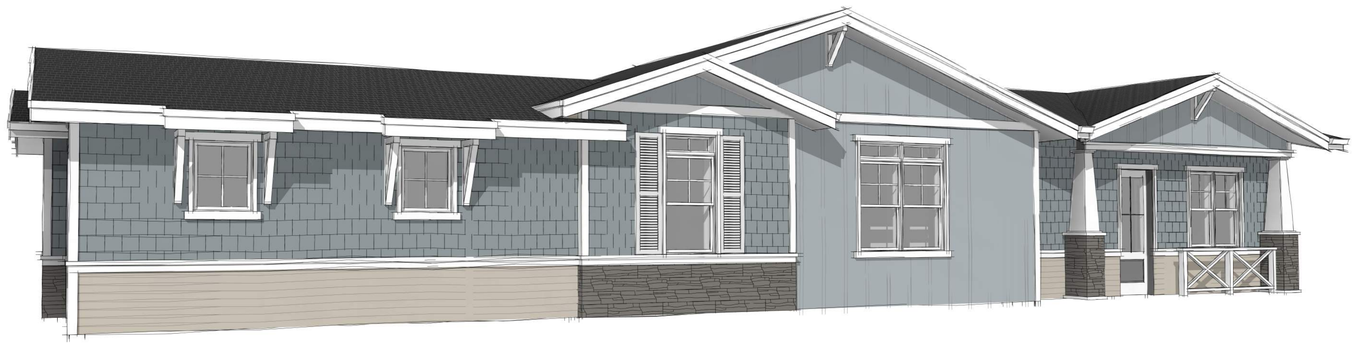
NEW PROJECT FOR:

BERTINA & ROBERT MOULES

APN 047-208-100
EL GRANADA, CA 94018



GENERAL PROJECT NOTES:

1. THIS PROJECT MUST COMPLY WITH THE LATEST ADOPTED APPLICABLE CODES, OF WHICH THE FOLLOWING MODEL CODES, WITH APPLICABLE STATE AMENDMENTS, ARE PRESENTATIVE, AND SHALL BE CONSIDERED TO BE A PART OF THESE DRAWINGS:
A. CALIFORNIA RESIDENTIAL BUILDING CODE (2016)
B. CALIFORNIA BUILDING CODE (2016)
C. CALIFORNIA MECHANICAL CODE (2016)
D. CALIFORNIA PLUMBING CODE (2016)
E. CALIFORNIA ELECTRICAL CODE (2016)
F. CALIFORNIA ENERGY AND ACCESSIBILITY STANDARDS (2016)
G. CALIFORNIA GREEN BUILDING CODE (2016)
H. CALIFORNIA FIRE CODE (2016)
I. CALIFORNIA REFERENCE STANDARDS CODE (2016)
J. CITY OF GROVER BEACH MUNICIPAL CODE
2. THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTES OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER/DESIGNER BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
4. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL SUPERCEDE DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR AND/OR MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER/DESIGNER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
6. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER/DESIGNER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER/DESIGNER OF RECORD DURING CONSTRUCTION SHALL BE DISTIGUSHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES, WHICH ARE FURNISHED BY OTHERS.
THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS, SPECIFICATIONS AND CONDITIONS OF AGENCY APPROVAL, THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
7. CONTRACTOR GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER/DESIGNER THAT ALL MATERIALS, FIXTURES AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS.
8. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCETANCE OF ALL SUBSURFACES.
9. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR DEPRESSED SLABS, CURB FINISHES, TEXTURES, CLIPS, GROUNDS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
10. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
11. MORE DETAILED INFORMATION SHALL TAKE PRECEDENCE OVER LESSER DETAILED INFORMATION. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
12. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.
14. THIS SET OF PLANS TO BE ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS.
15. CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS, AND BUILDING PAD PRIOR TO CONSTRUCTION.
16. TRUSS CALCULATIONS FOR APPROVED PROJECTS ARE REQUIRED TO BE ON THE JOB SITE AT TIME OF FRAMING INSPECTION WITH APPROPRIATE REQUIRED SIGNATURES AND STATEMENT AS FOLLOWS: TRUSS CALCULATIONS SHALL INCLUDE THE WET-STAMP AND SIGNATURE OF THE TRUSS DESIGN ENGINEER. IN ADDITION THEY SHALL INCLUDE ON THE COVER SHEET A WET-SIGNED STATEMENT FROM THE PROJECT'S DESIGN ENGINEER THAT TRUSS CALCULATIONS AND LAYOUTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE STRUCTURAL DESIGN AND INTENT OF THE STRUCTURE. FAILURE TO PROVIDE THEM AS STATED WILL RESULT IN A CORRECTION AND A FAILURE TO PASS FRAMING INSPECTION.
17. VERIFY LOCATION OF ALL UTILITY TIE-INS AT STREET AND POINT OF CONNECTIONS AT BUILDING(S) PRIOR TO CONSTRUCTION.
18. A COPY OF THE SOILS REPORT SHALL BE ON SITE DURING FOUNDATION INSPECTION.
19. ALL PROPERTY CORNERS SHOULD BE ESTABLISHED AT THE TIME OF FOUNDATION INSPECTION.
20. THE CONTRACTOR AND ALL SUB-CONTRACTORS WILL BE HELD ACCOUNTABLE TO THE ABOVE GENERAL NOTES FOR THE CONSTRUCTION OF THE PROJECT.
21. IF THE PROJECT REQUIRES EXCAVATIONS OR TRENCHING EXCEEDING 5' IN DEPTH, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COPY OF THE ANNUAL OR PROVISIONAL OSHA PERMIT TO THE BUILDING DEPARTMENT.
22. ELECTRICAL WORK SHALL BE PERFORMED BY A CALIFORNIA STATE LICENSED ELECTRICIAN.

ARCHITECTURAL SHEET INDEX

PROJECT DATA

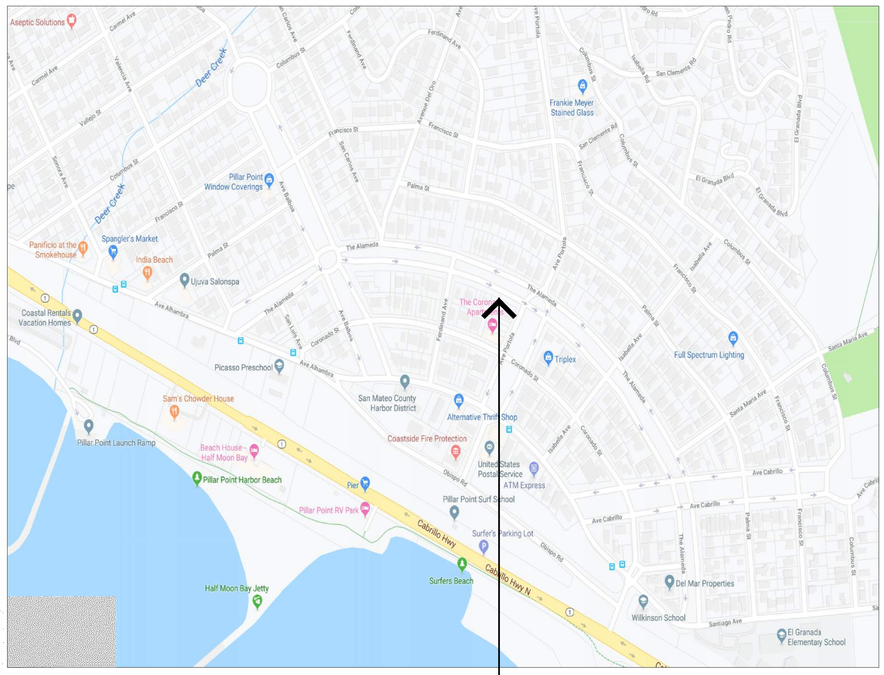
PROJECT APN:	047-208-100
ZONING:	R-3, S-3, DR, CD
TOTAL AREA OF PROJECT SITE:	3,056 SF LOT COVERAGE (ALLOWED) - 1,375.2 SF (50%) 0.075 ACRES LOT COVERAGE (PROPOSED) - 1,464 SF (47.9%)
PROJECT SCOPE:	NEW CONSTRUCTION (SINGLE FAMILY RESIDENCE)
PROPOSED UNITS:	1
PARKING:	REQUIRED: 2 PROPOSED: 2
APPLICABLE BUILDING CODE:	2016 CBC, CRC, CEC, CMC, CPC, CEC, CEC (ENERGY CODE), CFC, & CGBC
OCCUPANCY GROUP:	LEVEL 1 : R-3
CONSTRUCTION TYPE:	TYPE V-B FIRE-SPRINKLED

PROJECT BUILDING AREA

UNCONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
GARAGE	0 SF	448 SF	448 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
TOTAL UNCONDITIONED AREA:	0 SF	448 SF	448 SF
CONDITIONED AREA:	**EXISTING AREA**	**NEW AREA**	**TOTAL AREA**
LIVING AREA	0 SF	1021 SF	1021 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
TOTAL CONDITIONED AREA:	0 SF	1021 SF	1021 SF
TOTAL BUILDING AREA:	0 SF	1469 SF	1469 SF
STRUCTURE LOT COVERAGE: 3,056 s.f.	0 SF 0%	1469SF 48 %	1469SF 48 %
PAVING LOT COVERAGE: (PAVERS) PERMIABLE	0 SF 0%	415.74 13.60	415.74 SF 13.60 %
LANDSCAPE LOT COVERAGE:	0 SF 0%	312 SF 10.20 %	312 SF 10.20 %
WALKWAYS/OTHER COVERAGE: (PAVERS) PERMIABLE	0 SF 0%	275.6 SF 9.02%	275.6 SF 9.02%

* SEE SHEET 3.11 FOR SPECIFIC ROOM AREAS

PROJECT VICINITY MAP



NEW PROJECT FOR:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

REFERENCE NORTH

BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GALV	GALVANIZED	SHTHG	SHEATHING
ADJ	ADJACENT	GL	GLASS	SHWR	SHOWER
ALUM	ALUMINUM	GYP	GYPSUM	SIM	SIMILAR
BM	BEAM	H	HIGH OR HEIGHT	SIMP	'SIMPSON'
BOW	BOTTOM OF WALL	HB	HOSE BIBB	SLD	SLIDING
BLKG	BLOCKING	JTS	JOIST	S&P	SHELF & POLE
BRD	BOARD	LAV	LAVATORY	STRUCT	STRUCTURAL
CC	CENTER TO CENTER	LB	POUND	T	TREAD
CL	CENTERLINE	LIN	LINEN	TEMP	TEMPERED
CEM	CEMENT	LT	LIGHT	TOC	TOP OF CONCRETE
CER	CERAMIC	MANF	MANUFACTURER	TOG	TOP OF GRADE
CJ	CONTROL JOINT	MAX	MAXIMUM	TOF	TOP OF FLOOR
CLG	CEILING	MC	MEDICINE CABINET	TOP	TOP OF PAVEMENT
CLR	CLEAR	MIN	MINIMUM	TOS	TOP OF SLAB
CLO	CLOSET	MTL	METAL	TOW	TOP OF WALL
CO	CLEANOUT	N	NORTH	TV	TELEVISION
CONC	CONCRETE	O/	OVER	TYP	TYPICAL
CONTIN	CONTINUOUS	OC	ON CENTER	UCR	UNDER COUNTER REFRIG.
DBL	DOUBLE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	W	WEST
DF	DOUGLAS FIR			W/	WITH
DI	DRAIN INLET	PB	PUSH BUTTON	WC	WATER CLOSET
DIA	DIAMETER	PH	PHONE	WD	WOOD
DR	DOOR	PL	PLATE	WH	WATER HEATER
DW	DISH WASHER	POC	POINT OF CONNECTION	WP	WATER PROOF
E	EAST	PT	PRESSURE TREATED	WWM	WELDED WIRE MESH
EL	ELEVATION	R	RISER		
EQ	EQUAL	REF	REFRIGERATOR		
FF	FINISH FLOOR	REINF	REINFORCED		
FIX	FIXTURE	RM	ROOM		
FLUOR	FLUORESCENT	RWD	REDWOOD		
FP	FIRE PLACE	S	SOUTH		
GA	GAUGE	SB	SET BACK		
GFCI	GROUND FAULT INTERRUPTER	SF	SQUARE FOOT		

PROJECT TEAM

DESIGNER:
SEAN FREITAS ARCHITECT
ROCKLIN, CA 95765
916-553-2472
Sean@SeanFreitas.com

STRUCTURAL ENGINEER:
SEAN FREITAS ARCHITECT
ROCKLIN, CA 95765
916-553-2472
Sean@SeanFreitas.com

TITLE 24 ENERGY CONSULTANT:
SEAN FREITAS ARCHITECT
ROCKLIN, CA 95765
916-553-2472
Sean@SeanFreitas.com

CIVIL ENGINEER:

FIRE PROTECTION DESIGN:

SEPERATE PERMITS REQUIRED

1. FIRE SPRINKLERS

DEFERRED SUBMITTALS

1. FIRE SPRINKLERS
2. LANDSCAPE PLANS

SPECIAL APPROVALS

1. ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE CITY OF GROVER BEACH STANDARDS AND SPECIFICATIONS, AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR OR CITY ENGINEER.

