

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: January 27, 2021

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Design Review, Coastal Development, and Use Permit to construct a 748 sq. ft. addition to an existing 1,552 sq. ft. residence with reduced side yard setbacks and parking, on a 5,009 sq. ft. parcel, within the unincorporated community of Miramar. No trees have been proposed for removal. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2020-00248 (Bursalyan)

PROPOSAL

The applicant is requesting the approval for a 748 sq. ft. addition to an existing 1,552 sq. ft. to a three-level single-family residence constructed in 1969, in the S-94 combining district, in order to extend the existing non-conforming side yard setback of 5-foot 3 inches, where 10 feet is required; and allow the continued use of the one-car garage and two uncovered spaces, where two covered spaces are required. The addition is driven by the applicant's need to address design failures of the cantilevered upper stories that have compromised the structural integrity of the building and roof systems, which have caused repeated cracks and roofing repairs, and can only be remedied by an engineered expansion of the foundation to support all stories above. The foundation expansion consists of 305 sq. ft. addition to the garage and office area, a 252 sq. ft. to the kitchen and study to the rear on the second floor, and 196 sq. ft. for a new bedroom and closet. No significant trees have been proposed for removal.

Pursuant to Sections 6137 and 6120 of the County Ordinance Code, the Planning Commission is the decision-making authority for use permits as a remedy for non-conforming structures and non-conforming parking situations. The project is not appealable to the California Coastal Commission, also requiring a Coastal Development Permit.

RECOMMENDATION

That the Planning Commission approve the Coastal Development Permit, Design Review Permit, and Use Permit, County File Number PLN 2020-00248, based on and subject to the required findings and conditions of approval listed in Attachment A.

SUMMARY

The project site is an improved single-family zoned parcel in the Urban Midcoast with a 1,552 sq. ft., three story residence proposing foundation expansion and rear addition, resulting in a 2,300 sq. ft residence.

The Coastside Design Review Committee (CDRC) considered the project at the October 10, 2020 CDRC meeting and determined that the project complies with applicable Design Review Standards to warrant a recommendation for project approval. Staff has also determined that the project complies with all applicable policies, regulations and standards based on the well-articulated design of the rear addition to the single-family residence and the use permit to allow the addition to maintain the existing 5 foot 3 inch right side setback, and legalize the continued use of the one-car garage with the improvements.

The project conforms with Local Coastal Program policies and qualifies for a Coastal Development Permit. The project complies with the General Plan, including policies pertaining to residential development on the Urban Mid-Coast.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: January 27, 2021

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of Coastal Development Permit, Coastside Design Review Permit, and Use Permit, pursuant to Zoning Regulations Sections 6120, 6328.4, 6565.3, and 6503 to construct a 748 sq. ft. addition to an existing 1,552 sq. ft. residence with reduced side yard setbacks and parking, on a 5,009 sq. ft. parcel, within the unincorporated community of Miramar. No trees have been proposed for removal. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2020-00248 (Bursalyan)

PROPOSAL

The applicant is requesting the approval for a 748 sq. ft. addition to a 1,552 sq. ft. to a three-level single-family residence constructed in 1969, in the S-94 combining district, in order to extend the existing non-conforming side yard setback of 5 feet 3 inches, where 10 feet is required; and allow the continued use of the one-car garage and two uncovered spaces, where two covered spaces are required. The addition is driven by the applicant's need to address design failures of the cantilevered upper stories that have compromised the structural integrity of the building and roof systems, which have caused repeated cracks and roofing repairs, and can only be remedied by an engineered expansion of the foundation to support all stories above. The foundation expansion consists of a 305 sq. ft. addition to the garage and office area, a 252 sq. ft. to the kitchen and study to the rear on the second floor, and 196 sq. ft. for a new third bedroom. No significant trees have been proposed for removal.

RECOMMENDATION

That the Planning Commission approve the Coastal Development Permit, Design Review Permit, and Use Permit, County File Number PLN 2020-00248, based on and subject to the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Bryan Albin, Project Planner, Telephone 650/363-1807

Applicant/Owner: Jake Bursalyan

Location: 331 4th Avenue, Miramar

APN: 048-043-090

Parcel Size: 5,009 sq. ft.

Existing Zoning: R-1/S-94/DR /CD (Single-Family Residential District/S-94 Combining District with 10,000 sq. ft. minimum parcel size/Design Review/ Coastal Development)

General Plan Designation: Medium Low Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Residential

Water Service: Coastside County Water District

Sewer Service: Granada Community Services District

Flood Zone: Zone X, Areas of Minimal Flooding. Panel No.: 06081C0252F, Effective Date: August 2, 2017)

Environmental Evaluation: Categorically exempt pursuant to Section 15301, Class 1 of the California Environmental Quality Act (CEQA), related to minor additions to existing structures , including single-family residences in a residential zone.

Setting: The project site is an improved residential parcel located mid-block on 4th Avenue in the unincorporated area of Miramar, surrounded by developed parcels in the Urban Midcoast.

DISCUSSION

A. KEY ISSUES

1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all General Plan Policies, including the following:

Urban Design Concept Policy 4.35 (*Urban Area Design Concept*) calls for new development to maintain and, where possible, improve upon the appearance and visual character of development in urban areas, and ensures that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The proposed rear addition, driven by structural foundation improvements, compliments the existing residence by utilizing the same materials and color palette and will not adversely affect the visual character of the neighborhood. As seen in Attachment E, there is virtually no change to street facing façade of the home.

Urban Land Use Policy 8.38 (*Height, Bulk and Setbacks*) regulates the height, bulk and setback requirements in zoning districts in order to: (1) ensure that the size and scale of development are compatible with the parcel size, (2) provide sufficient light and air in and around the structures, (3) ensure that development of permitted densities is feasible, and (4) ensure public health and safety. The approximate 300-foot foundation expansion and subsequent 748 sq. ft. area addition meets the zoning district development standards for lot coverage and floor area and is complimentary with other residences located in direct vicinity of the project. The rear additions have been designed to minimize impact on neighbor's private views as possible, while accommodating the addition, by voluntarily modifying the roof from a gable to shed roof design (Attachment E). The design of the new structure is complementary to the existing neighborhood context, as supported by the Coastside Design Review Committee's recommendation of approval.

2. Conformance with the Local Coastal Program

Staff has reviewed the project proposed and found it in compliance with all applicable Local Coastal Program (LCP) Policies, specifically:

a. Visual Resources Component/ Design Review

Visual Resources Policy 8.12(a) (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes Moss Beach. The project is, therefore, subject to Section 6565.20 of the Zoning Regulations. As discussed in Section 3.b of this report, the Coastside Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meeting on April 9, 2020, and determined it is in compliance with applicable Design Review Standards, and recommended approval.

Visual Resources Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) The proposed foundation expansion and floor area addition will not require extensive grading or impact surrounding topography.
- (2) The proposed addition compliments the existing materials with a natural appearance such as siding, and complimentary roof design, including natural-tone colors that will blend with the vegetative cover of the site and surrounding coastal views.
- (3) The proposed addition compliments the existing shed roof design by using a similar roof style for the rear protrusions,

including non-reflective, charcoal gray composite roof shingles as the primary roof material.

