF	Floor Area/Lot Coverage
Level 2		
Deck	626 SF	Lot Coverage
Hall	102 SF	Floor Area/Lot Coverage
Kitchen	255 SF	Floor Area/Lot Coverage
Living/Dining Room	456 SF	Floor Area/Lot Coverage
Master Bath	121 SF	Floor Area/Lot Coverage
Master Bedroom	412 SF	Floor Area/Lot Coverage
Porch & Stair	267 SF	Lot Coverage
Stairwell	75 SF	Floor Area/Lot Coverage

TOTAL FLOOR AREA : 3242
TOTAL LOT COVERAGE : 2890



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Raj Residence
Reef Point Road
Moss Beach, CA

Floor Area Calculations

FOR REVIEW ONLY

DATE: 01/14/2021

SCALE: 1/8" = 1'-0"

DRAWN: GMH

JOB: Project Name

SHEET:

A1.04

OF SHEETS



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Raj Residence
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 Moss Beach, CA

Elevations - North

FOR
 REVIEW
 ONLY

DATE: 01/14/2021

SCALE: 1/4" = 1'-0"

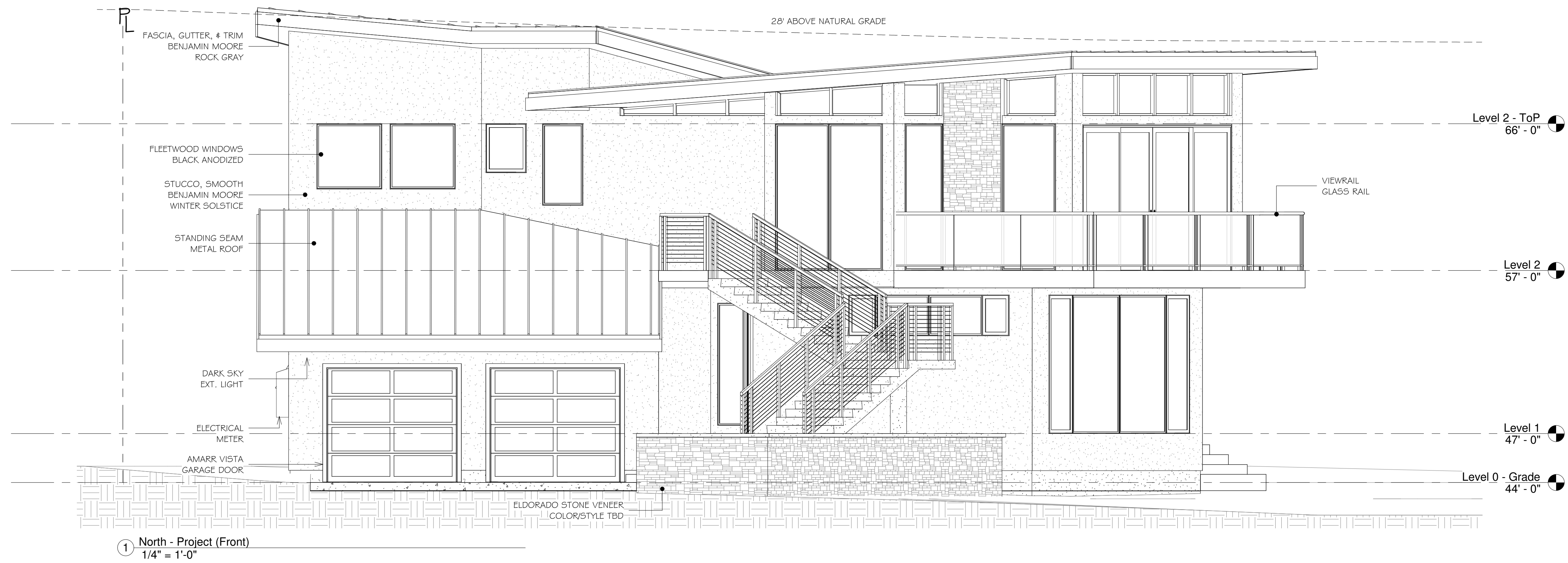
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JOB: Project Name

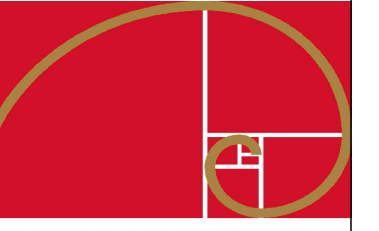
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OF SHEETS



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Reef Point Road
Moss Beach, CA

Elevations - West

FOR
REVIEW
ONLY

DATE: 01/14/2021

SCALE: 1/4" = 1'-0"

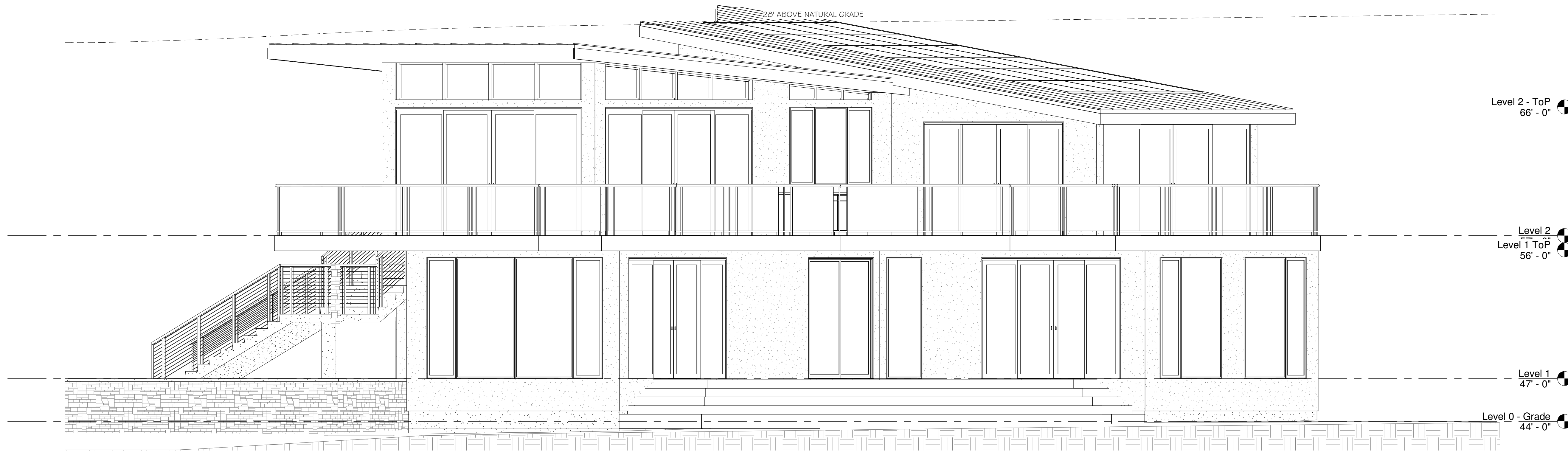
DRAWN: GMH

JOB: Project Name

SHEET:

A2.02

OF SHEETS



① West - Project (Right)
1/4" = 1'-0"



② West - Bldg Plane
1/4" = 1'-0"

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REVISIONS



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Raj Residence
Reef Point Road
Moss Beach, CA

Elevations - East

FOR
REVIEW
ONLY

DATE: 01/14/2021

SCALE: 1/4" = 1'-0"

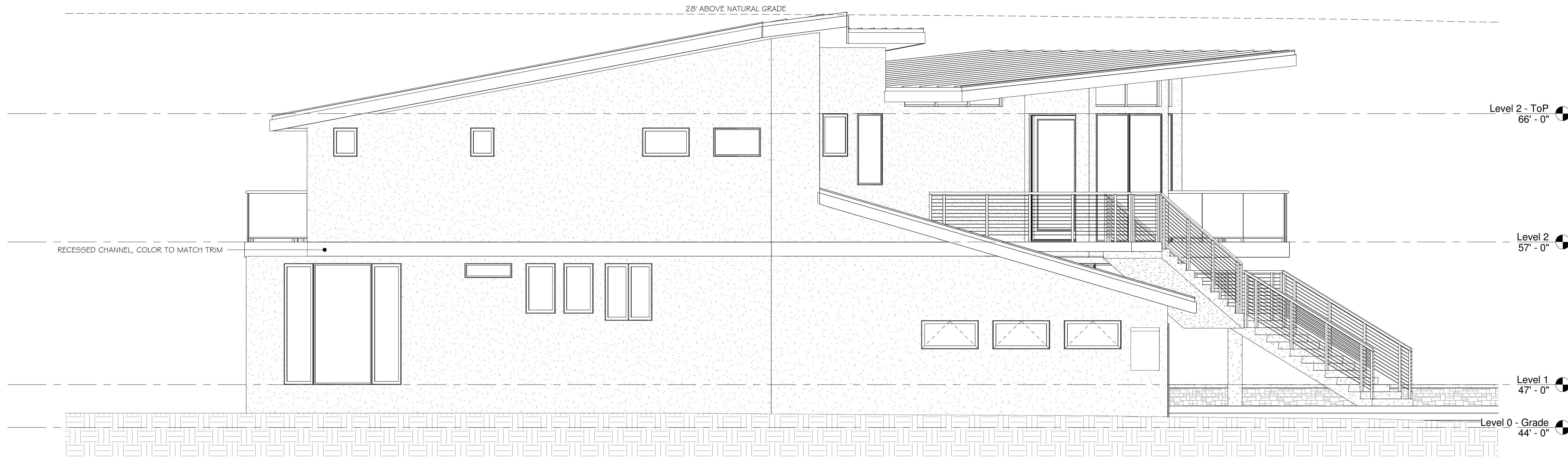
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JOB: Project Name

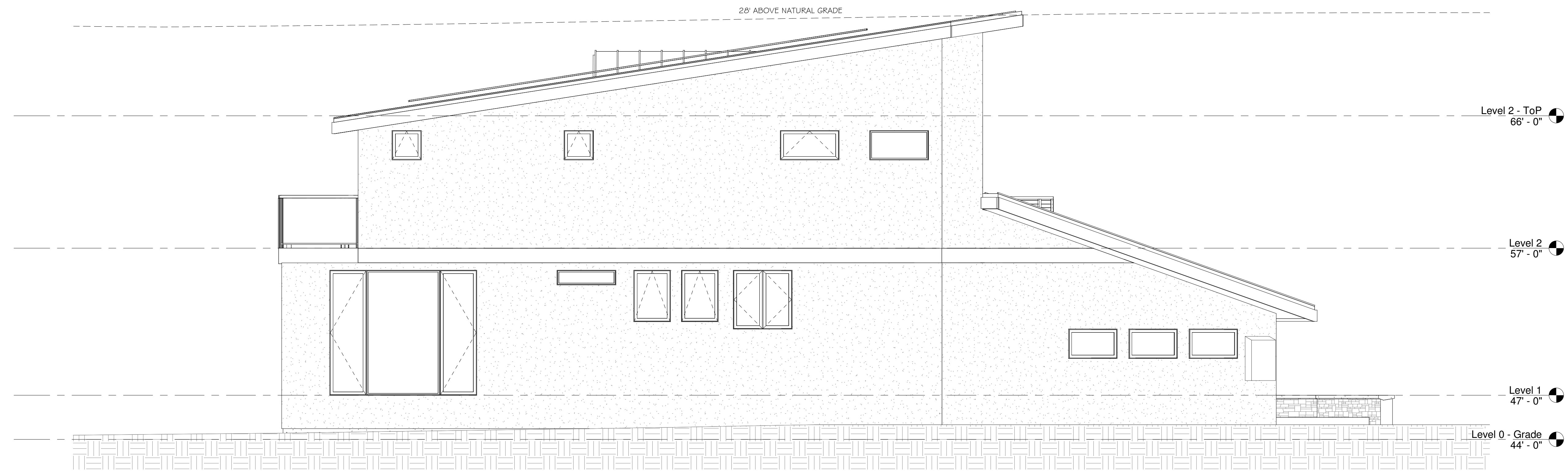
SHEET:

A2.03

OF SHEETS



① East - Project (Left)
1/4" = 1'-0"



② East - Bldg Plane
1/4" = 1'-0"