SPECIAL INSPECTIONS

1. SOILS
2. CONCRETE CONSTRUCTION
3. HIGH LOAD DIAPHRAGMS
4.

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PROJECT: 20190109

CLIENT: BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018
Tel: 650-759-7814
Email: ROBERT_MOULES@ELCAMINOHEALTH.ORG

NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
COVER SHEET

ISSUES:
Project Issue Date: 02/15/19
Project Status: SCHEMATIC DESIGN
Sheet Issue Date: 11/28/17
Revision Number:
Revision Date:

ARCHITECT'S APPROVAL

SEAN P. FREITAS LICENSED ARCHITECT NO. C31965 REN. 7/21 STATE OF CALIFORNIA

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:
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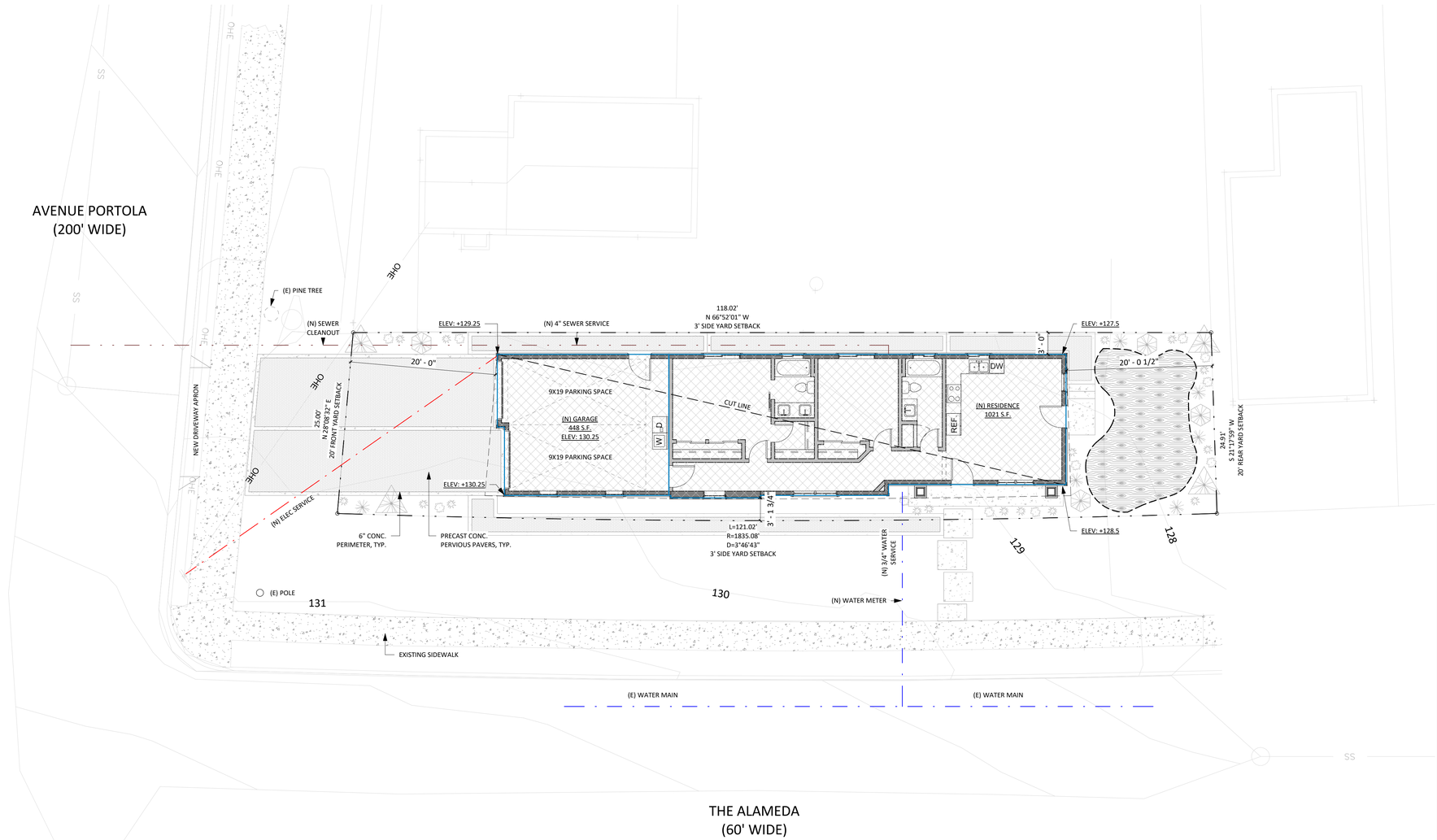
SHEET: 1 OF 20 SHEETS



0 2' 4' 8'

SITE PLAN

SCALE 1/8" = 1'-0"

1

PROJECT BUILDING AREA

UNCONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
GARAGE	0 SF	448 SF	448 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
TOTAL UNCONDITIONED AREA:	0 SF	448 SF	448 SF
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	0 SF	0 SF	0 SF
TOTAL CONDITIONED AREA:	0 SF	1021 SF	1021 SF
TOTAL BUILDING AREA:	0 SF	1469 SF	1469 SF
STRUCTURE LOT COVERAGE: 3,056 s.f.	0 SF 0%	1469SF 48 %	1469SF 48 %
PAVING LOT COVERAGE: (PAVERS) PERMIABLE	0 SF 0%	415.74 13.60	415.74 SF 13.60 %
LANDSCAPE LOT COVERAGE:	0 SF 0%	312 SF 10.20 %	312 SF 10.20 %
WALKWAYS/OTHER COVERAGE: (PAVERS) PERMIABLE	0 SF 0%	275.6 SF 9.02%	275.6 SF 9.02%

FLOOR AREA RATIO:
1469/3290= 45%

* SEE SHEET 3.11 FOR SPECIFIC ROOM AREAS

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NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
SITE PLAN

ISSUES:

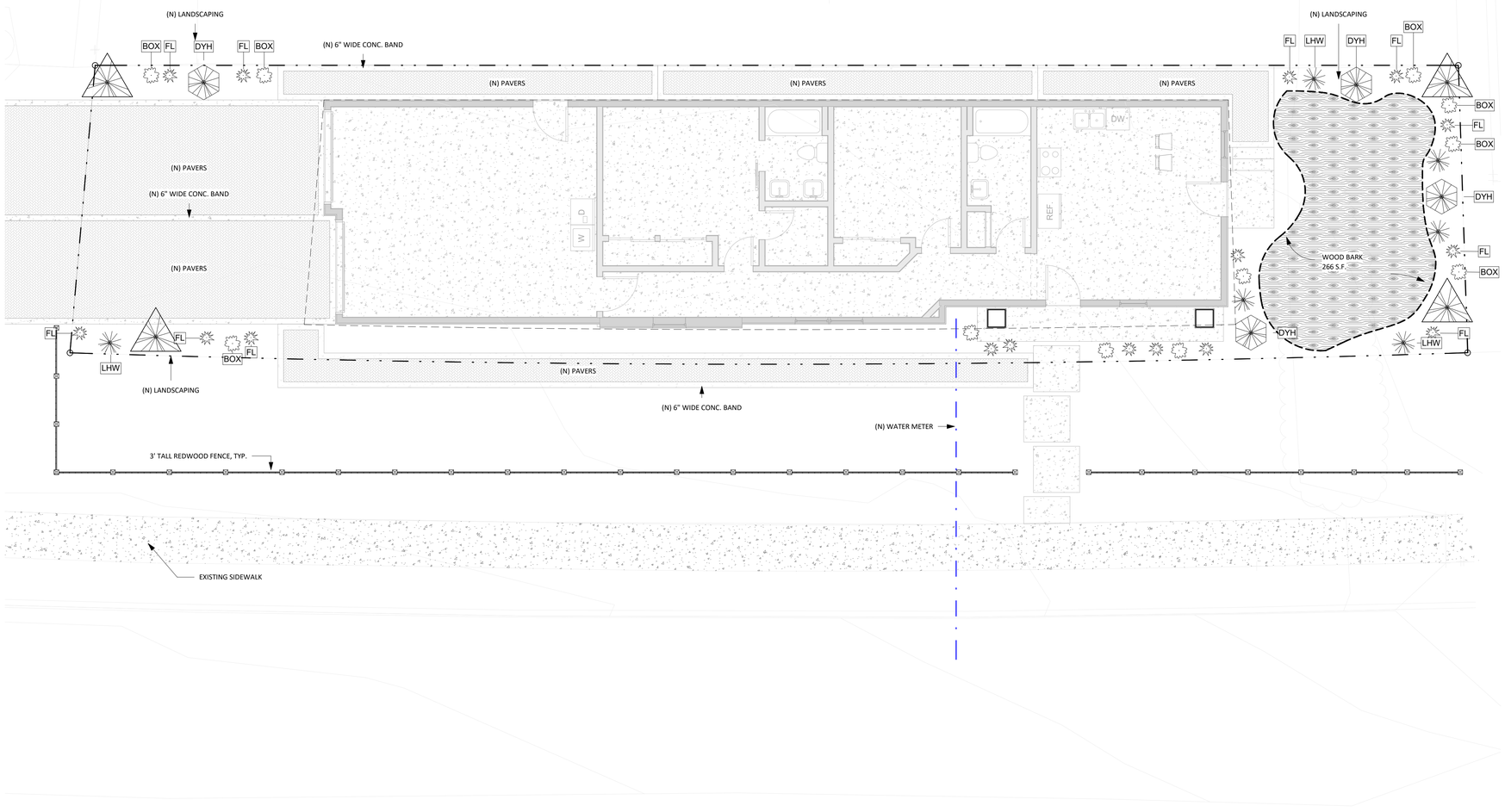
Project Issue Date:	02/15/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	02/15/19
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL

LICENSED ARCHITECT SEAN F. FREITAS STATE OF CALIFORNIA
NO. C23563
REN. 7/21

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:
A2.11
SHEET: 3 OF 20 SHEETS