- (4) As previously stated, the size and bulk of the proposed residence was voluntarily mitigated so as to be as unobtrusive to the surrounding neighborhood. The roof lines were voluntarily modified, lessening visual impacts.
- (5) Also, as previously stated above, public views to the ocean are not impeded in the neighborhood as a result of the well-articulated design of the rear addition.

Visual Resources Policy 8.32 (*Regulation of Scenic Corridors in Urban Areas*) requires application of the Design Review standards; the project's compliance with those standards are discussed further in Section 3b. In addition, the project will not be visible from Cabrillo Highway due to distance, intervening development, vegetation and topography.

3. Conformance with the Zoning Regulations

a. Conformance with S-94 District Development Standards

The proposal complies with the property's R-1/S-94/DR/CD zoning designation, as indicated in the following table:

	S-94 Development Standards	Existing	Proposed
Minimum Site Area	10,000 sq. ft.	5,009 sq. ft.	5,009 sq. ft.
Maximum Floor Area	2,404 sq. ft. (48% max.)	1,552 sq. ft. (31%)	2,300 sq. ft. (46%)
Maximum Building Site Coverage	1,503 sq. ft. (30% max.)	959 sq. ft. (19%)	1072 sq. ft. (21%)
Minimum Front Setback	20 ft.	38.67 ft.	38.67 ft.
Minimum Rear Setback	20 ft.	21.83 ft.	21.83 ft.
Minimum Side Setback	10 ft.	5.25 ft. (right side) 14.58 ft. (left side)	5.25 ft. (right side) 14.42 ft. (left side)
Maximum Building Height	28 ft.	36 ft.	35.75 ft.
Minimum Parking Spaces	2 Covered	1 (Covered) 2 (Uncovered)	1 (Covered) 2 (Uncovered)
Daylight Plane/Façade Articulation	20 ft./45 degrees on setback lines of two opposite	Complies with façade articulation	Complies with façade articulation

	S-94 Development Standards	Existing	Proposed
	façades OR facade articulation		

b. Conformance with Design Review District Standards

The Coastside Design Review Committee (CDRC) considered the project at a regularly scheduled CDRC meeting on October 10, 2020, and adopted the findings to recommend project approval, pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- (1) The owners worked collaboratively with neighbors by revising the gable designs to reduce impact to views. Plate height was also kept low and the pitch of the proposed dormers keeps the height of the roof addition well below the 28 feet maximum height. (Section 6565.20(C)2b).
- (2) Proposed windows and doors complement the style of the existing openings, providing a cohesive design. (Section 6565.20(D)2b).
- (3) Proposed windows and doors complement the style of the existing openings, providing a cohesive design. (Section 6565.20(D)2b).
- (4) Proposed shed roof dormers provides visual interest and articulation as secondary roof forms that relate to the existing primary roof forms. Proposed primary roof material is non-reflective material and color. (Section 6565.20(D)3a).
- (5) Cementitious siding is a quality material that is appropriate to the Coastside and WUI requirements. The color palette options are consistent with the neighborhood and the natural setting. (Section 6565.20(D)4b).

The Coastside Design Review Committee (CDRC) also recommended the following conditions be met prior to issuance to a building permit:

- (1) Proposed Gable dormers at rear second floor addition shall be changed to shed roof dormers. Plate height shall be 8 feet 0 inches above finished floor elevation, and top of shed roof where it meets the existing roof shall not exceed 26 feet above existing grade (refer to Section S5).;
- (2) Introduce horizontal trim board to align with the existing deck at the front of the house, HardiTrim Arctic White to

match all other trim. Horizontal siding below this band shall be HardiPlank with color selection option of Evening Blue, Night Gray or Iron Gray. All other horizontal siding shall be HardiPlank with color selection option of Boothbay Blue, Pearl Gray, Gray Slate or Light Mist. Exception: See Recommendation #1.; (3) All material specifications and color selections shall be shown on Exterior Elevations.; (4) Revise exterior lighting layout to include (1) dark sky compliant fixture at each exterior door, with the exception of (2) dark sky compliant fixtures at the existing front deck and (1) dark sky compliant fixture at the bottom of the stairs from the front Entry.

c. Conformance with Coastal Development Permit Standards

Section 6328.15 (*Findings*) of the Zoning Regulations requires the following findings be made in order to grant a coastal development permit:

That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements and standards of the San Mateo County Local Coastal Program.

The project application packet was originally submitted in August 3, 2020 in conformance with Section 6328.7. A building permit application has also been filed under BLD 2020-01552, pending planning approval. The project has been conditioned in accordance with Section 6328.14, to require color and material verification prior to the final inspection of the associated building permit. In addition, the project complies with all applicable policies and specific findings required by polices of the LCP, as discussed in Section A.2. of this report.

4. Compliance with Use Permit Regulations

- a. Section 6133.3b and Section 6135 of the Zoning Regulations require the granting of a use permit for the expansion of an existing non-conforming structure on a non-conforming parcel when the proposed development will not meet current standards; in this case, the proposed addition will not meet the setbacks of the S-94 combining district and the covered parking requirements per Chapter 3. The proposed addition meets all other development standards for the district, and the non-conformities addressed if the following findings can be made:

The proposed development is proportioned to the size of the parcel on which it is being built.

As mentioned in earlier sections, the existing lot coverage of the subject parcel is 19% (959 sq. ft.), with the proposed addition increasing it to 21% (1,072 sq. ft.), well under the maximum allowed 30%. The proposed addition will result in a total floor area of 2,300 sq. ft., under the maximum allowed. Similar to the other residences built along 4th Avenue, the existing residence has a non-conforming 5 foot 3 inch right side yard setback and conforming 14 foot 7 inch left side yard setback, where the S-94 combining district requires a 10 foot side yard setback. The proposed foundation improvements to structurally support the cantilevered floors above, require that the addition encroach into the required 10-foot side right side yard setback, maintaining the existing setback of 5 feet 3 inches.

All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible

All adjacent parcels to the subject property have been fully developed, and do not meet the minimum lot size requirements for the S-94 combining district, prohibiting the ability to acquire additional property to address the side yard setback non-conformity.

The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

The project proposed, a 748 sq. ft. addition to an existing 1,552 sq. ft. single family residence, does not exceed the maximum lot coverage or floor area required under current development standards. While the existing residence was originally constructed with a building height of 36 ft., the addition will not exceed 26 feet above natural grade, and has been included as a condition of approval in Attachment A. The subject property has one covered and two uncovered parking spaces, where Section 6119 (Parking) currently requires two covered parking spaces for single-family residential development. When the residence was constructed and permitted in 1969, the parking requirement had not been adopted. The proposed improvements, resulting in a new bedroom, necessitates addressing the non-conforming parking situation. The total parking capacity on the property is one covered and two uncovered parking spaces. Staff has determined that the use of the uncovered spaces in the front yard setback, in combination with the existing single-car garage, is in substantial conformance with the requirements currently in effect.

The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.

The proposed rear addition to the existing single-family residence, and continued use of the one-car garage, will not have an adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements to the incorporated community of Miramar.

Use permit approval does not constitute a granting of special privileges.

The approval of the use permit to grant the expansion of the existing non-conforming structure and parking non-conforming situation to allow the proposed addition to the existing residence does not constitute a granting of special privileges.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1, related to maintenance or minor alteration of existing public or private structures, including single-family residences in a residential zone.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council did not forward a response to staff's referral for this project.