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Elevations - South

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DATE: 01/14/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: Project Name

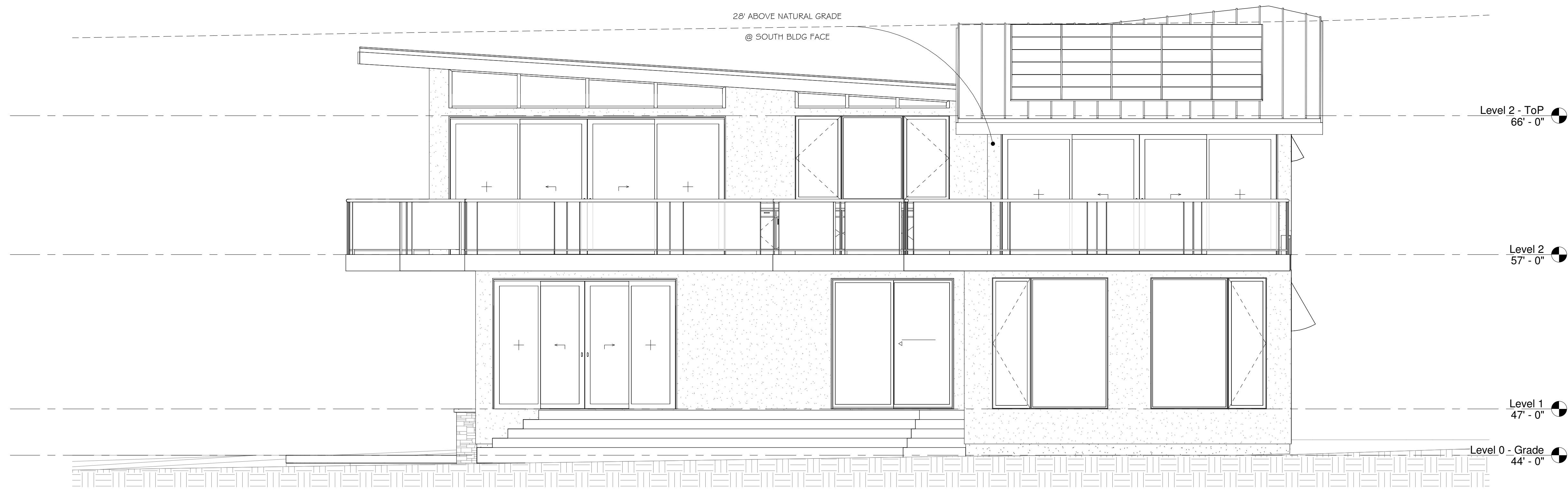
SHEET:

A2.04

OF SHEETS



① South - Project (Rear)
 1/4" = 1'-0"



② South - Bldg Plane
 1/4" = 1'-0"



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Section Views

FOR
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ONLY

DATE: 10/08/2021

SCALE: 1/4" = 1'-0"