Planting Schedule

MARK	QTY	SIZE	PLANT TYPE	NAME	BOTANICAL NAME	LIGHT NEED	H2O USE	SUNSET	WUCOLS
FL	19	1 GAL.	PERENNIAL	FLAX LILY	DIANELLA REVOLUTA	PARTIAL SUN	LOW	8, 9, 14-24	.2
E	6	1 GAL	SHRUB	ESCALLONIA	ESCALLONIA SPP. & CVS.	PARTIAL SUN	LOW	4-9, 14-24	.2
BOX	13	2 QT	BOXWOOD, SHRUB	AFRICAN BOXWOOD	MYRSINE AFRICANA	PARTIAL SUN	LOW	8-9,14-24	.2
DYH	9	3 GAL	SHRUB	DWARF YEDDA HAWTHORN	RHAPHIOLEPIS UMBELLATA	PARTIAL SUN	LOW	8-10,12-24	.2
LHW	8	1 GAL	GROUNDCOVER, SHRUB	LOW HORIZON WESTRINGIA	WESTRINGIA FRUTICOSA	PARTIAL SUN	LOW	8, 9, 14-24	.2

55 WUCOLS AVE. = .2

		% OF SITE:
NEW PLANT MATERIAL	312 S.F.	10.20%
TURF	0.00 S.F.	0.00%
NEW LANDSCAPING (TOTAL)	312 S.F.	10.20%
NEW GROUND COVER (MULCH)	267 S.F.	8.73%

LEGEND: LANDSCAPING

	PROPOSED PLANTING: FOR COMPLETE LIST OF PLANT TYPES, COUNTS, NAMES, BOTANICAL NAMES, LIGHTING REQUIREMENTS, AND WATER USE SEE "PLANTING SCHEDULE"
— — — —	LANDSCAPE HEADERBOARD: COMPOSITE LANDSCAPE EDGING.

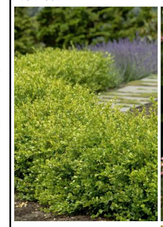
GENERAL NOTES: LANDSCAPING

1. ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE (CONTRASTING) WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
2. A MINIMUM 3-INCH LAYER OR MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOFING GROUNDCOVERS, OR DIRECT SEEDIND APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
3. FIELD ADJUST TREES AS NECESSARY TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
   A. 8 FEET CLEARANCE FROM SEWER OR WATER LINES.
   B. 5 FEET CLEARANCE FROM STORM DRAIN, JOINT TRENCH AND FIRE HYDRANTS
   C. 15 FEET FROM STREET LIGHTS
   D. 25 FEET FROM STOP SIGNS/STOP LIGHTS.
4. SEE SOIL TESTING NOTES (IF APPLICABLE) FOR SOIL AMENDMENT AND FERTILIZER RATES.
5. TREES TO RECIEVE ROOTBARRIER IF PLANTED WITHIN 5' OF HARDSCAPE.
6. CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE CONTRACTOR FOR EACH HOUSE INSTALLED AND EXCEEDS 500 SQ.FT. OF LANDSCAPE AREA. THE CERTIFICATION OF COMPLETION TO CONTAIN THE FOLLOWING INFORMATION:
   A. DATE, PROJECT NAME, PROJECT APPLICANT NAME, TELEPHONE AND MAILING ADDRESS, PROJECT ADDRESS AND LOCATION, AND PROPERTY OWNER NAME, TELEPHONE AND MAILING ADDRESS.
   B. CERTIFICATION BY LICENSED LANDSCAPE CONTRACTOR WHO INSTALLED THE LANDSCAPING AND IRRIGATION. WHERE SIGNIFICATE CHANGES ARE MADE IN THE FIELD DURING CONSTRUCTION "AS-BUILT" OR RECORD DRAWINGS SHALL BE INCLUDED. A COPY OF THE IRRIGATION PLAN OR RECORD DRAWING SHALL BE PLACED WITH THE IRRIGATION CONTROLLER.
   C. IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER.
   D. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
   E. IRRIGATION AUDIT REPORT.
   F. SOILS ANALYSIS REPORT. (IF APPLICABLE)
7. IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.
8. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
9. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
10. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENDURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
11. MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
12. AREAS LESS THAN 10 FT IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
13. AT TIME OF FINAL INSPECTION, THE PERMIT APPLICATION MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
14. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

GENERAL NOTES: SOIL TESTING (IF APPLICABLE)

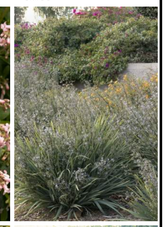
1. COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLES LOCATIONS TO BE IDENTIFIED ON PLAN.
2. EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
3. AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)

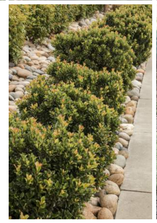
BOXWOOD



ESCALLONIA

FLAX LILY





DWARF YEDDA HAWTHORN

WESTRINGA

LANDSCAPING PLAN | SCALE 3/16" = 1'-0" | 1

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PROJECT: 20190109

BERTINA & ROBERT MOULES
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NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
LANDSCAPING PLAN

ISSUES:

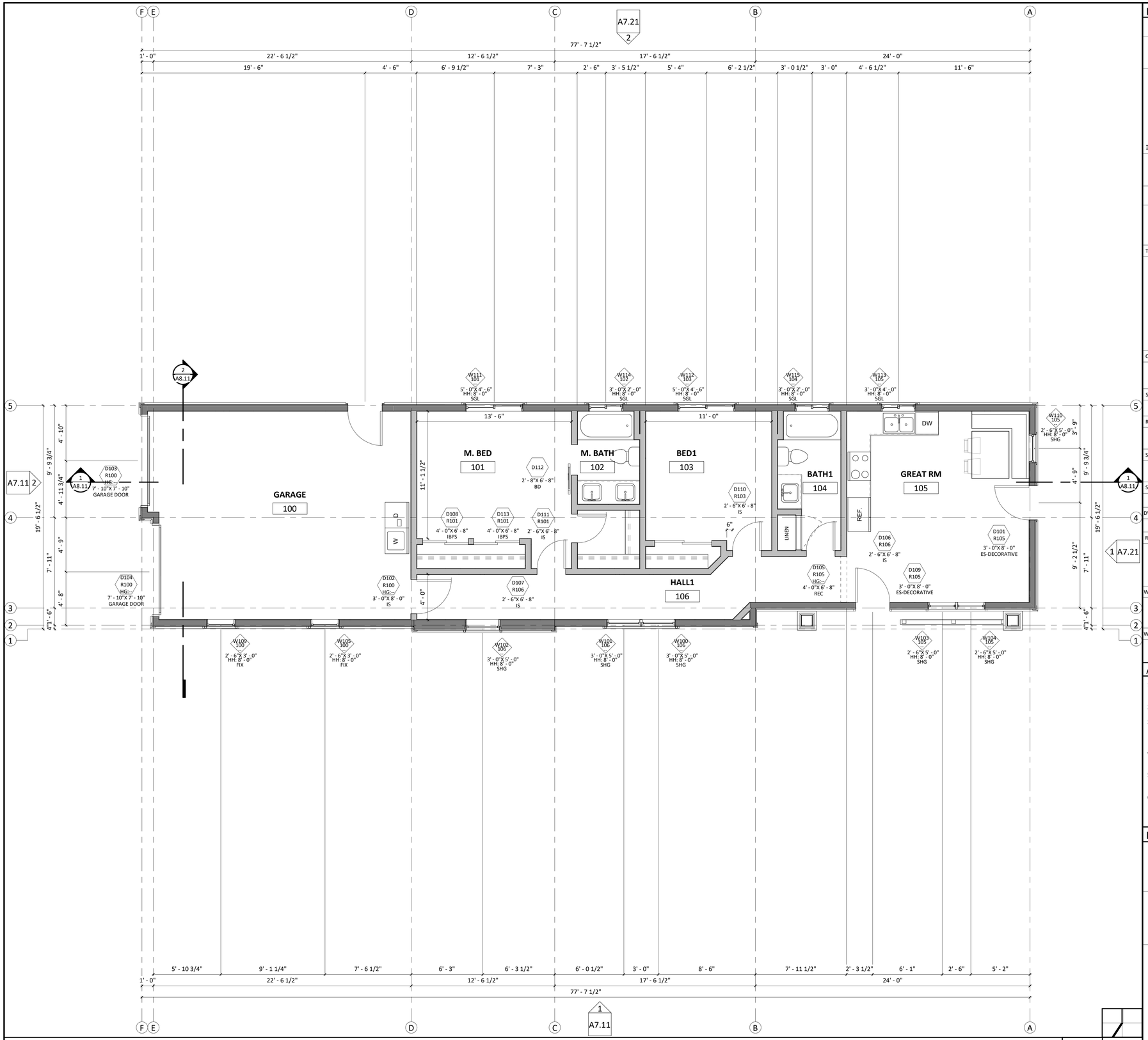
Project Issue Date:	02/15/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	09/30/19
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL

LICENSED ARCHITECT SEAN P. FREITAS NO. C23563 REN. 7/21 STATE OF CALIFORNIA

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:
A2.12
SHEET: OF 20 SHEETS



LEGEND: FLOOR PLAN

- NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER
- NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER. SEE STRUCTURAL SHEETS FOR LOCATION AND TYPE OF ADDITIONAL SHEAR PANEL REQUIREMENTS. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.
- DOORS: MAKE/MODEL AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS.
  MATERIAL: AS SELECTED BY OWNER, U.N.O.
  FRAME: AS SELECTED BY OWNER, U.N.O.
  HARDWARE: AS SELECTED BY OWNER, U.N.O.
  STYLE: 2-PANEL INTERIOR, U.N.O.
- WINDOWS:MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE FOR TYPES. EGRESS: ALL EGRESS WINDOWS SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F.
- CASED OPENING: ARCH OPENING W/ DECORATIVE WOOD TRIM. COLOR AS SELECTED BY OWNER.
- EXT CONCRETE PAD: LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4":12" AWAY FROM BUILDING EDGE. PROVIDE 7.75" MAX STEP FOR IN-SWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)
- TS — SHOWER ENCLOSURE: MAKE/MODEL - AS SELECTED BY OWNER
  SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 72" (MIN) ABOVE DRAIN INLET SLOPING 1/4":12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC. PROVIDE PRESSURE VALVE OR THERMOSTATIC MIXING VALVE TO LIMIT WATER TEMPERATURE TO 120 DEGREES FAHRENHEIT PER SEC 418, CPC. WATER USAGE FOR SINGLE SHOWERHEADS: ≤ 2.0 GPM @ 80 PSI. WATER USAGE FOR MULTIPLE SHOWERHEADS: ≤ COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
- CA — CABINETRY: MAKE/MODEL - AS SELECTED BY OWNER
  COUNTER TOPS: MAKE/MODEL - AS SELECTED BY OWNER
  BACKSPLASHES: MAKE/MODEL - AS SELECTED BY OWNER
  CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS.
- SP — SHELF & POLE: MAKE/MODEL - AS SELECTED BY OWNER
- RF — REFRIGERATOR: MAKE/MODEL - AS SELECTED BY OWNER
  33" CLEAR SPACE. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. PROVIDE ELECTRICAL OUTLET AT +42".
- S1 — KITCHEN SINK: MAKE/MODEL - AS SELECTED BY OWNER
  DBL. BOWL W/ GARBAGE DISPOSAL & AIR GAP FOR DISHWASHER. MAX 8" BOWL DEPTH. PROVIDE LEVER TYPE HARDWARE. WATER USAGE: ≤ 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.
- S2 — SINK: MAKE/MODEL - AS SELECTED BY OWNER
  PROVIDE MIRROR ON WALL BEHIND AND TOWEL RING.
  WATER USAGE: ≤ 1.2 GPM @ 60 PSI
- DW — DISHWASHER: MAKE/MODEL - AS SELECTED BY OWNER
  24" WIDE X 24" DEEP W/ AIR GAP.
- RA — RANGE: MAKE/MODEL - AS SELECTED BY OWNER
  30" WIDE, GAS. PROVIDE MICROWAVE WITH BUILT-IN HOOD, LIGHT, AND FAN TO EXTERIOR. PROVIDE MIN 15" WIDE CUTING BOARD IN ADJACENT CABINET. HOOD: VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. CMC AND ENERGY CODE. THE FAN MUST BE LISTED AT 3 SONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. COMPLIANCE 4.6.5, 4.6.7 & ASHRAE 62.2
- WD — WASHER AND DRYER: MAKE/MODEL - AS SELECTED BY OWNER
  REQUIRED DRYER VENT DUCT SHALL EXHAUST TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
- WC — WATER CLOSET: MAKE/MODEL - AS SELECTED BY OWNER
  WATER CLOSET STALLS SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" CLEAR WIDTH AND SHALL HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24" U.N.O. WATER USAGE: ≤ 1.28 GAL/FLUSH