D. REVIEW BY THE CALIFORNIA COASTAL COMMISSION

The California Coastal Commission did not forward a response to staff's referral for this project.

E. OTHER REVIEWING AGENCIES

Building Inspection Section
Coastside County Water District
Granada Community Services District
Coastside Design Review Committee

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. CDRC Decision Letter, dated October 12, 2020
- F. Exterior Visual Simulations

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2020-00248 Hearing Date: January 27, 2021

Prepared By: Bryan Albini, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the proposed project is categorically exempt from environmental review pursuant to Section 15301, Class 1(e) of the California Environmental Quality Act (CEQA), related to additions to existing structures provided that the addition will not result in an increase of more 50 percent of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less. The proposed 748 sq. ft. floor area addition falls under this threshold.

Regarding the Design Review, Find:

2. That, with the conditions of approval recommended by the Coastside Design Review Committee at its meeting of October 10, 2020, the project is in compliance with the Design Review Standards for the Coastside as previously elaborated in Section 3.b of this staff report.

Regarding the Coastal Development Permit, Find:

3. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements and standards of the San Mateo County Local Coastal Program by conforming to the standards and policies outlined in this staff report.
4. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program. Specifically, the policies of Visual Resources.

Regarding the Use Permit:

5. The proposed development is proportioned to the size of the parcel on which it is being built.

6. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.
7. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.
8. The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.
9. Use permit approval does not constitute a granting of special privileges.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans once approved by the Planning Commission and as reviewed by the Coastsides Design Review Committee on October 10, 2020. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to the design of the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastsides Design Review Committee, with applicable fees to be paid.
2. The applicant shall include a copy of the final approval letter on the top pages of the building plans. This would provide the Planning approval date and required conditions of approval on the on-site plans.
3. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastsides Design Review Committee:
 - a. Proposed Gable dormers at rear second floor addition shall be changed to shed roof dormers. Plate height shall be 8 feet 0 inches above finished floor elevation, and top of shed roof where it meets the existing roof shall not exceed 26 feet above existing grade (refer to Section S5).
 - b. Introduce horizontal trim board to align with the existing deck at the front of the house, HardiTrim Arctic White to match all other trim. Horizontal siding below this band shall be HardiPlank with color selection option of Evening Blue, Night Gray or Iron Gray. All other horizontal siding shall be HardiPlank with color selection option of Boothbay Blue, Pearl Gray, Gray Slate or Light Mist.

- c. All material specifications and color selections shall be shown on Exterior elevations.
 - d. Revise exterior lighting layout to include (1) dark sky compliant fixture at each exterior door, with the exception of (2) dark sky compliant fixtures at the existing front deck and (1) dark sky compliant fixture at the bottom of the stairs from the front Entry.
4. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
5. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
- a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
 - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
 - g. Limiting construction access routes and stabilization of designated access points.
 - h. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
6. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The

applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.

- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed addition, (2) the finished floor elevations, and (3) the topmost elevation of the shed roof ridge connecting to the existing roofline, must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
 8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.

9. No site disturbance shall occur, including any grading or tree/vegetation removal, until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Park Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Park Avenue. There shall be no storage of construction vehicles in the public right-of-way
11. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).

Building Inspection Section

13. The proposed project requires a building permit.
14. At the time of building permit application, the plans shall also clearly delineate the "storage/unconditioned" on floor plan.

Drainage Inspection

15. The following items will be required at the time of building permit submittal:
 - a. Comply with the County's "basic" and/or "prescriptive" drainage review requirements, as applicable, including showing splashblocks at roof gutter downspouts to disperse rainwater to landscaping where feasible.
 - b. A final Grading and Drainage Plan prepared and stamped by a registered civil engineer showing any features required to retain additional stormwater

resulting from the new and replaced impervious areas on-site, as determined in the Drainage Report.

- c. An updated C3 and C6 Development Review Checklist.

Coastside Fire Protection District

16. As per Coastside Fire Protection District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.
17. As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code, if the addition requires new section of roof.
18. Vegetation Management (LRA) The Coastside Fire Protection District Ordinance 2019-03, the 2019 California Fire Code 304.1.2
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
 - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
19. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be

20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).

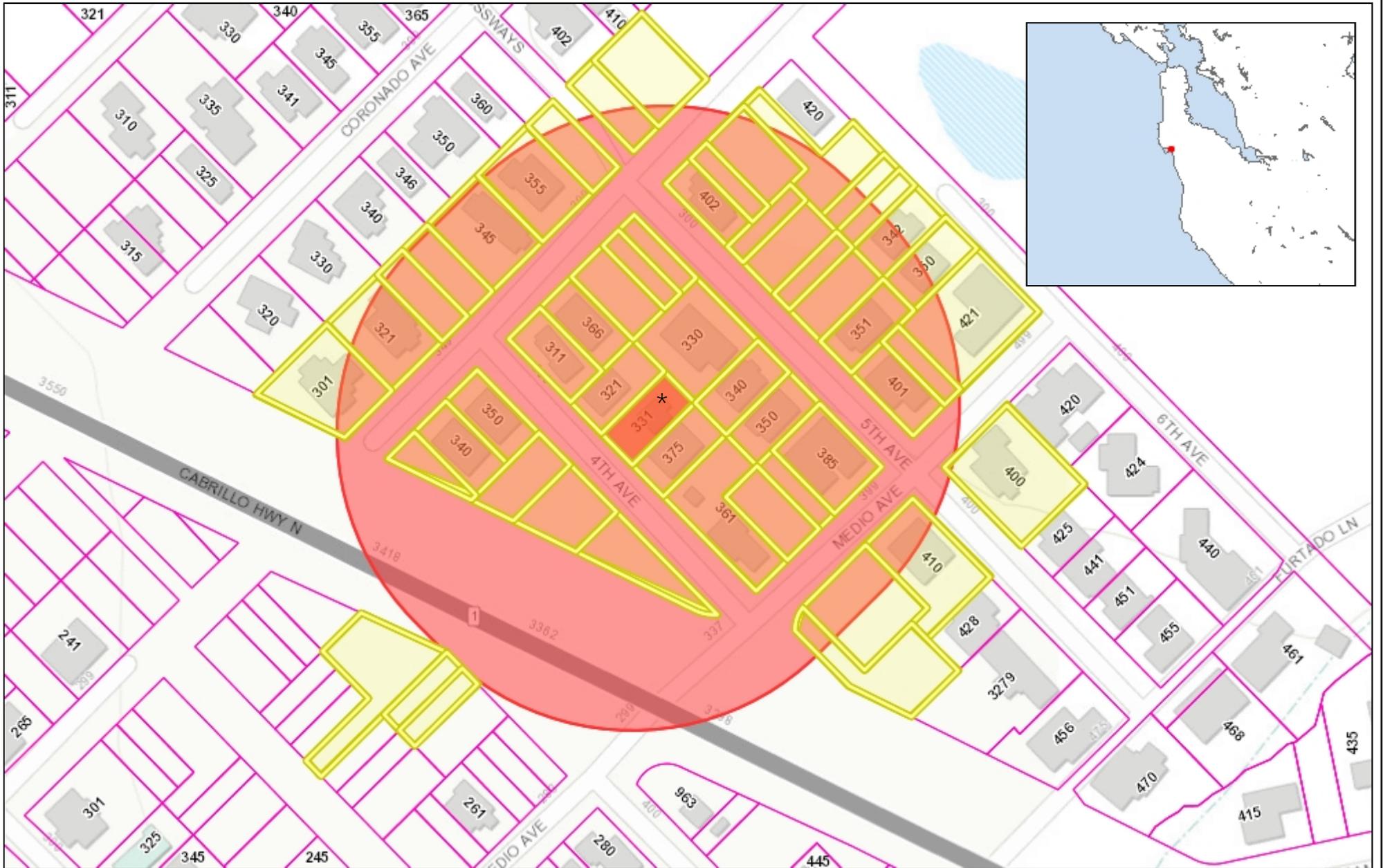
20. The installation of an approved spark arrester is required on all (WOOD BURNING) chimneys. Spark arresters shall be made of 12-gage woven or welded wire screening having openings not exceeding 1/2-inch.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