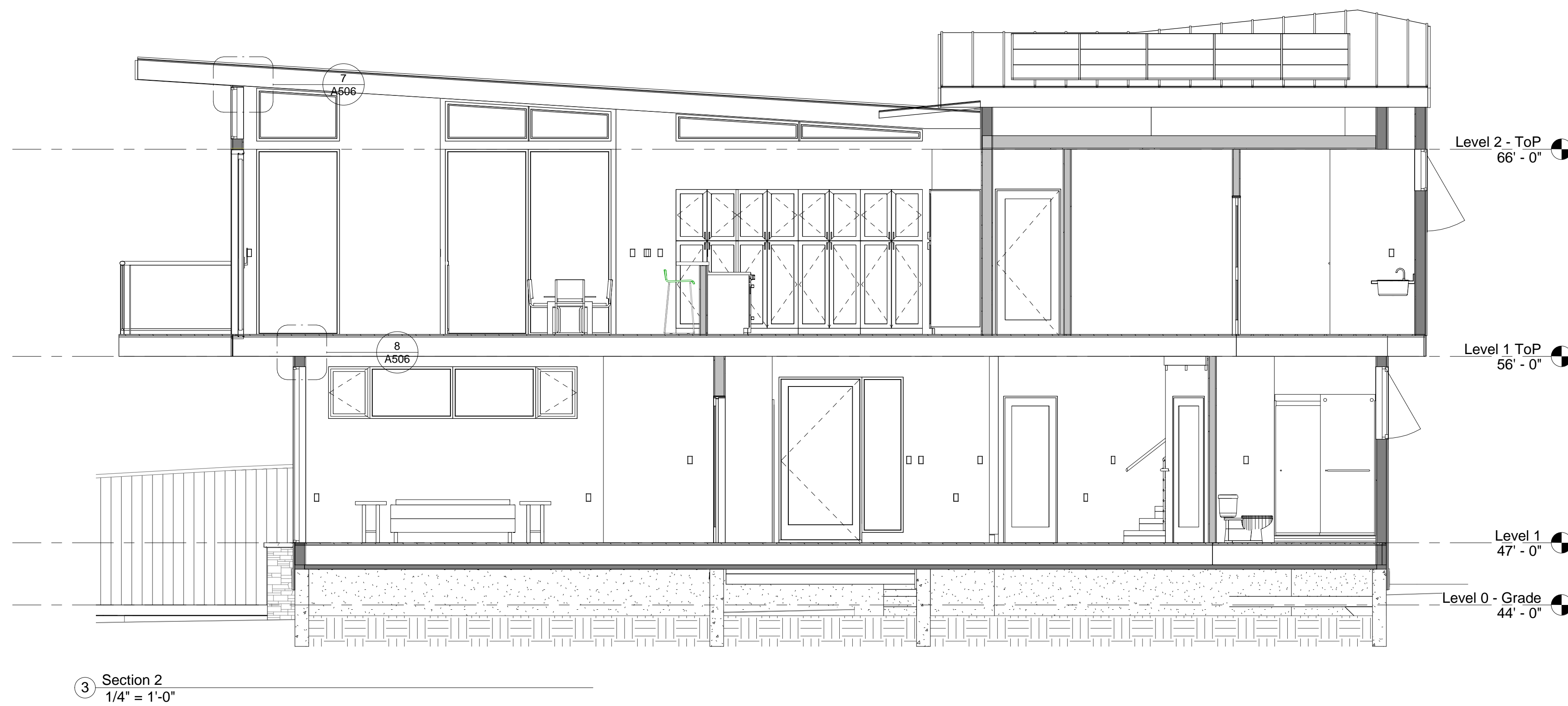
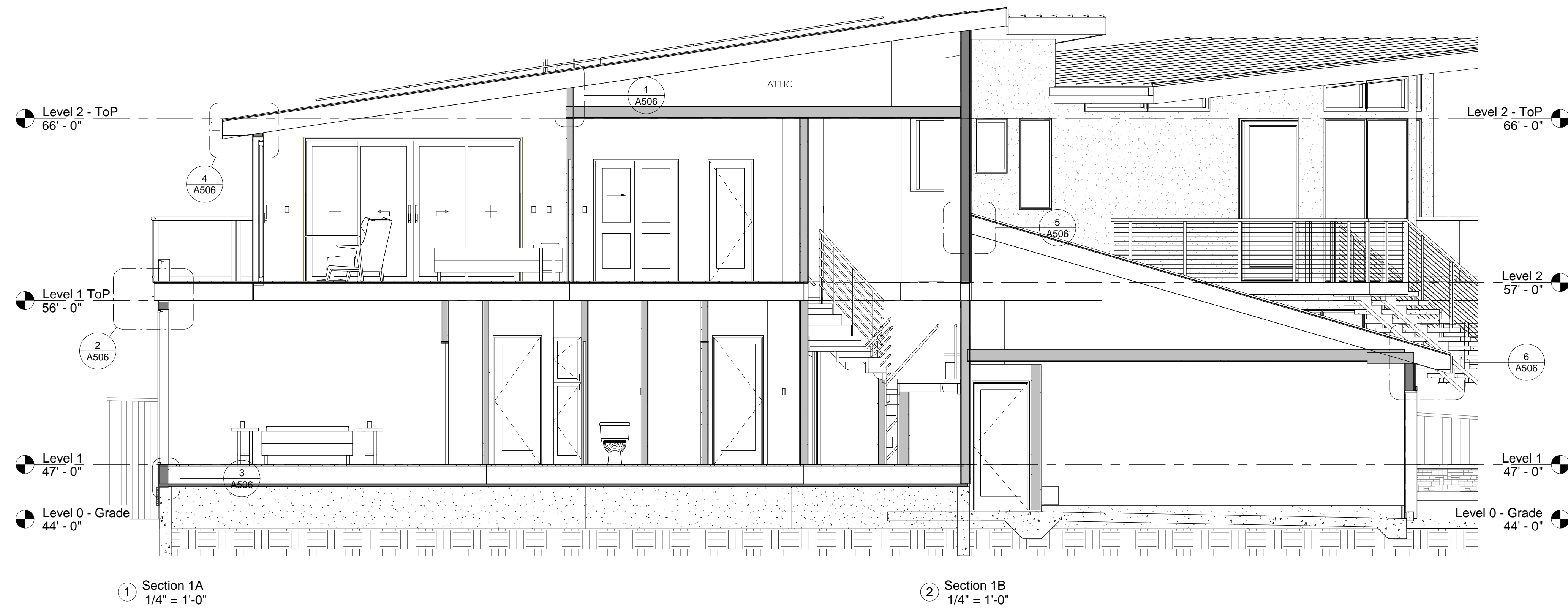
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JOB: RAJ

SHEET:

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OF SHEETS





Product Overview

The outdoor LED wall lantern is uniquely designed with a contemporary feel. Its durable aluminum construction with hand painted black finish and frosted glass gives a sophisticated look.

This uniquely designed fixture is the choice of discriminating yet value conscious homeowners who want to enrich their home.

Darkly certified
Light color is 3000K (bright white)
360 Lumens
80 CRI and uses only 5.5-Watt

Specifications

Dimensions		Product Depth (in.)	5.91	Product Height (in.)	8.01
		Product Length (in.)	8.01	Product Width (in.)	4.49
Details					
Actual Color Temperature (K)	3000	Color Rendering Index	80		
Color Temperature	Bright White				
Exterior Lighting					
Product Type	Cylinder Lights	Fixture Color/Finish	Black		
Fixture Material	Aluminum	Glass/Lens Type	Frosted		
Light Bulb Type Included					
Maximum Wattage (watts)	Integrated LED	Light Output (lumens)	360		
Watt Equivalence	0	Number of Bulbs Required	0		
Outdoor Lighting Features					
	Dark Sky, Weather Resistant, Weather Resistant				
Power Type					
Product Weight (lb.)	2.29lb				
Style					
	Modern				

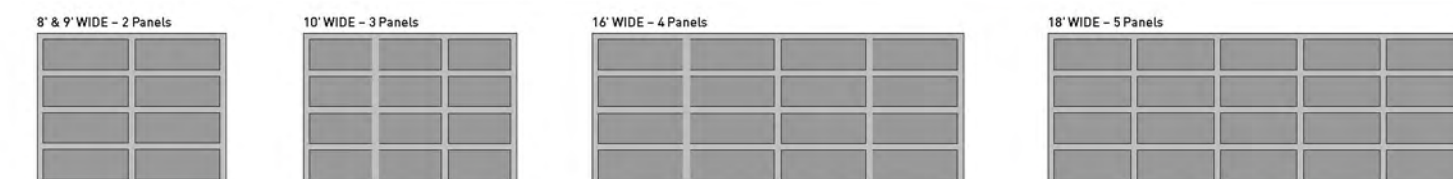
Ammar Vista VI1000
Contemporary Aluminum Full View Garage Doors



It's the perfect reflection of your style. The modern industrial look goes residential with the introduction of the Ammar Vista collection. From the outside, these sleek doors perfectly mirror the clean lines and glass expanses of your home's contemporary design. Inside, they transform your garage into a bright and inviting room.

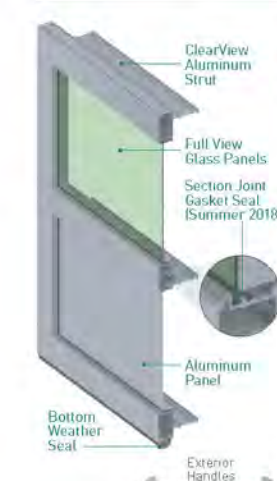


PANEL CONFIGURATION



Ammar Vista

Construction



An Ammar Vista full view door offers strength and beauty to match the stylish design of your home.