ADDITIONAL FLOOR PLAN NOTES:

1. CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
2. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2019 CRC SEC. R106.1.2.
3. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2019 CRC SEC. R702.3.8 & R702.3.8.1
4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS, OR SAFETY PLASTIC AND TESTED IN ACCORDANCE WITH CPSC 16 AND CFR 1201. SEC. R308.3, CRC.
5. ALL WASTE VENTING SHALL BE PLACED MORE THAN 10' FROM, OR NOT LESS THAN 3' ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED.
6. KITCHEN TO HAVE A DEDICATED EXHAUST FAN TO THE OUTSIDE. IF EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN, MINIMUM 100 CFMNS IS REQUIRED. IF EQUIPPED WITH CONTINUOUSLY OPERATED EXHAUST FAN AT 5 AIR CHANGES PER HOUR. THE RANGE HOOD OVER STOVE MAY COMPLY WITH VENTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.

LEGEND: SYMBOLS

Room name
101
ROOM SYMBOL: ROOM NAME, ROOM NUMBER, NET AREA, CEILING HEIGHT, AND LENGTH BY WIDTH MEASUREMENTS.
FLOOR FINISH: SELECTED BY OWNER. ANY AREAS WHERE WATER IS PRESENT FLOORING IS TO BE NON-ABSORBENT TILE OR VINYL FLOORING.
WALL FINISH: AS SELECTED BY OWNER, U.N.O.
CEILING FINISH: AS SELECTED BY OWNER, U.N.O.

D101 RROOM HG:HARDWARE GROUP 1' - 0"X 1' - 0" Family Name
DOOR SYMBOL: DOOR NUMBER, ROOM NUMBER, DOOR SIZE, STYLE, AND COMMENTS.
DOOR NOTES:
1. DOORS NOT DIMENSIONED TO ARE CNTR LOCATED BETWEEN ADJ WALLS.
2. SEE SCHEDULE SHEETS FOR DOOR TYPES.

W1 ROOM NUMBER GLAZING 1' - 0"X 1' - 0" HH: Head Height Family Name
WINDOW SYMBOL: WINDOW NUMBER, ROOM NUMBER, WINDOW SIZE, GLAZING, STYLE, AND COMMENTS.
WINDOW NOTES:
1. SEE SCHEDULE SHEETS FOR WINDOW TYPES.

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PROJECT: 20190109

CLIENT: BERTINA & ROBERT MOULES
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NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
FLOOR PLANS

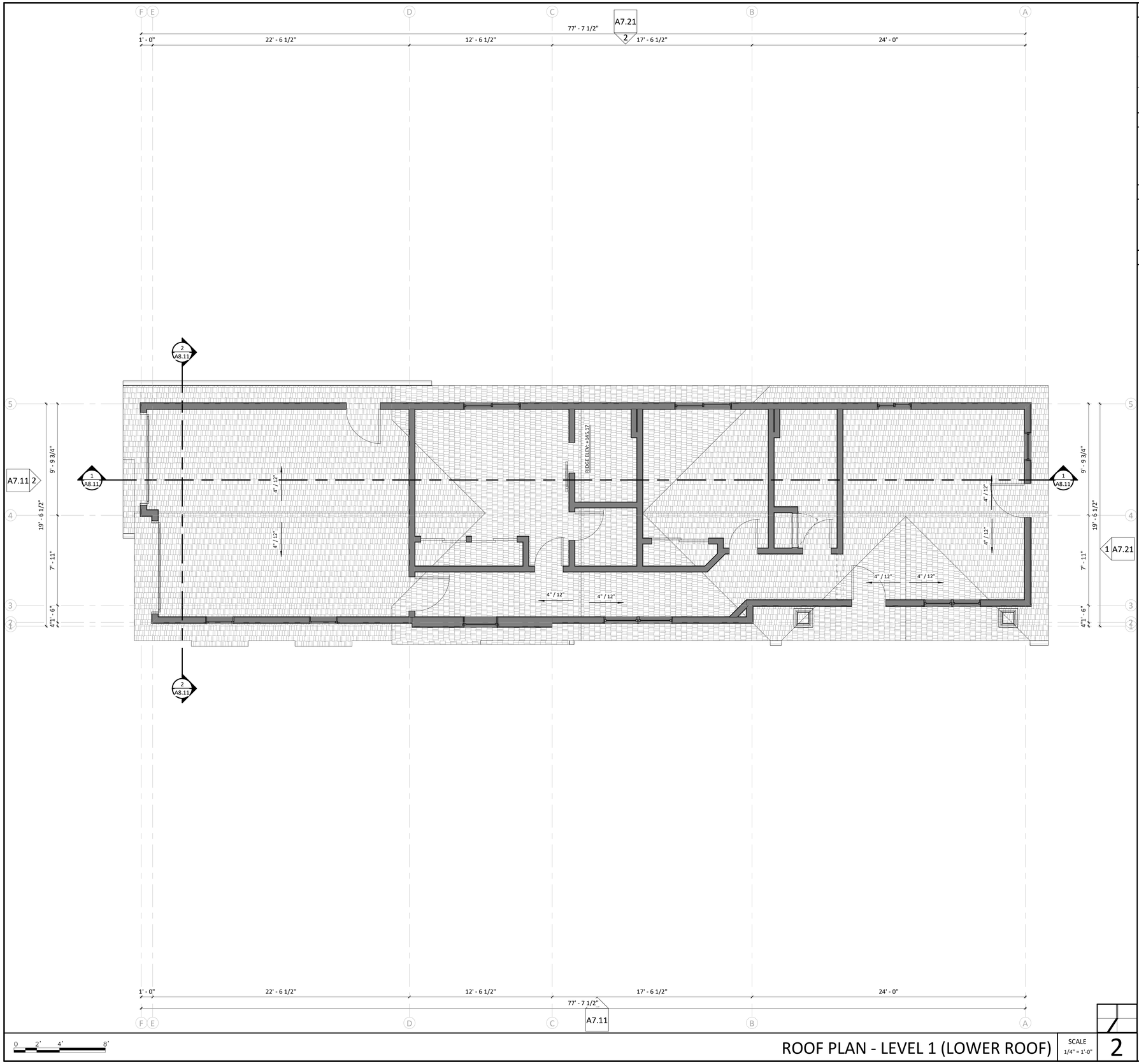
ISSUES:

Project Issue Date:	02/15/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	02/15/19
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL
LICENSED ARCHITECT SEAN P. FREITAS STATE OF CALIFORNIA
NO. C-23503
REN. 7/21
THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:
A3.11
SHEET: 4 OF 20 SHEETS

LEVEL 1 - FLOOR PLAN
SCALE 1/4" = 1'-0"
1



ROOF PLAN - LEVEL 1 (LOWER ROOF)

SCALE 1/4" = 1'-0"

2

LEGEND: ROOF PLAN

07300.R1 — ROOFING ASPHALT SHIINGLES-1: CLASS "A" ASPHALT COMPOSITION ROOFING OVER 2-LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TBD.

05500.RFG1 — ROOF FASCIA GUTTER-1: 5" HIGH X 4" DEEP X26 GA METAL FASCIA GUTTER PAINT 3-COAT.COLOR AND STYLE AS SELECTED BY OWNER. PROVIDE DOWNSPOUT AT EACH END OF GUTTER RUN UNLESS GUTTER TOTAL LINEAR LENGTH IS LESS THAN 15'-0" TYP, U.N.O.

ROOF VENT-1: O'HAGIN VENTILATION; 72 SQ. IN. TAPERED LOW PROFILE . COLOR AND STYLE TO MATCH ROOFING TILE.

ATTIC VENTILATION CALCULATION

1402 S.F. ATTIC AREA / 300 = 4.68 NFVA * 144 = 673 S.I. NFVA

-USE TWELVE (12) O'HAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) LOCATED IN VIEW. 6 HIGH & 6 LOW.

TRUSS SYSTEM NOTE:

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.

SEAN FREITAS, ARCHITECT LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER.

ADDITIONAL ROOF NOTES:

1. ALL OPENINGS PERTAINING TO ATTIC VENTILATION SHALL BE COVERED IN 1/8" CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH. SEC. R806.2, CRC. U.N.O.
2. WHERE VALLEY FLASHING IS INSTALLED, ROOF VALLEYS SHALL BE NO. 26 GAUGE GALVANIZED SHEET METAL OVER MINIMUM 72 LB. CAP SHEET. SEC R327.5, CRC.
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. SEC. R327.5, CRC.
4. ROOF COVERING, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
5. VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
6. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.

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PROJECT: 20190109

CLIENT: BERTINA & ROBERT MOULES
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NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
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TITLE:
ROOF PLAN

ISSUES:

Project Issue Date:	02/15/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	11/28/17
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL

LICENSED ARCHITECT SEAN A. FREITAS NO. C23563 REN. 7/21 STATE OF CALIFORNIA

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:
A3.31

SHEET: 7 OF 20 SHEETS

PROJECT DOORS

OPENING SCHEDULE LEGEND

OPENING SHAPE LEGEND:

AR	ARCHED
HR	HALF-ROUND
RC	RECTANGULAR
OV	OVAL

DOOR SCHEDULE LEGEND

DOOR HARDWARE GROUP LEGEND:

HW23 (3) HINGE SETS
(1) PRIVACY LOCKSET

HW24 (6) HINGE SETS
(1) PRIVACY LOCKSET
(2) DOOR STOPS
(1) STRIKE PIN SET

HW31 (4) HINGE SETS
(1) LATCHSET
(1) DOOR STOP

HW32 (8) HINGE SETS
(1) LATCHSET
(2) DOOR STOPS
(1) STRIKE PIN SET

HW33 (3) HINGE SETS
(1) LATCHSET
(1) DOOR STOP

HW34 (6) HINGE SETS
(1) LATCHSET
(2) DOOR STOPS
(1) STRIKE PIN SET

HW11 (4) HINGE SETS
(1) ENTRY LEVER LOCKSET
(1) DEADBOLT
(1) DOOR STOP
(1) THRESHOLD ADA
(1) WEATHERSTRIP

HW12 (8) HINGE SETS
(1) ENTRY LOCKSET
(1) DEADBOLT
(2) DOOR STOPS
(1) THRESHOLD
(1) WEATHERSTRIP
(1) STRIKE PIN SET

HW13 (1) SLIDER LOCKSET
(1) DEADBOLT
(2) DOOR STOPS
(1) THRESHOLD
(1) WEATHERSTRIP

HW21 (4) HINGE SETS
(1) PRIVACY LOCKSET
(1) DOOR STOP

HW22 (8) HINGE SETS
(1) PRIVACY LOCKSET
(2) DOOR STOPS
(1) STRIKE PIN SET

GLAZING LEGEND:

SG	SINGLE GLAZED
DG	DUAL GLAZED
LE	LOW "E"
TEMP	TEMPERED GLASS
LAM	LAMINATED SAFETY GLASS
OBS	OBSCURED

DOOR FRAME TYPE LEGEND:

WD	WOOD: PAINT GRADE
SOV	SOLID VINYL
VCW	VINYL CLAD WOOD
ACW	ALUMINUM CLAD WOOD
MANF	PER MANUFACTURER
AL	ANODIZED ALUMINUM
FGW	FIBERGLASS

DOOR/FRAME FINISH LEGEND:

O	(AS SELECTED BY OWNER)

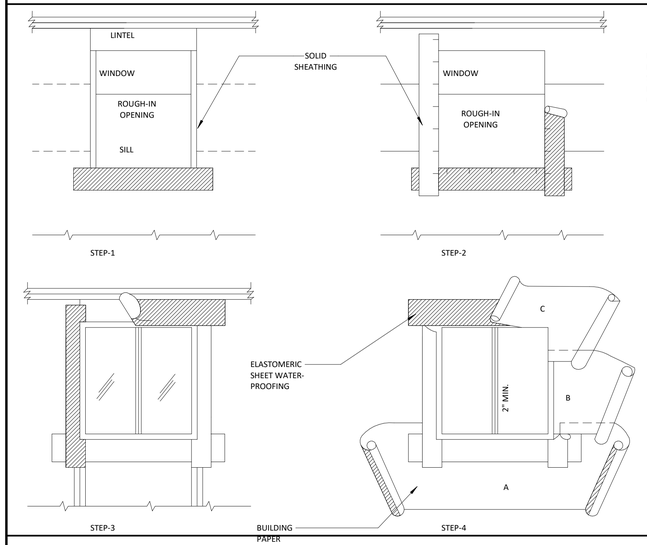
DOOR TYPE LEGEND:

EOC	EXT-OPENING-CASED
EP	EXT-PAIR
EP6P	EXT-PAIR-6-PANEL
EPBFL	EXT-PAIR-BIFOLD-FULL-LITE
EPFL	EXT-PAIR-FULL-LITE
EPFLA	EXT-PAIR-FULL-LITE-ARCHED
ES	EXT-SINGLE
ES6P	EXT-SINGLE-6-PANEL
ESA	EXT-SINGLE-ARCHED
ESFL	EXT-SINGLE-FULL-LITE
ESFLA	EXT-SINGLE-FULL-LITE-ARCHED
ESHL	EXT-SINGLE-HALF-LITE
ESDS	EXT-SLIDING DOOR SYSTEM
EXOSFL	EXT-XO-SINGLE-FULL-LITE
ESPL	EXT-SINGLE-PARTIAL-LITE
FS	EXT-FRENCH-SINGLE
FD	EXT-FRNECH-DOUBLE
FDA	EXT-FRENCH-DOUBLE-ARCHED
IBPS	INT-BYPASS-SLIDING
IP	INT-PAIR
IP3P	INT-PAIR-3-PANEL
IP6P	INT-PAIR-6-PANEL
IS	INT-SINGLE
ISFL	INT-SINGLE FULL LIGHT
IS2P	INT-SINGLE-2-PANEL
IS6PP	INT-SINGLE-6-PANEL-POCKET
ISP	INT-SINGLE-POCKET
RU15P	ROLL-UP-15-PANEL
RU20P	ROLL-UP-20-PANEL
RU20PA	ROLL-UP-15 PANEL-ARCHED
RU15PA	ROLL-UP-20-PANEL-ARCHED

DOOR SCHEDULE

DOOR NO.	ROOM NO.	DOOR WIDTH	DOOR HEIGHT	DOOR THICK	DOOR MAT	DOOR GLAZING	FRAME TYPE	FRAME MAT	DETAILS HEAD	DETAILS JAMB	LISTING	HARDWARE	NOTES
100	104	3' - 0"	6' - 8"	2"			CAB						
101	105	3' - 0"	8' - 0"	2"	WOOD	--	ES-DECORATIVE		--	--			
102	100	3' - 0"	8' - 0"	2"	WOOD	--	IS		--	--	--	--	
103	100	7' - 10"	7' - 10"	2"	AL	TEMP	GARAGE DOOR		--	--	--	--	
104	100	7' - 10"	7' - 10"	2"	AL	TEMP	GARAGE DOOR		--	--	--	--	
105	105	4' - 0"	6' - 8"	2"	--	--	REC		7/A9.11	--	--	--	
106	106	2' - 6"	6' - 8"	2"	WOOD	--	IS		--	--	--		
107	106	2' - 6"	6' - 8"	2"	WOOD	--	IS		--	--	--		
108	101	4' - 0"	6' - 8"	2"	--	--	IBPS		--	--	--		
109	105	3' - 0"	8' - 0"	2"	WOOD	--	ES-DECORATIVE		--	--			
110	103	2' - 6"	6' - 8"	2"	WOOD	--	IS		--	--	--		
111	101	2' - 6"	6' - 8"	2"	WOOD	--	IS		--	--	--		
112		2' - 8"	6' - 8"	2"			BD						
113	101	4' - 0"	6' - 8"	2"	--	--	IBPS		--	--	--		
114	100	3' - 0"	8' - 0"	2"	WOOD	--	ES-DECORATIVE		--	--			
115	103	5' - 0"	6' - 8"	2"	--	--	IBPS		--	--	--		

PROJECT WINDOWS



NOTE:
DOOR OPENING FLASHING SIMILAR EXCEPT LOWER FLASHING STRIP IS OMITTED

WINDOW SCHEDULE LEGEND

WINDOW FRAME LEGEND:

SOV	SOLID VINYL
VCW	VINYL CLAD WOOD
ACW	ALUMINUM CLAD WOOD
SFW	STEEL FRAME
FGW	FIBERGLASS FRAME
ALW	ALUMINUM FRAME

GLAZING LEGEND:

SG	SINGLE GLAZED
DG	DUAL GLAZED
LE	LOW "E"
TEMP	TEMPERED GLASS
LAM	LAMINATED SAFETY GLASS
OBS	OBSCURED

WINDOW TYPE LEGEND:

SCM	SINGLE-CASEMENT
DCM	DOUBLE-CASEMENT
SCM-A	SINGLE-CASEMENT-ARCHED
ADCM	DOUBLE-CASEMENT-ARCHED
FIX	FIXED-PANEL
FIX-A	FIXED-ARCHED
FIX-HR	FIXED-HALF-ROUND
FIXELP	FIXED-ELLIPSE-PANEL
FIXRND	FIXED-ROUND-PANEL
SGL	SINGLE-GLIDER
DGL	DUAL-GLIDER
SGL-A	SINGLE-GLIDER-ARCHED
DGL-A	DUAL-GLIDER-ARCHED
SHG	SINGLE HUNG
DHG	DOUBLE HUNG
LVR-P	LOUVERED-PANEL

WINDOW SCHEDULE

WINDOW NO.	ROOM NUMBER	WINDOW (VERIFY ROUGH OPENING W/ MANF) WIDTH	WINDOW (VERIFY ROUGH OPENING W/ MANF) HEIGHT	GLAZING	WINDOW (VERIFY ROUGH OPENING W/ MANF) FRAME	TYPE	DETAILS HEAD	DETAILS JAMB	DETAILS SILL	HEAD HEIGHT	NOTES
100	106	3' - 0"	5' - 0"	--		SHG				8' - 0"	
101	106	3' - 0"	5' - 0"	--		SHG				8' - 0"	
102	106	3' - 0"	5' - 0"	--		SHG				8' - 0"	
103	105	2' - 6"	5' - 0"	--		SHG				8' - 0"	
104	105	2' - 6"	5' - 0"	--		SHG				8' - 0"	
105	100	2' - 6"	3' - 0"	--		FIX				8' - 0"	
106		3' - 0"	1' - 0"	--		FIX				9' - 0"	
107		3' - 0"	1' - 0"	--		FIX				9' - 0"	
108		3' - 0"	1' - 0"	--		FIX				9' - 0"	
109	100	2' - 6"	3' - 0"	--		FIX				8' - 0"	
110	105	2' - 6"	5' - 0"	--		SHG				8' - 0"	
111	101	5' - 0"	4' - 6"	--		SGL				8' - 0"	
112	103	5' - 0"	4' - 6"	--		SGL				8' - 0"	
113	105	3' - 0"	4' - 0"	--		SGL				8' - 0"	
114	102	3' - 0"	2' - 0"	--		SGL				8' - 0"	
115	104	3' - 0"	2' - 0"	--		SGL				8' - 0"	

ROOM FINISHES

ROOM FINISH SCHEDULE LEGEND

FLOORING FINISH LEGEND:

CR	CARPET (AS SELECTED BY OWNER) (AS SELECTED BY OWNER)
CT	CERAMIC TILE (AS SELECTED BY OWNER)
CN	CONCRETE WITH SMOOTH FINISH
HW	DECORATIVE WOOD (AS SELECTED BY OWNER)
ST	STONE TILE (AS SELECTED BY OWNER)
ST2	STONE TILE (SHOWER AREA, AS SELECTED BY OWNER) OVER MOISTURE BARRIER, CEMENT BACKER BOARD.
SV	SHEET VINYL (AS SELECTED BY OWNER)
SC	STAINED/TEXTURED CONCRETE (AS SELECTED BY OWNER)

BASE/CROWN FINISH LEGEND:

CT	4" HIGH CERAMIC TILE (AS SELECTED BY OWNER)
HW	7" HIGH DECORATIVE WOOD (AS SELECTED BY OWNER)
MDF	6" HIGH MDF BASE BOARD (AS SELECTED BY OWNER)
ST	6" HIGH STONE TILE (AS SELECTED BY OWNER)
SV	4" HIGH INTERGAL SHEET VINYL COVE (AS SELECTED BY OWNER)
CM6	6" HIGH MDF CROWN MOULDING (AS SELECTED BY OWNER)

WALL AND CEILING FINISH LEGEND:

GB	1/2" THICK GYPSUM BOARD: IMPERFECT SMOOTH TEXTURE FINISH, PRIME AND 2-COAT PAINT (TYP).
CRG	1/2" THICK MOISTURE RESISTANT GYPSUM BOARD: TAPE, MOISTURE BARRIER, MORTAR BASE AND CERAMIC TILE FINISH.
SRG	1/2" THICK MOISTURE RESISTANT GYPSUM BOARD: TAPE, MOISTURE BARRIER, MORTAR BASE AND STONE TILE FINISH.
XGB	ONE HOUR SEPARATION: WALL TO HAVE (1) LAYER AND CEILINGS TO HAVE (2) LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.
P	PAINT (3-COAT) WALL SURFACE.
EXT	EXTERIOR WALL/CEILING FINISH - SEE EXTERIOR ELEVATIONS

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR FINISH	BASE	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	CEILING MAT	CEILING HEIGHT	ROOM SIZE WIDTH	ROOM SIZE LENGTH	NET AREA	REMARKS
100	GARAGE											409 SF	
101	M. BED											159 SF	
102	M. BATH											43 SF	
103	BED1											128 SF	
104	BATH1											58 SF	
105	GREAT RM											266 SF	
106	HALL1											149 SF	