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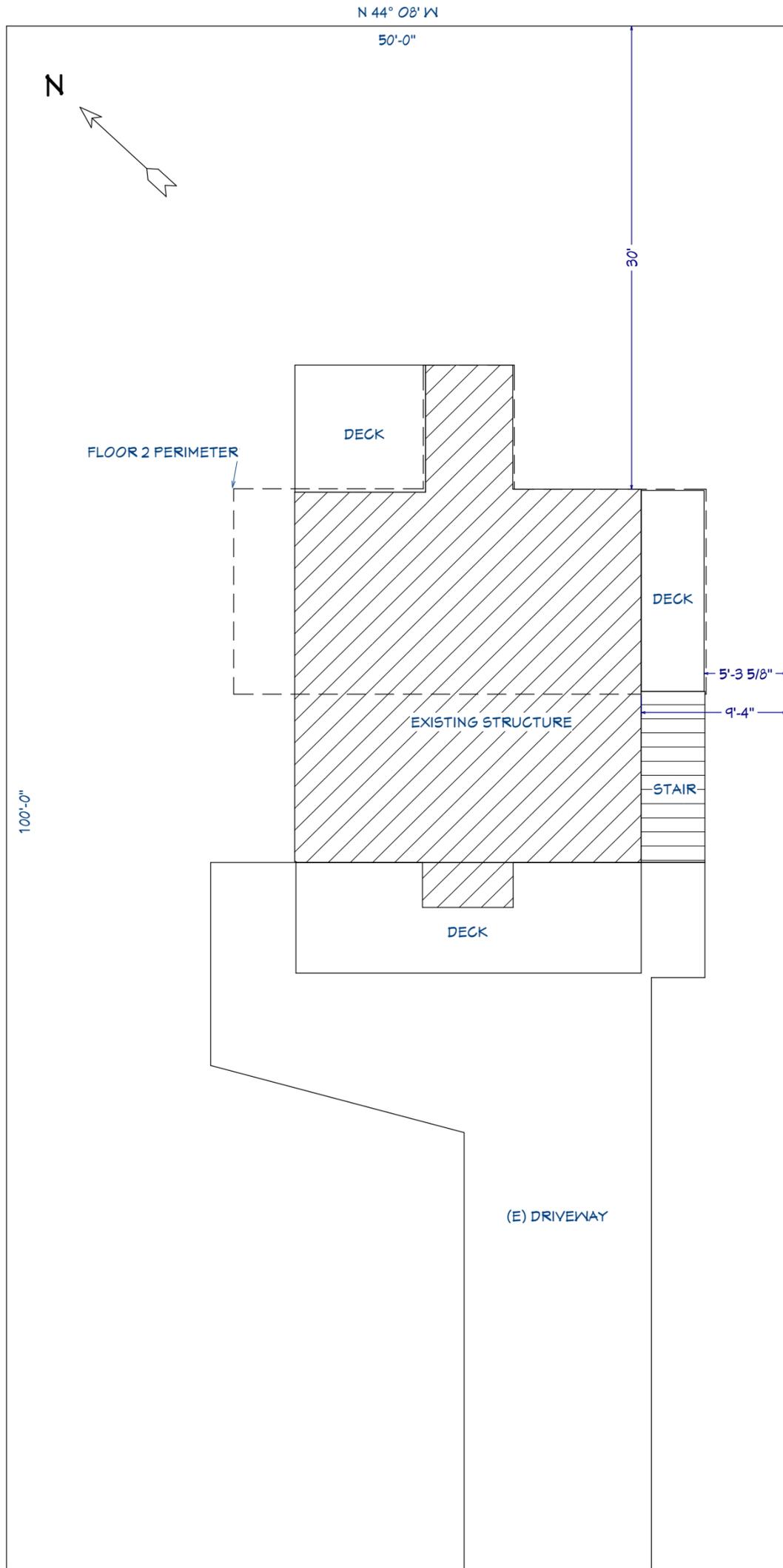
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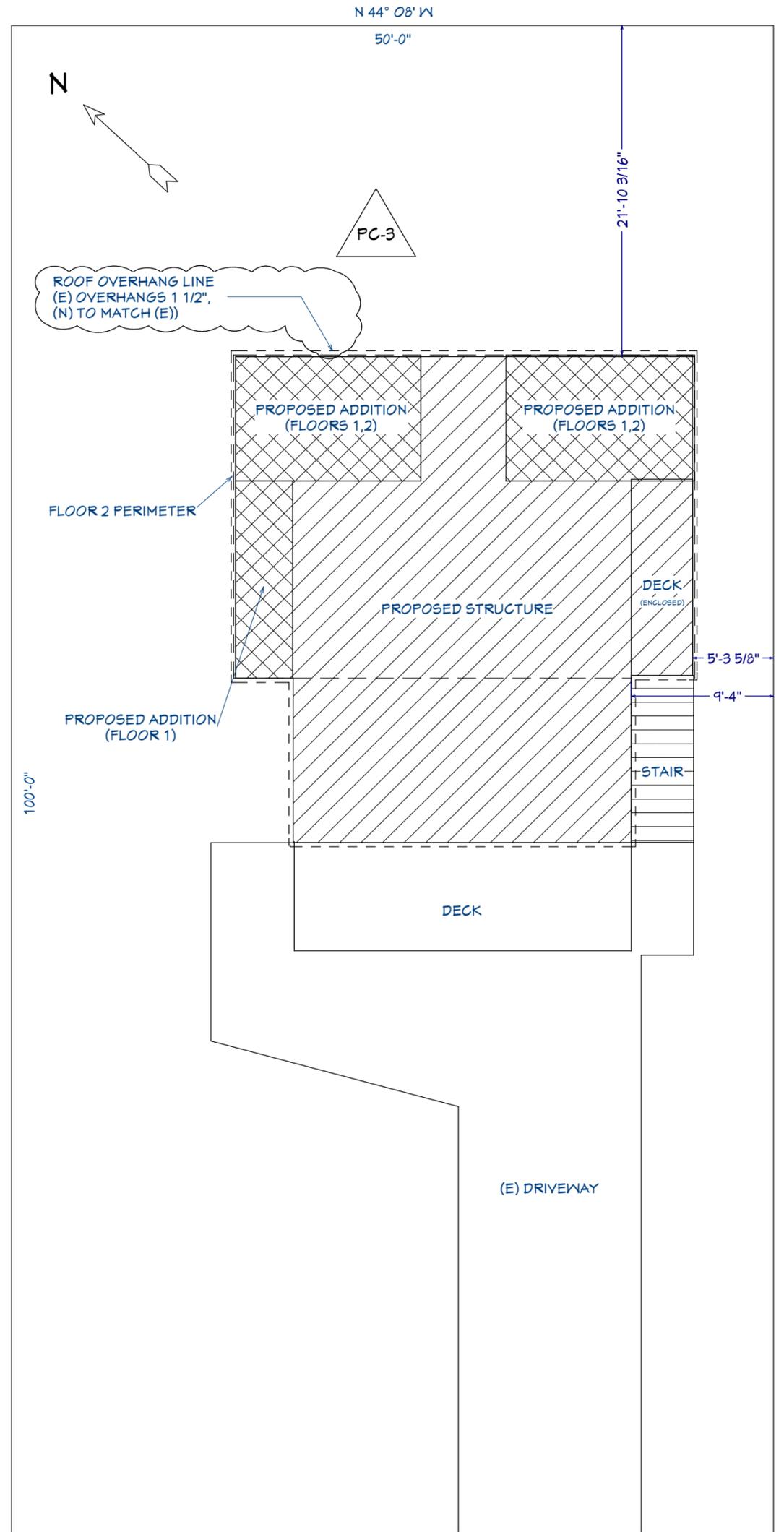


COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



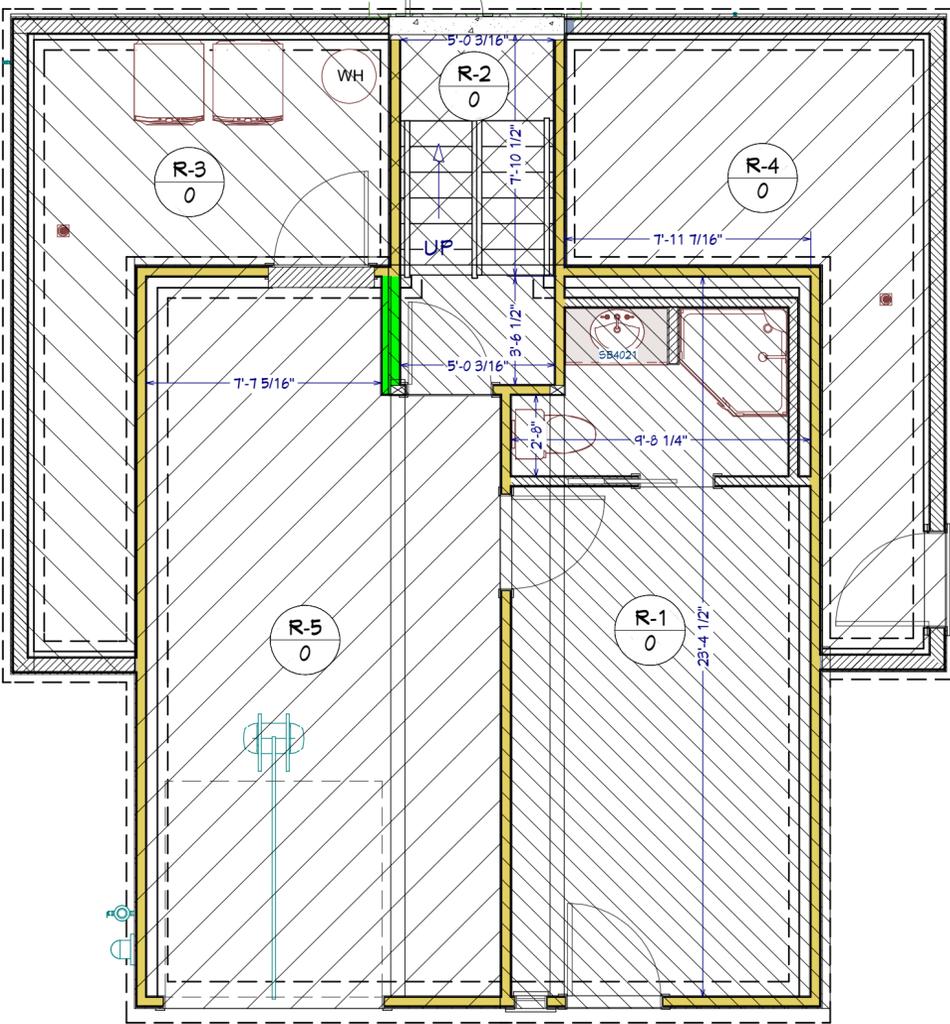
4TH AVE
EXISTING



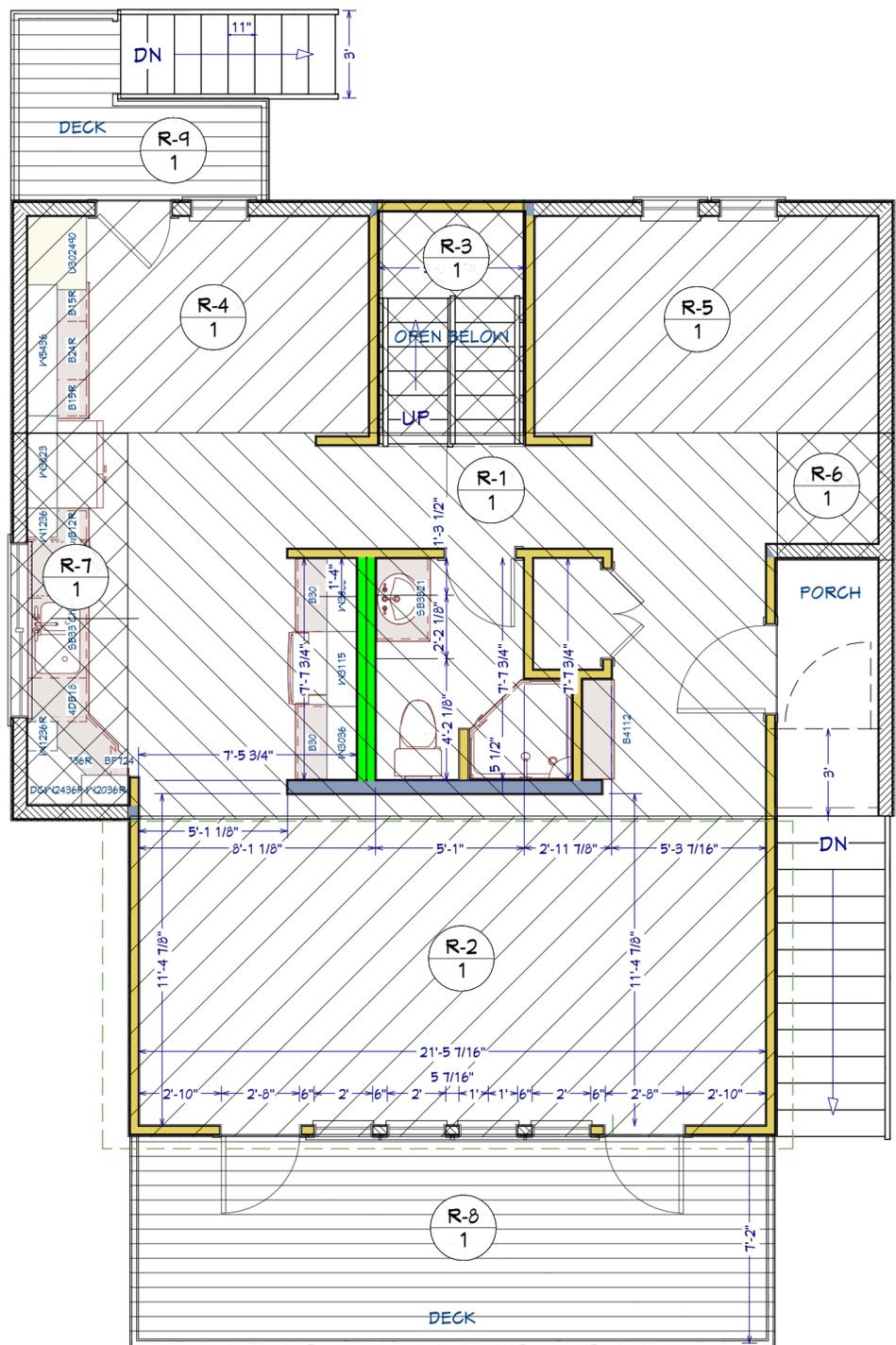
4TH AVE
PROPOSED

SITE MAP
SCALE 1/8" = 1'