- 2" thick extruded commercial-grade aluminum frame provides durability, low maintenance and corrosion resistance
- Tongue and groove section joint with new leading edge gasket seal and the bottom weather seal improve air and water infiltration performance
- ClearView Aluminum Strut System does not restrict viewing area and adds strength and durability to doors 16' to 24' wide
- Wind load options to meet local building codes
- Attractive, modern exterior handles (2) included
- Available in 1" width increments up to 24'

Specifications

FRAME CONSTRUCTION	2" thick aluminum
SECTION HEIGHTS	21" and 24", 16" for odd height doors
WIND LOAD AVAILABLE	•
FINISH WARRANTY	5 Years
WORKMANSHIP WARRANTY	5 Years
HARDWARE WARRANTY	5 Years

Colors



Glazing Options

	SINGLE PANE				DUAL PANE				Laminated	Polycarbonate	SINGLE PANE Acrylic			
	1/8"	1/4" Low-E	1/2"	1/2" Low-E	1/8"	1/4" Low-E	1/2"	1/2" Low-E			Single 1/8"	Single 1/4"	1/8"	1/4"
CLEAR	•	•	•	•	•	•	•	•	•	•	•	•	•	•
OBSCURE	•	•	•	•	•	•	•	•	•	•	•	•	•	•
GREEN TINT	•	•	•	•	•	•	•	•	•	•	•	•	•	•
BRONZE TINT	•	•	•	•	•	•	•	•	•	•	•	•	•	•
GRAY TINT	•	•	•	•	•	•	•	•	•	•	•	•	•	•
GREYLITE	•	•	•	•	•	•	•	•	•	•	•	•	•	•
FROST	•	•	•	•	•	•	•	•	•	•	•	•	•	•
SNOW	•	•	•	•	•	•	•	•	•	•	•	•	•	•
WHITETINT	•	•	•	•	•	•	•	•	•	•	•	•	•	•
BLACK ICE	•	•	•	•	•	•	•	•	•	•	•	•	•	•