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PROJECT: 20190109

CLIENT: BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018
Tel: 650-759-7814
Email: ROBERT_MOULES@ELCAMINOHEALTH.ORG

NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
SCHEDULES

ISSUES:

Project Issue Date:	02/15/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	11/28/17
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL

SEAN P. FREITAS LICENSED ARCHITECT NO. C23585 REN. 7/21 STATE OF CALIFORNIA

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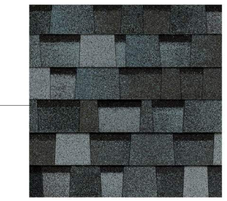
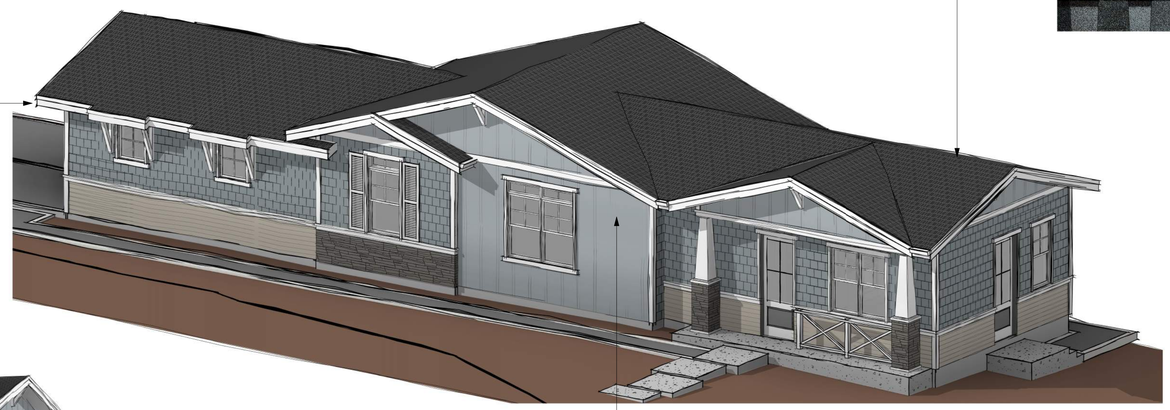
SHEET: A4.11

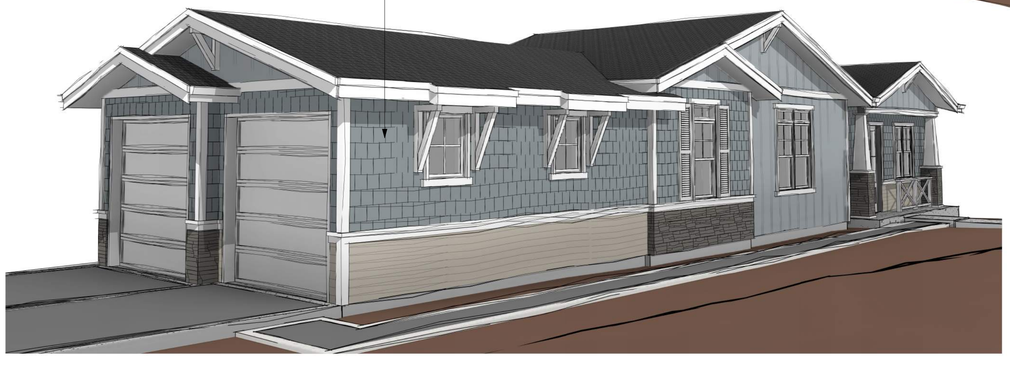
SHEET: 8 OF 20 SHEETS



ARCTIC WHITE

BOOTHBAY BLUE

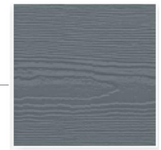




Bar Harbor Blue

COBBLE STONE

Bar Harbor Blue



BOOTHBAY BLUE

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PROJECT: 20190109

CLIENT: BERTINA & ROBERT MOULES
APN 047-208-100
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NEW SINGLE-FAMILY RESIDENCE:

BERTINA & ROBERT MOULES

APN 047-208-100
EL GRANADA, CA 94018

TITLE:
PERSPECTIVES

ISSUES:

Project Issue Date:	02/15/19
Project Status:	SCHEMATIC DESIGN
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Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL

LICENSED ARCHITECT SEAN P. FREITAS NO. C23583 REN: 7/21 STATE OF CALIFORNIA

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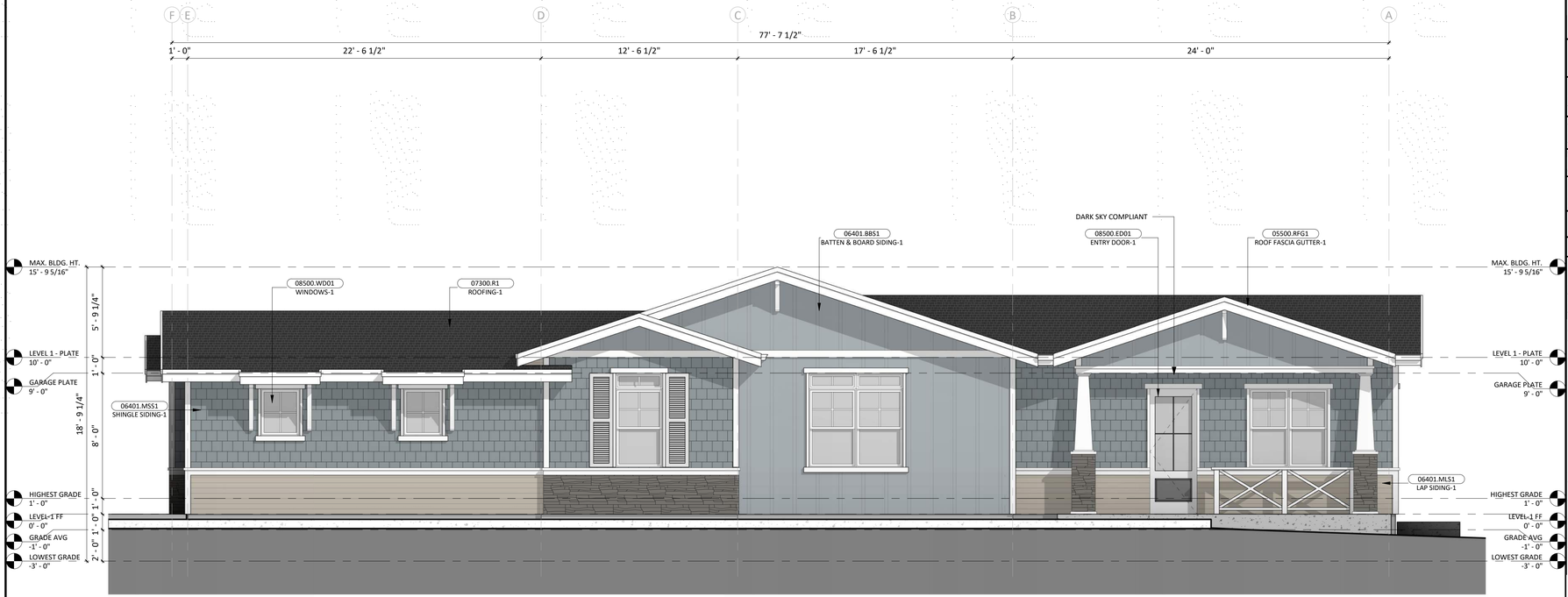
SHEET:

A7.00

SHEET: 9 OF 20 SHEETS

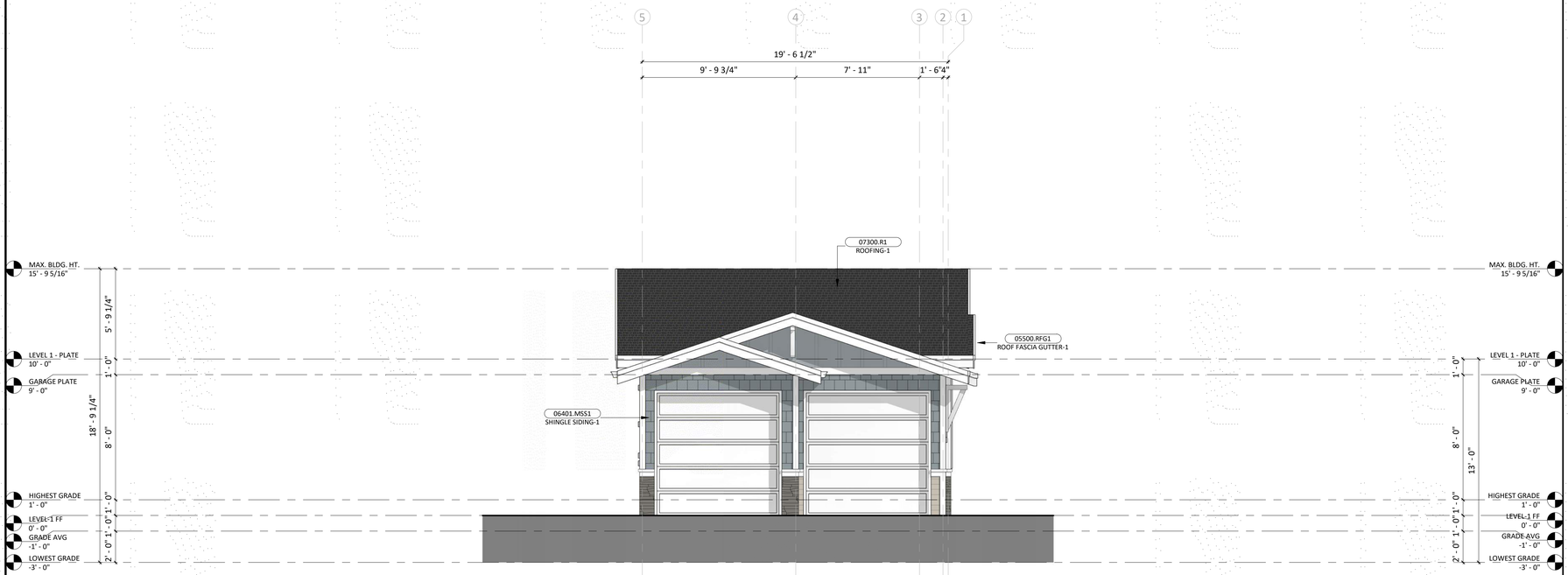


0 2' 4' 8'

EXTERIOR ELEVATON - SOUTH

SCALE 1/4" = 1'-0"

1



0 2' 4' 8'

EXTERIOR ELEVATON - WEST

SCALE 1/4" = 1'-0"

2

LEGEND: ELEVATIONS EXTERIOR

07300.R1	ROOFING-1: ASPHALT SHINGLES (AS SELECTED BY OWNER)
05500.RFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500.WD01	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. 4" TRIM @ WINDOWS TYP. UNO
08500.DR01	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
06401.MLS1	LAP SIDING-1: FIBER CEMENT HARDIEPLANK LAP SIDING "SELECT CEDARMILL" OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.MSS1	SHINGLE SIDING-1: FIBER CEMET HARDIESHINGLE, "STAGGERED EDGE" SIDING OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.BBS1	BATTEN & BOARD SIDING-1: FIBER CEMENT BATTEN & BOARD OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.SF01	SOFFIT-1: HARDIESOFFIT PANELS, VENTED/NON-VENTED "CEDARMILL"

GENERAL NOTES

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APN 047-208-100
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Email: ROBERT_MOULES@ELCAMINOHEALTH.ORG

NEW SINGLE-FAMILY RESIDENCE:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
EXTERIOR ELEVATIONS

ISSUES:

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ARCHITECT'S APPROVAL

LICENSED ARCHITECT SEAN P. FREITAS NO. C-33583 REN. 7/21 STATE OF CALIFORNIA

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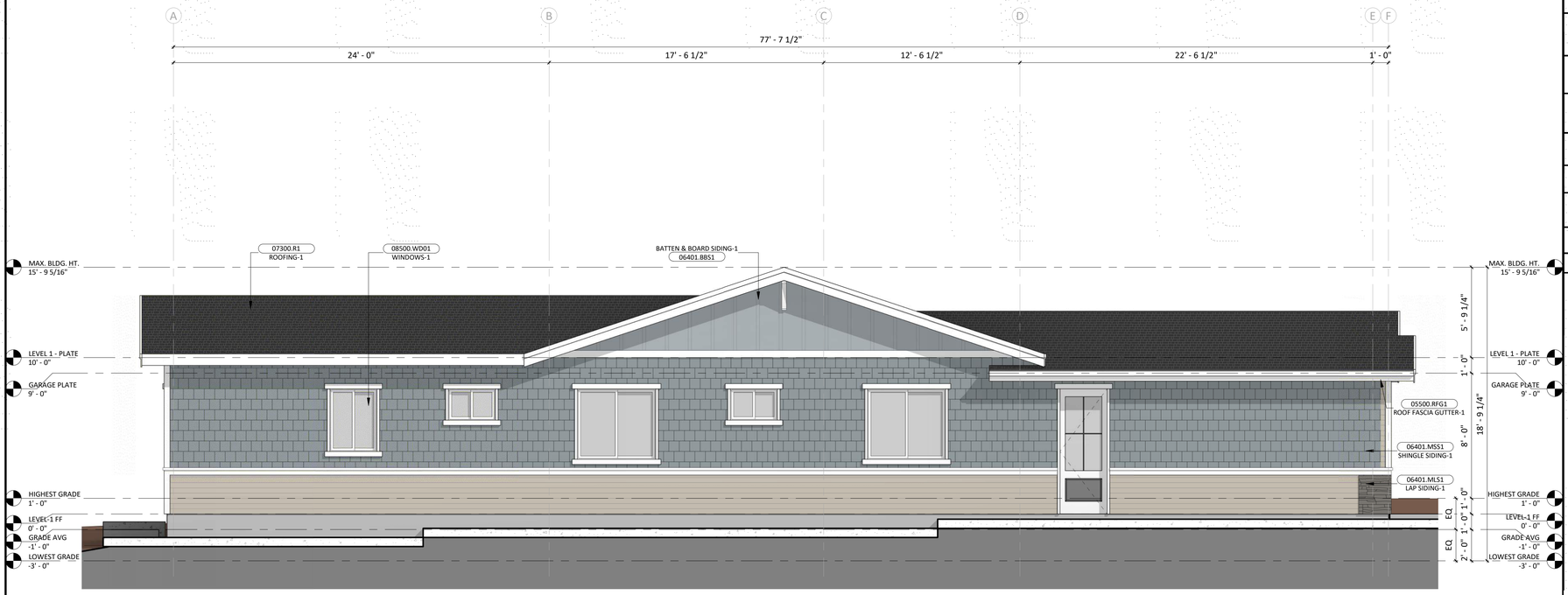
SHEET:

A7.11

SHEET: 11 OF 20 SHEETS

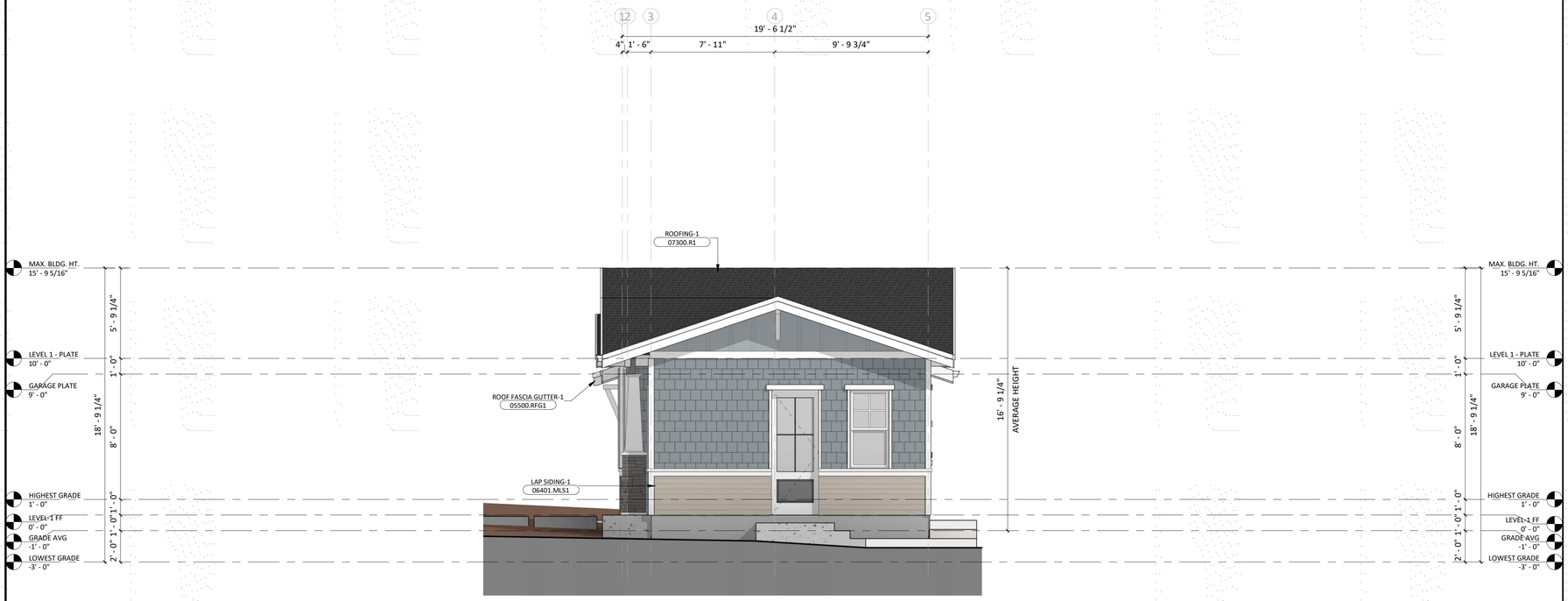


0 2' 4' 8'

EXTERIOR ELEVATON - NORTH

SCALE 1/4" = 1'-0"

2



0 2' 4' 8'

EXTERIOR ELEVATON - EAST

SCALE 1/4" = 1'-0"

1

LEGEND: ELEVATIONS EXTERIOR

07300.R1	ROOFING-1: ASPHALT SHINGLES (AS SELECTED BY OWNER)
05500.RFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
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PROJECT: 20190109

CLIENT: BERTINA & ROBERT MOULES
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Tel: 650-759-7814
Email: ROBERT_MOULES@ELCAMINOHEALTH.ORG

NEW SINGLE-FAMILY RESIDENCE:
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APN 047-208-100
EL GRANADA, CA 94018

TITLE:
EXTERIOR ELEVATIONS

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ARCHITECT'S APPROVAL

LICENSED ARCHITECT SEAN F. FREITAS NO. C23583 REN. 7/21 STATE OF CALIFORNIA

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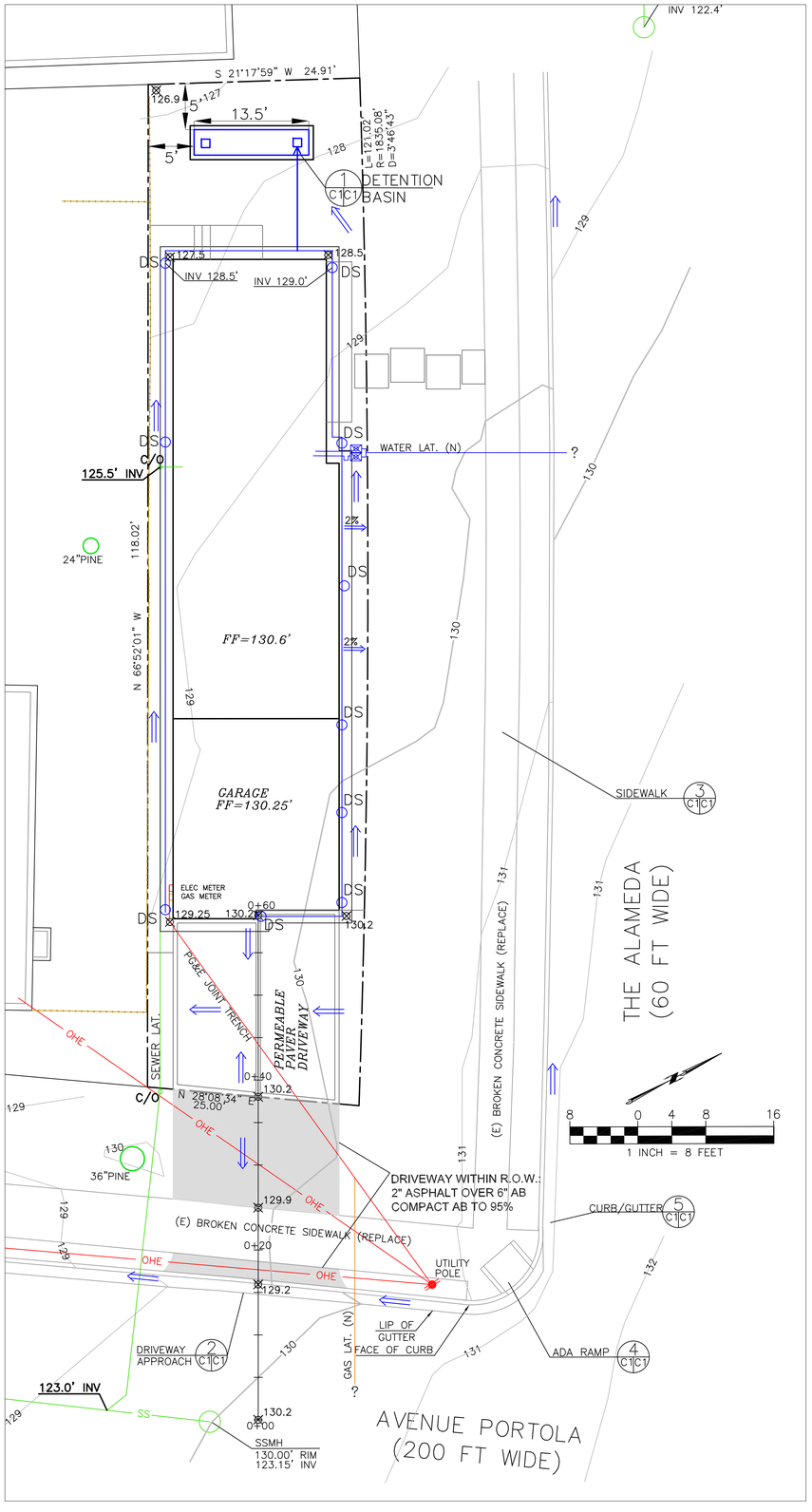
SHEET:

A7.21

SHEET: 10 OF 20 SHEETS



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- 129.5 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- 4" SOLID DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF:
   ROBERT MOULES, OWNER
2. TOPOGRAPHY BY S. MICALLEF, SURVEYED 5-25-12.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT:
SOILS REPORT FOR PROPOSED DUPLEX: THE ALAMEDA, EL GRANADA, APN 047-208-120; DATE: 8-29-19, BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 19-160 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATIONCONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.), PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.