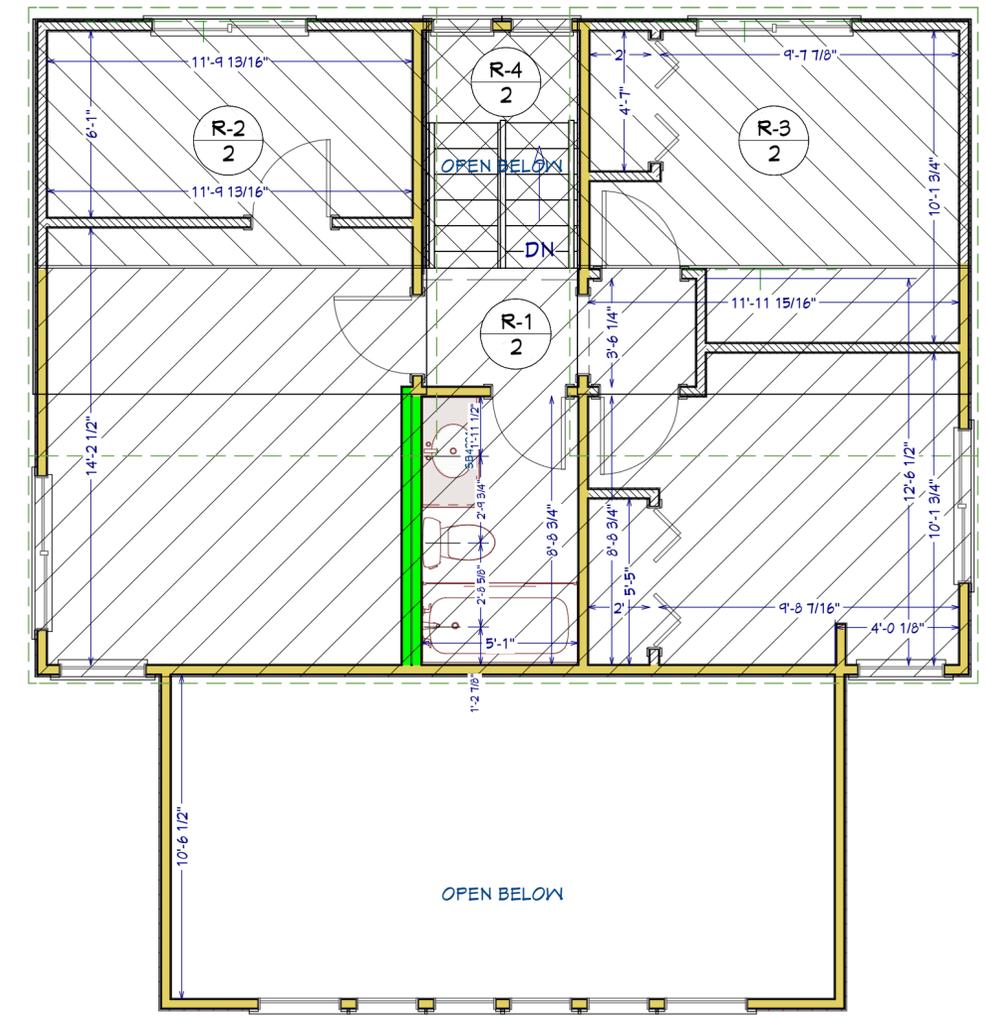
BUILDING FOOTPRINT (E) 598.3 SQ. FT.
 LOT COVERAGE (E) 11.9%
 BUILDING FOOTPRINT (F) 875.9 SQ. FT.
 LOT COVERAGE (F) 17.5%



FLOOR 0 (BASEMENT)