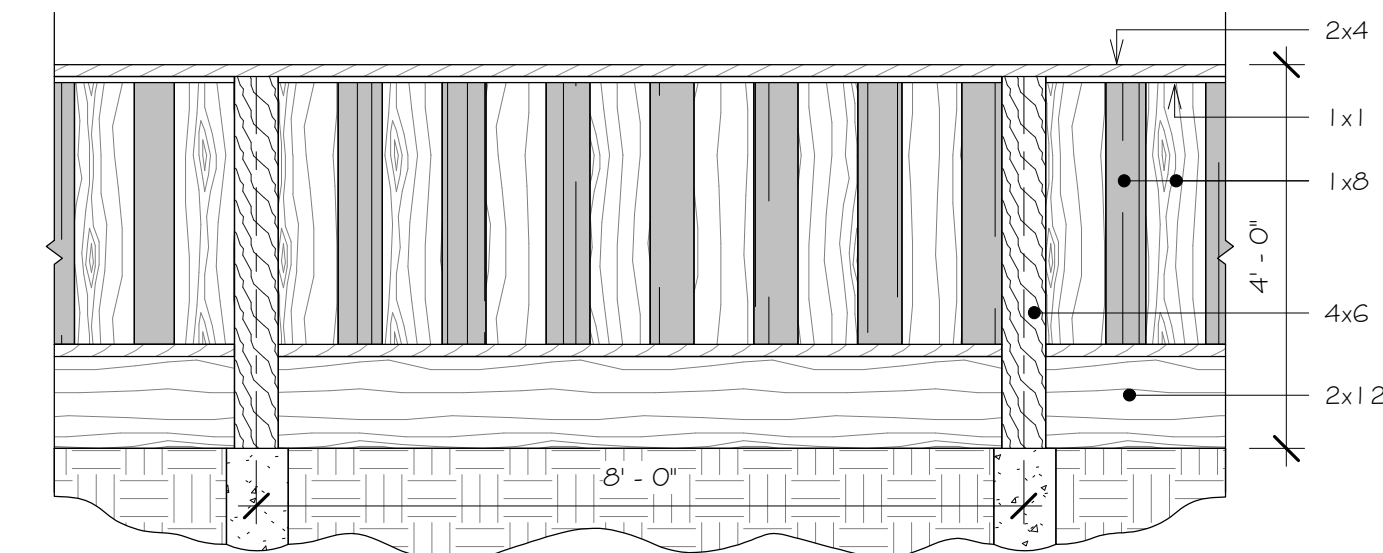


Colors

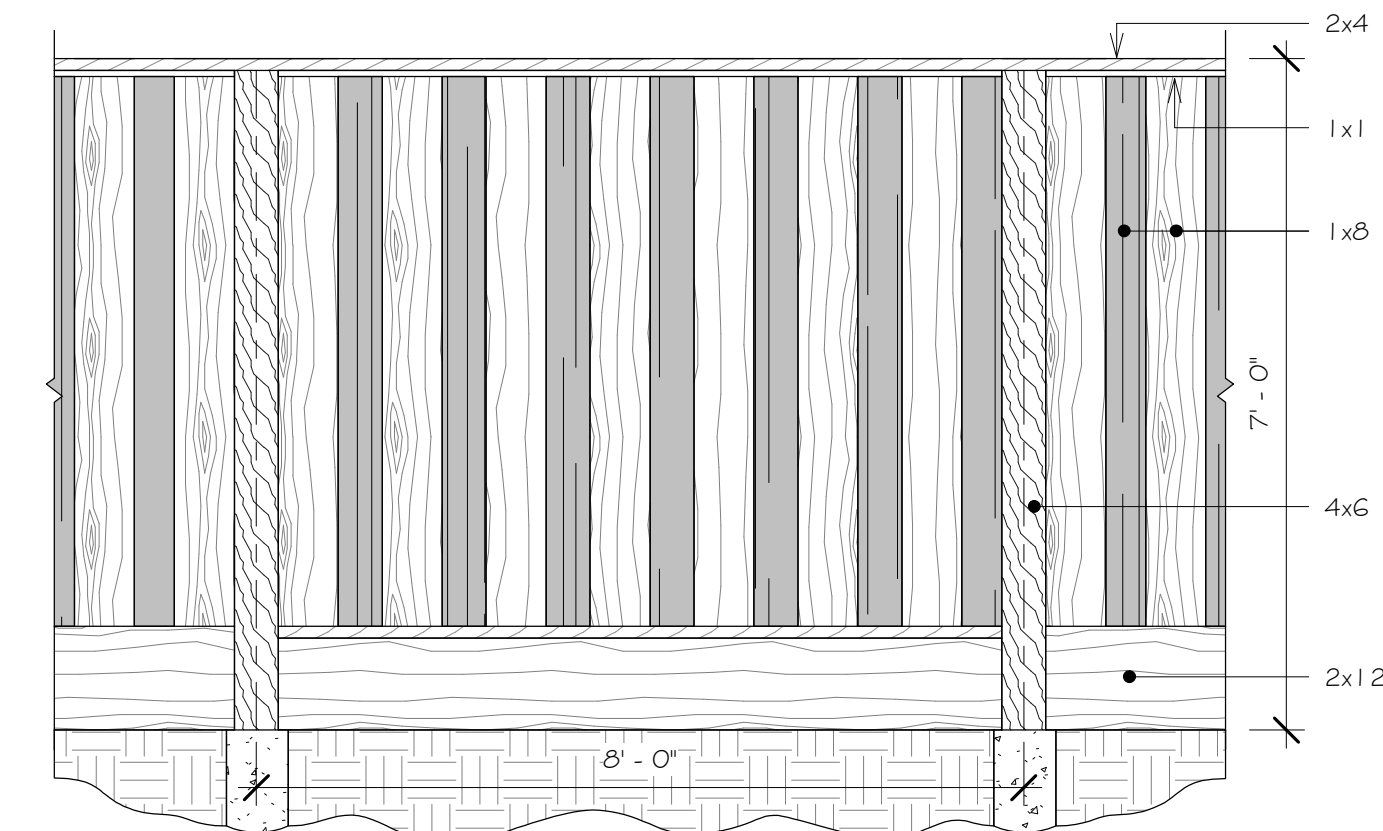


EDGE RESISTANT	POF (Finish 1)	Preder Coat
CORROSION RESISTANT	++	+
UV RESISTANT	++	+
ABRASION RESISTANT	+	++
STANDARD COLORS	51	21
RAL CUSTOM COLORS	5	55
TOUCH-UP PAINT	Included	POF (Included)

Optional Panels



2 Detail - (N) 4' Fence
1/2" = 1'-0"



1 Detail - (E) 7' Fence
1/2" = 1'-0"

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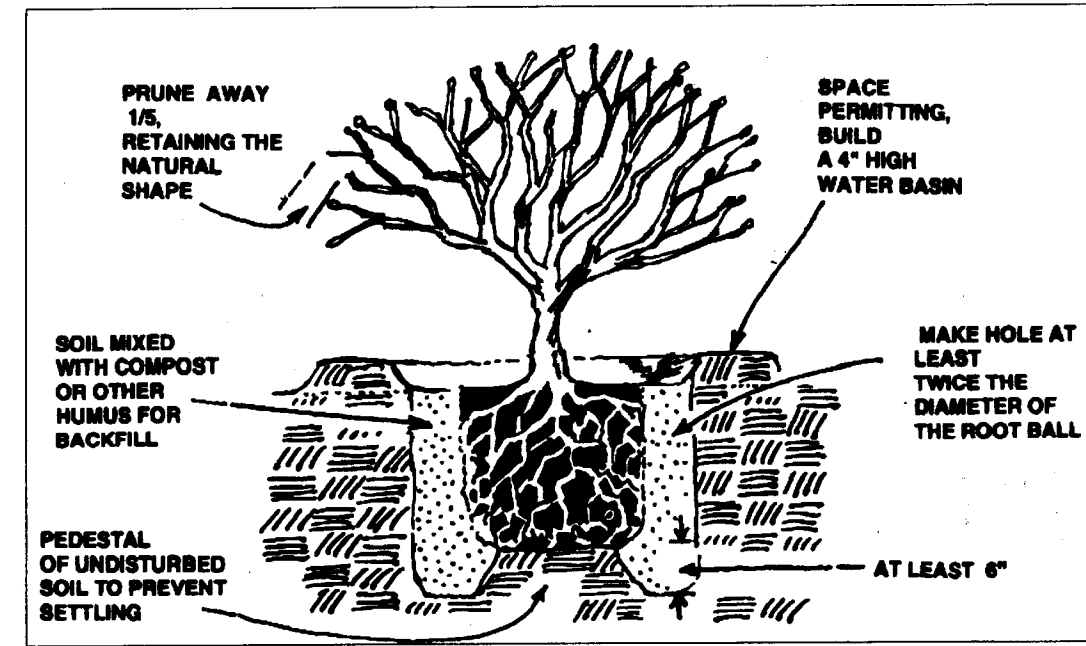
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Moss Beach, CA

Details

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DATE: 01/14/2021
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DRAWN: GMH
JOB: Project Name
SHEET: A5.01
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STAKING AND WIND PROTECTION:

A. SET THREE (3) 2" DIAMETER X 8' TALL PRESSURE TREATED DOUGLAS FIR (P.T.D.F.), REDWOOD OR LODGE POLE TREE STAKES FORMING A 90 DEGREE ANGLE ON THE WINDWARD SIDE OF THE PLANT, OPENING AWAY FROM THE DIRECTION OF PREVAILING WINDS. SET ALL STAKES 20" FROM THE ROOT CROWN, PLUMB AND 1/2" MIN. SECURELY INTO UNDISTURBED GRADE BELOW THE PLANT ROOT BALL.