FLOOR 1



FLOOR 2

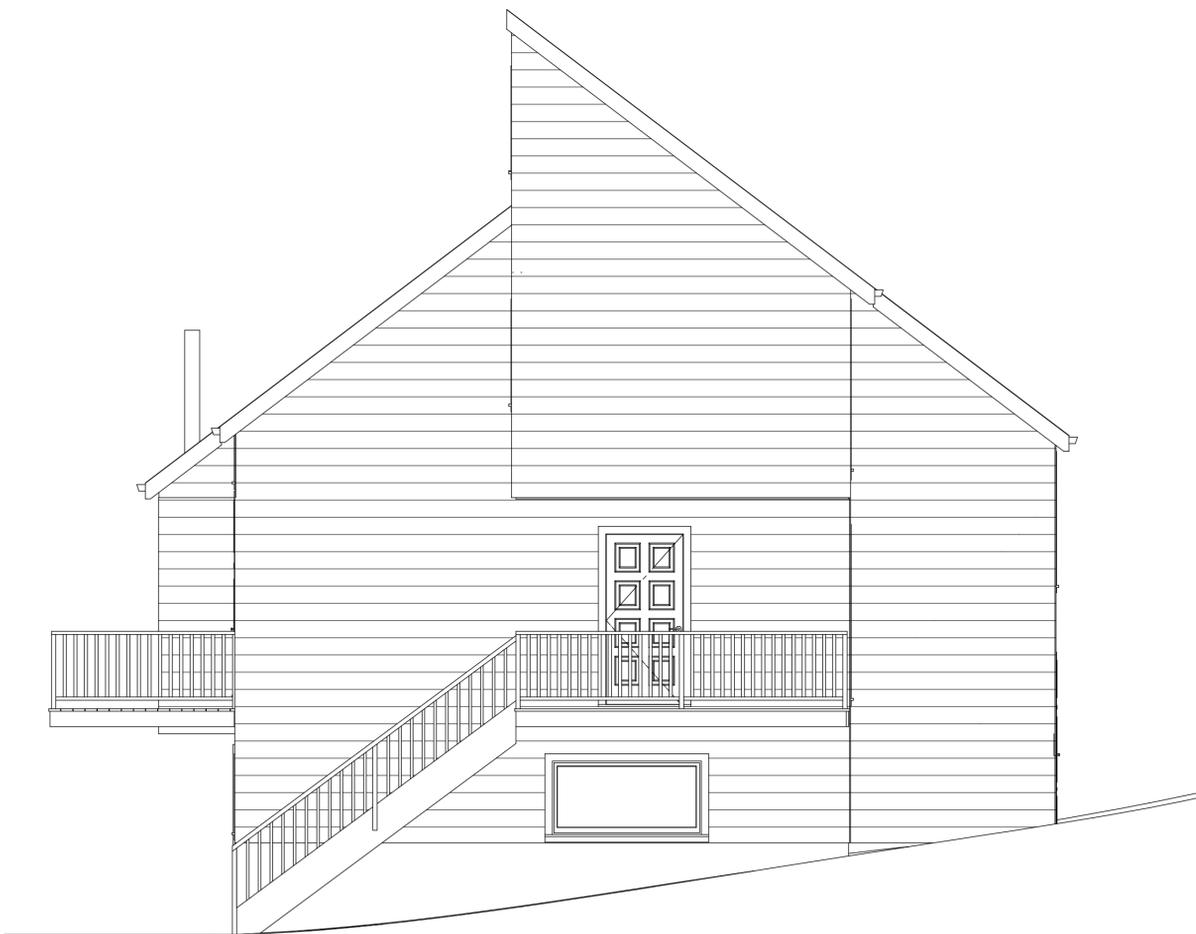
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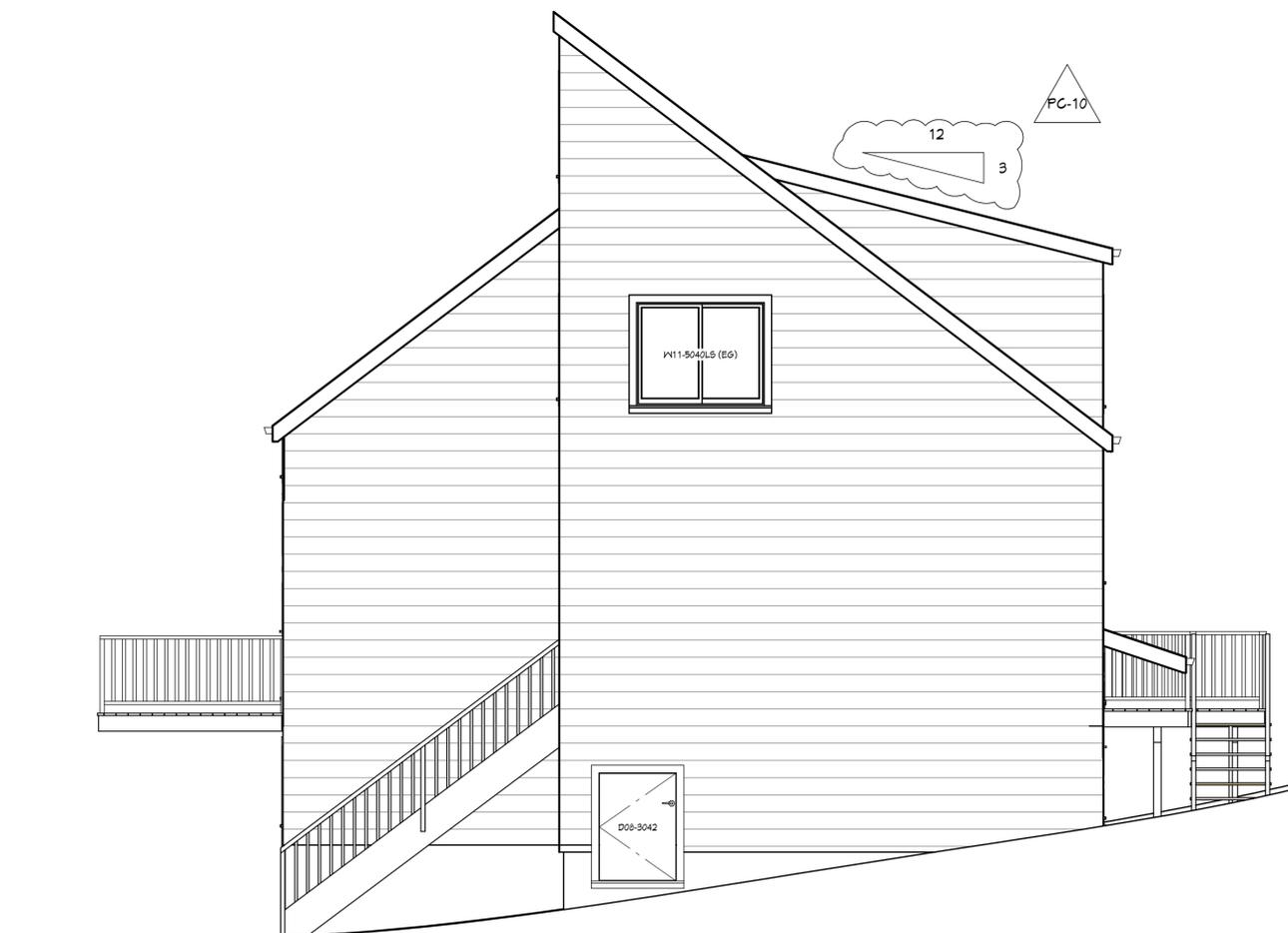
EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION



EXISTING RIGHT ELEVATION

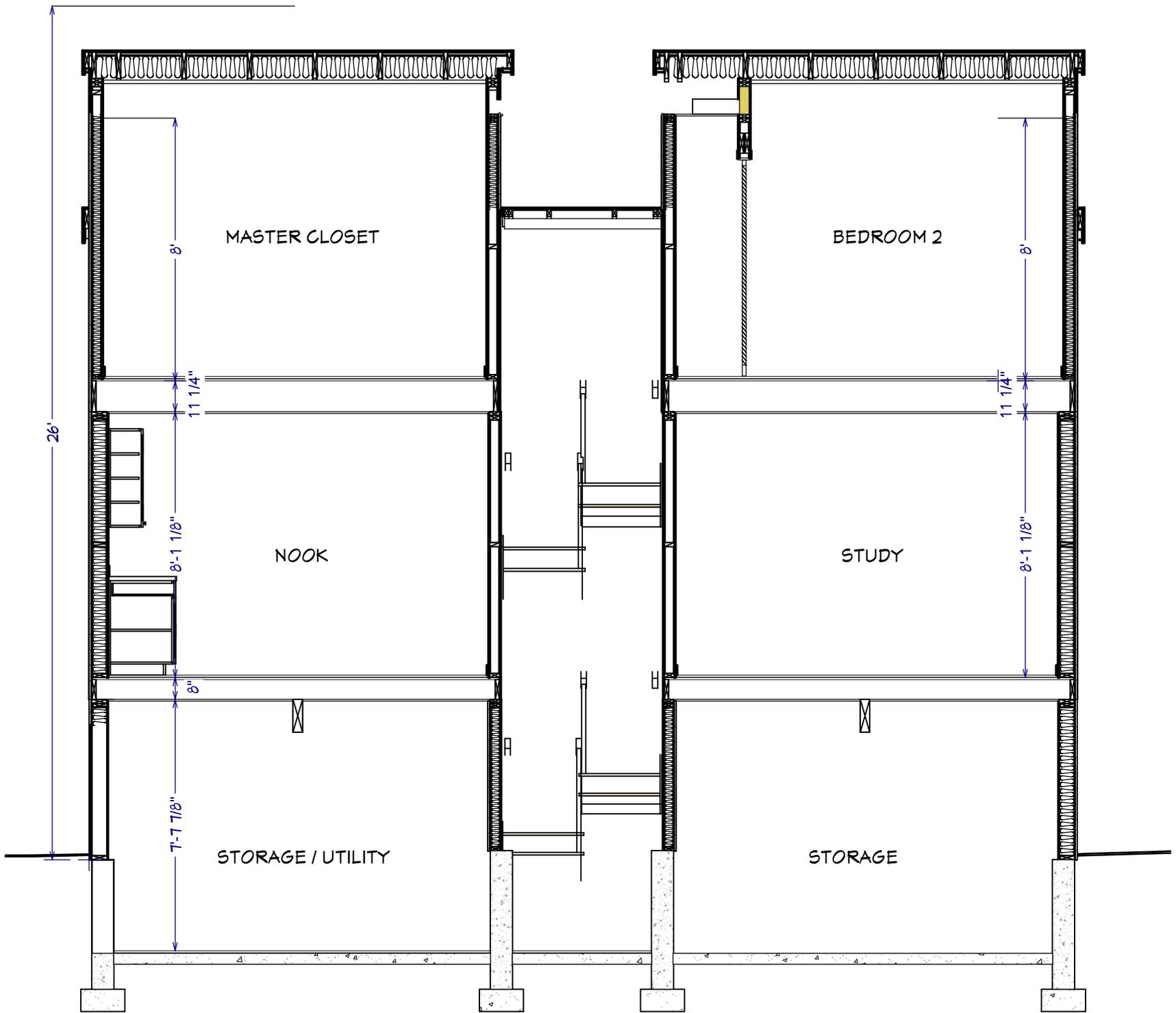


PROPOSED RIGHT ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/4" = 1'





SECTION S5



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

October 12, 2020

CDRC Findings for letter of recommendation for PLN2019-00158:

Owners: Jake & Zara Bursalyan
Applicant: Jake & Zara Bursalyan
File No.: PLN2020-00248
Location: 4th Avenue, Half Moon Bay
Assessor's Parcel No.: 048-043-090

Hearing Date: October 8, 2020

STATUS: Recommend for approval 2-0 with conditions.

Description:

Consideration of a Coastsides Design Review recommendation for a structural remodel and 475 sq. ft. addition to an existing storm-damaged, non-conforming, 1,563 sq. ft. single-family residence, where the enlargement would extend the right-side setback of 5'-3" where 10' is the minimum side yard setback, on a 5,009 sq. ft. legal parcel, associated with a Coastal Development Permit, Non-Conforming Use Permit and Off-Street Parking Exception. No grading or tree removal have been proposed. The CDRC will not render a decision but will make a recommendation regarding the project's compliance with Design Review Standards. The Planning Commission hearing will be scheduled after October 8, 2020. The CDP is not appealable to the California Coastal Commission. Application Deemed Complete on: September 14, 2020. Project Planner: Bryan Albini (balbini@smcgov.org).

Findings:

The project complies with the following:

Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT

2) b. Views

The owners worked collaboratively with neighbors by revising the gable designs to reduce impact to views. Plate height was also kept low and the pitch of the proposed dormers keeps the height of the roof addition well below the 28' maximum height.

Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale.

(2) b. Openings

Proposed windows and doors complement the style of the existing openings, providing a cohesive design.

Section 6565.20 (D) ELEMENTS OF DESIGN; 3. Roof Design

a. Massing and Design of Roof Forms

Proposed shed roof dormers provides visual interest and articulation as secondary roof forms that relate to the existing primary roof forms. Proposed primary roof material is non-reflective material and color.

Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors
b. Quality:

Cementitious siding is a quality material that is appropriate to the Coastside and WUI requirements. The color palette options are consistent with the neighborhood and the natural setting.

Conditions:

1. Proposed Gable dormers at rear second floor addition shall be changed to shed roof dormers. Plate height shall be 8'-0" above finished floor elevation, and top of shed roof where it meets the existing roof shall not exceed 26 feet above existing grade (refer to Section S5).
2. Introduce horizontal trim board to align with the existing deck at the front of the house, HardiTrim Arctic White to match all other trim. Horizontal siding below this band shall be HardiPlank with color selection option of Evening Blue, Night Gray or Iron Gray. All other horizontal siding shall be HardiPlank with color selection option of Boothbay Blue, Pearl Gray, Gray Slate or Light Mist. Exception: See Recommendation #1.
3. All material specifications and color selections shall be shown on Exterior Elevations.
4. Revise exterior lighting layout to include (1) dark sky compliant fixture at each exterior door, with the exception of (2) dark sky compliant fixtures at the existing front deck and (1) dark sky compliant fixture at the bottom of the stairs from the front Entry.

Recommendations:

1. Horizontal siding color selection on the proposed shed dormers to match lower horizontal siding color selection in Condition #2.
2. Recommend considering enclosing rear deck and steps with solid wall or a partially open enclosure such as a lattice. Coordinate color with darker horizontal siding if deck is enclosed.

END



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

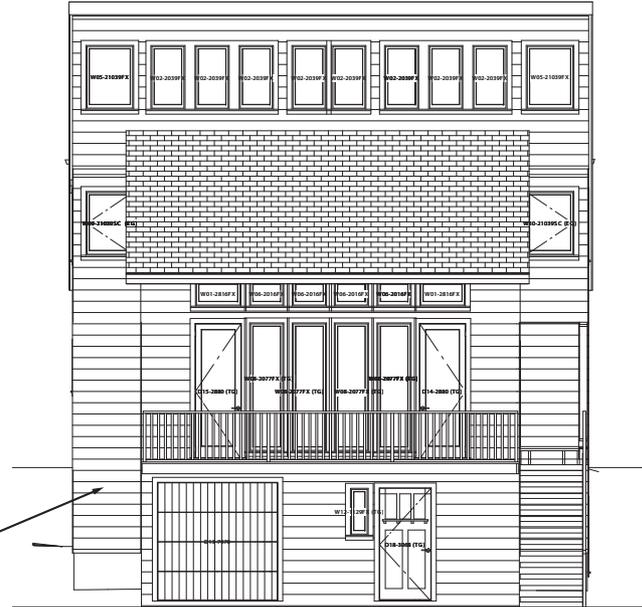
ATTACHMENT E



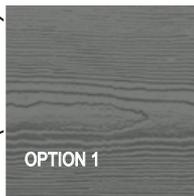
PROPOSED IMPROVEMENTS
331 4th Avenue, Miramar



EXISTING CONDITIONS
331 4th Avenue, Miramar



SIDING COLOR



OPTION 1

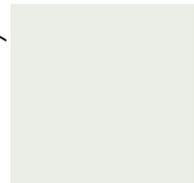
NIGHT GRAY



OPTION 2

EVENING BLUE

TRIM COLOR



ARCTIC WHITE

PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED

Revised Design with CDRC recommendations



PROPOSED