B. HIGH QUALITY WOVEN LANDSCAPE FABRIC, 4' TALL, SHALL BE STAPLED SECURELY TO THE POLES IN ANTICIPATION OF HEAVY WINDS.

C. SECURE FOUR (4) RUBBER OR POLY. TREE TIES FASTENED IN A FIGURE "8" AROUND PLANT. TIES SHALL BE PLACED ON THE TWO STAKES THAT ARE PERPENDICULAR TO THE DIRECTION OF THE PREVAILING WINDS. SECURE TIES TO PLANT STAKES WITH 1 1/2" GALV. ROOFING NAILS.

D. STAKING AND WIND PROTECTION SHALL REMAIN FOR A MINIMUM OF TWO YEARS OR UNTIL PLANT IS WELL ESTABLISHED.

MAINTENANCE AND REPLACEMENT:

A. PROVIDE A MONTHLY MAINTENANCE CHECK ON IRRIGATION AND PLANT CONDITIONS TO ENSURE SUCCESS OF THE PLANTING AND IRRIGATION SYSTEM.

B. PLANTS SHALL BE REPLACED IN-KIND PER THE LANDSCAPE PLAN AND WRITTEN INSTRUCTIONS AS THEY DIE OR ARE SUBSTANTIALLY DECLINING. THESE CONDITIONS APPLY TO THE LIFE OF THE STRUCTURE.

PROTECTION OF EXISTING VEGETATION:

A. PRIOR TO ANY SITE DEVELOPMENT ACTIVITIES, TEMPORARY 3 FEET TALL NYLON 1" SQ. MESH FENCING SHALL BE PLACED 1 FT. OUTSIDE OF THE DRIP LINE OF ALL VEGETATION WHICH IS IDENTIFIED FOR RETENTION.

B. NO CONSTRUCTION ACTIVITIES, VEGETATION REMOVAL, EXCAVATION, MATERIALS OR EQUIPMENT STORAGE SHALL BE PERMITTED WITHIN THE DRIP LINE OF THIS VEGETATION.

LANDSCAPE SPECIFICATIONS:

GENERAL CONDITIONS: ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER AND BE OF THE HIGHEST QUALITY STANDARDS.

PLANT MATERIAL:

A. ALL PLANTS SHALL BE TOP QUALITY NURSERY STOCK, FREE OF DISEASE AND PESTS.

B. ALL PLANTS SHALL BE NORMAL SIZE FOR CONTAINER, VIGOROUS, AND TRUE TO NAME AND VARIETY.

C. PLANTS SPECIFIED ON THIS PLAN SHALL BE OBTAINED FROM LOCAL NURSERIES THAT GROW SPECIFIC NATIVE SPECIES WHEN POSSIBLE.

SOIL PREPARATION:

A. NO ADDITIONAL TOP SOIL NEEDS TO BE IMPORTED INTO THE SITE.

B. PLANT HOLES SHALL BE TWICE THE DIAMETER AND DEPTH OF THE ROOT BALL, SEE ATTACHED DETAIL FOR PLANTING INSTRUCTIONS.

C. EACH PLANT SHALL HAVE 7.5 GALLONS OR 1 CU. FT. OF HUMUS BUILDER OR EQUAL AND 2 TABLESPOONS (2 TBSP.) WATER CRYSTALS ADDED AND MIXED WELL INTO THE BACKFILL MIX TO GIVE THE PLANTS A BOOST OF NUTRIENTS AND THE SOIL WATER RETENTION. BACKFILL MIX IS 1/3 HUMUS BUILDER, 2/3 NATIVE TOP SOIL.

D. AGRIFORM (20-10-5) SLOW RELEASE 2.1 GRAM FERTILIZER TABLETS OR EQUAL SHALL BE PLACED EVENLY AROUND THE PLANT CIRCUMFERENCE, HALF WAY DOWN ROOT BALL AND 4" AWAY. USE 3 TABLETS PER 5 GALLON SHRUB.

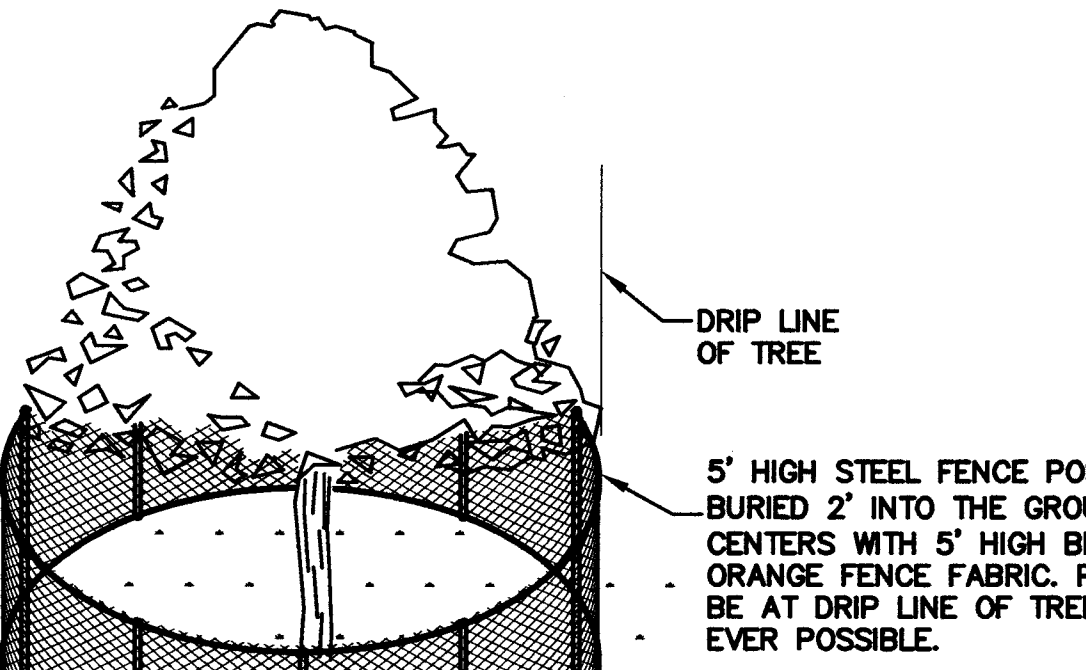
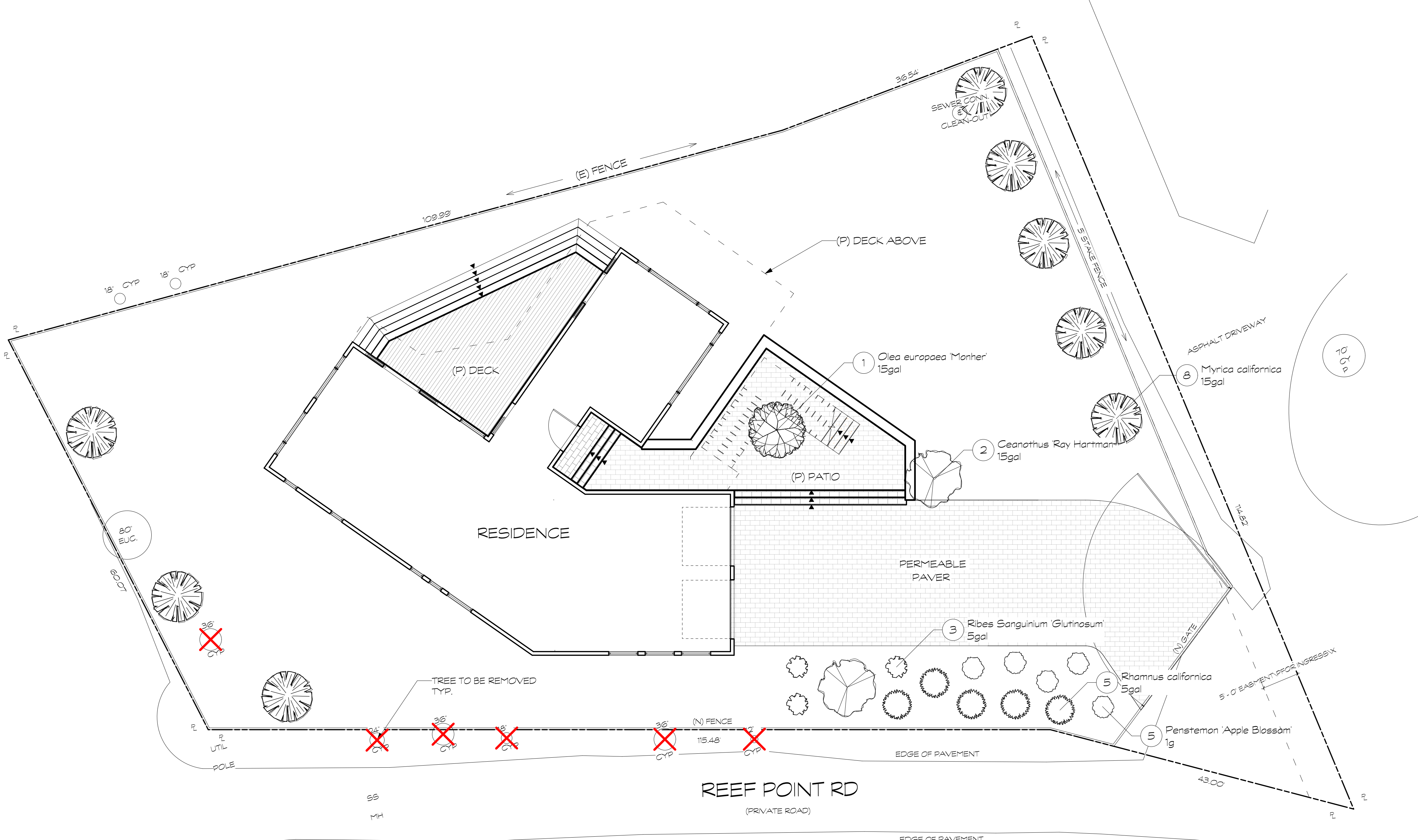
PLANTING:

A. WHEN PLANTED, CROWN OF PLANT SHALL BE 1 1/2" ABOVE GRADE. PREPARE A WATER BASIN BY FORMING A SOIL RING AT LEAST 3" HIGH AND WIDE AROUND THE OUTER EDGE OF THE NEW PLANT HOLE. WATER PLANTS IN CONTAINER THOROUGHLY PRIOR TO PLANTING AND DIRECTLY AFTER TO ELIMINATE AIR POCKETS AND REDUCE PLANT STRESS.

B. ALL PLANTS SHALL RECEIVE 3" MINIMUM OF 3/4" WALK ON FIR DARK MULCH OR EQUAL. EXISTING VEGETATION IN A 3' RADIUS FROM PLANT CROWN SHALL BE REMOVED AND MULCH APPLIED.

C. PLANTS SHALL BE KEPT MOIST FOR TWO WEEKS FOLLOWING PLANTING AND THEN WATERED WELL, ONCE PER WEEK UNTIL RAINY SEASON BEGINS.

ID	QTY	SIZE	Botanical Name	Common Name
Cea Ray	2	15gal	Ceanothus Ray Hartman	Ray Hartman California Lilac
Meal	8	15gal	Myrica californica	Pacific Wax Myrtle
Oman	1	15gal	Olea europaea Monher	Majestic Beauty/E Fruitless Olive
Pab	5	1g	Penstemon Apple Blossom	Apple Blossom Beardtongue
Rha Cal	5	5gal	Rhamnus californica	Coffeeberry
Rib San	3	5gal	Ribes Sanguinum Glutinosum	Red Flowering Currant



NOTE: REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR ADDITIONAL TREE PROTECTION INFORMATION.

NOTE: LOCAL JURISDICTION MIGHT HAVE MORE STRINGENT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING W/ INSPECTOR TO ENSURE PROPER PROCEDURES ARE BEING FOLLOWED.

6 EXISTING TREE PROTECTION DETAIL
NTS



REVISIONS	
DATE	BY

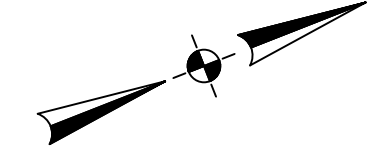
RAU RESIDENCE
REEF POINT RD.
MOSS BEACH, CA

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CHECKED K.C.
DATE 4/5/2021
SCALE 1/8"=1'
DRAWN K.C.
TITLE:

PLANTING PLAN

DWG. NO. L-1
SHEET 1 OF 1
JOB RAU



APN: 037-128-560