2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.

3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.

4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

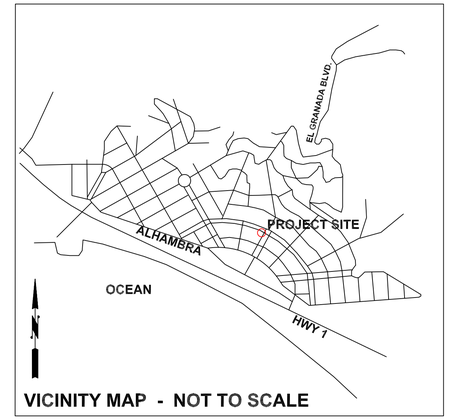
CUT VOLUME : 30 CY (FOR FOUNDATION)
FILL VOLUME: 10 CY

VOLUMES ABOVE ARE APPROXIMATE.

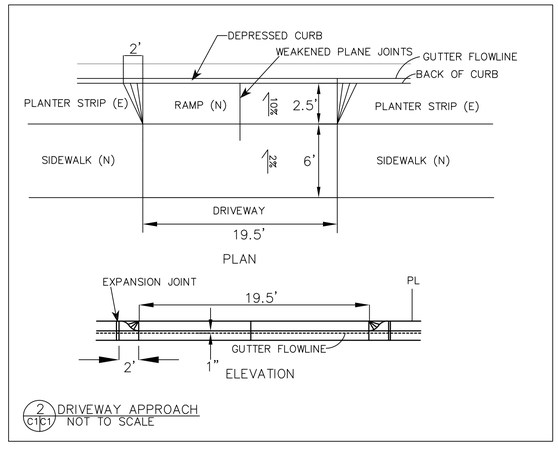
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

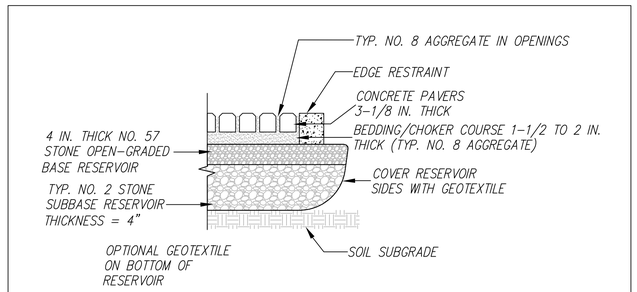
ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



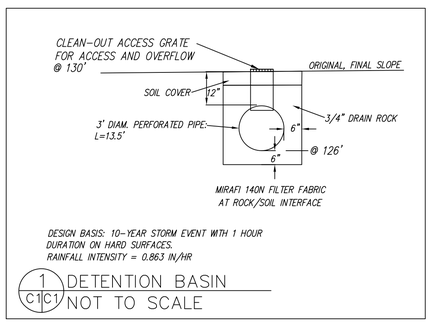
VICINITY MAP - NOT TO SCALE



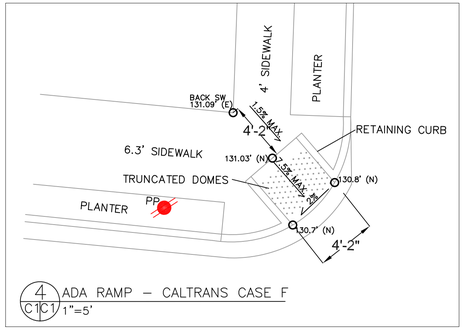
2 C1C1 DRIVEWAY APPROACH
NOT TO SCALE



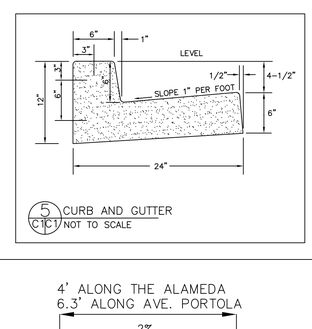
PERMEABLE PAVER DETAIL NOT TO SCALE



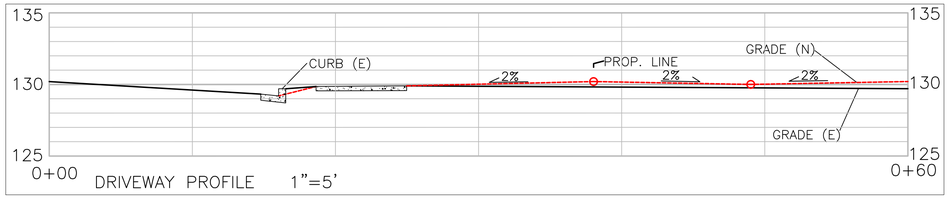
1 C1C1 DETENTION BASIN
NOT TO SCALE



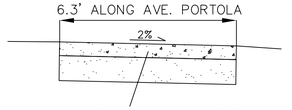
4 C1C1 ADA RAMP – CALTRANS CASE F
1"=5'



5 C1C1 CURB AND GUTTER
NOT TO SCALE

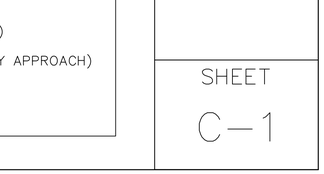


DRIVEWAY PROFILE 1"=5'



3 C1C1 SIDEWALK
NOT TO SCALE

SECTION AND DETAIL CONVENTION



Sigma Prime Geosciences, Inc.

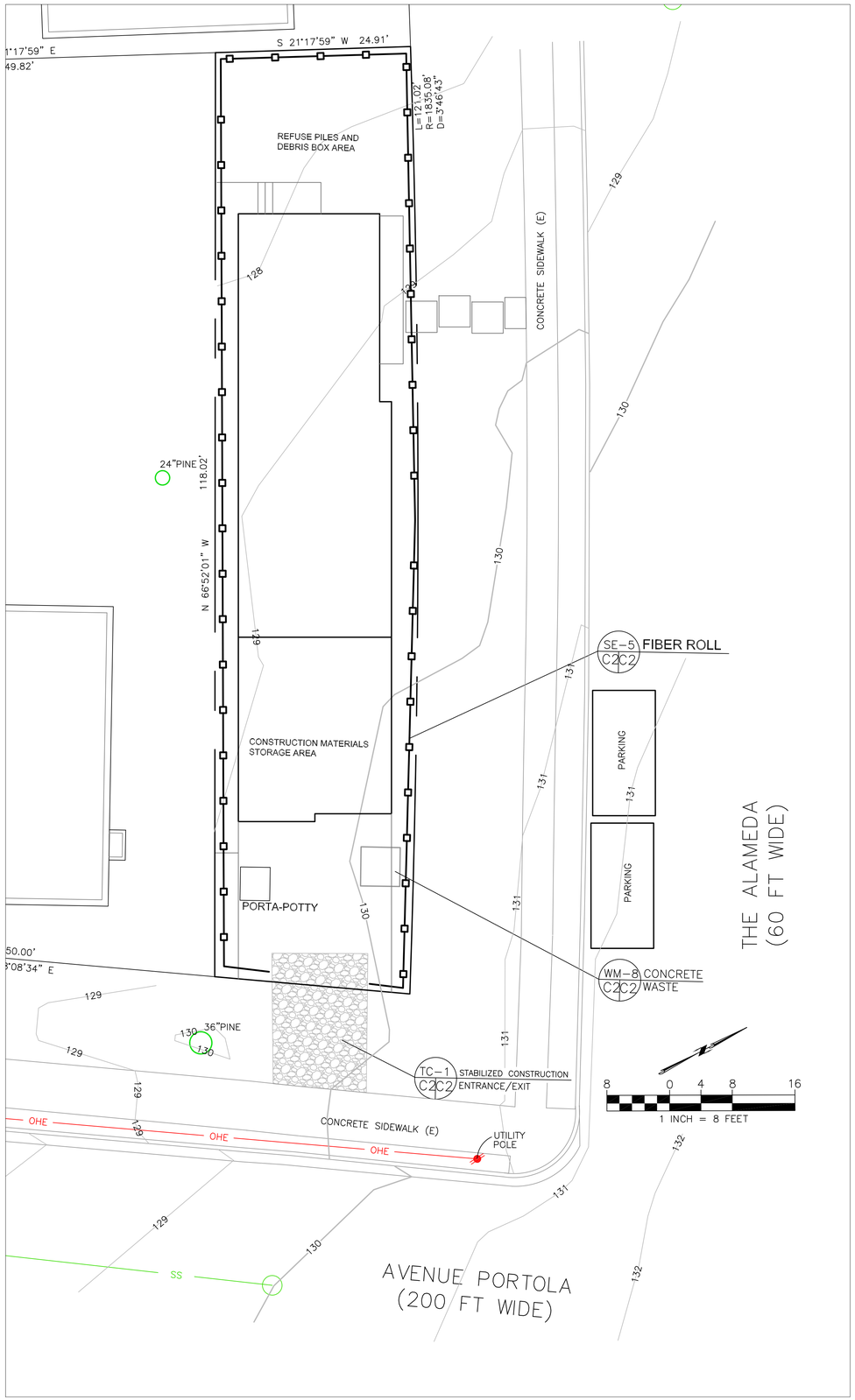
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 7-10-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

GRADING AND DRAINAGE PLAN

MOULES PROPERTY
THE ALAMEDA
EL GRANADA
APN 047-208-100

SHEET
C—1



GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLE
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines oin the site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: ROBERT MOULES

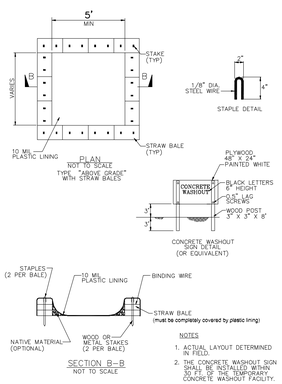
TITLE/QUALIFICATION: OWNER

PHONE: 650-759-7814

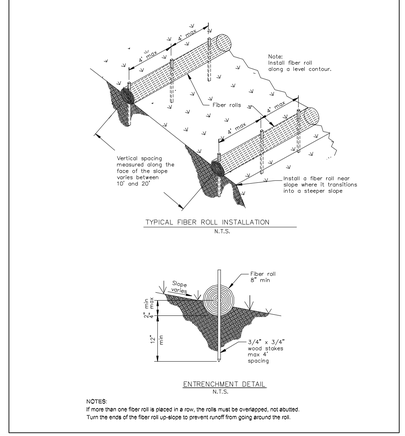
PHONE:

E-MAIL: BRMOULES@YAHOO.COM

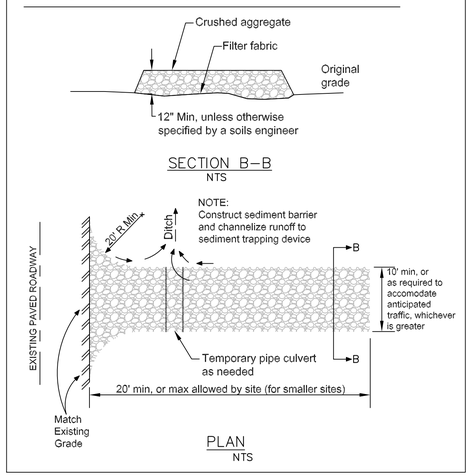
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



REGISTERED PROFESSIONAL ENGINEER
CHARLES M. MOSICK
No. 62264
9-30-21
EXPIRES
CIVIL
STATE OF CALIFORNIA

Sigma Prime Geosciences, Inc.

SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 7-10-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN

MOULES PROPERTY
THE ALAMEDA
EL GRANADA
APN 047-208-100

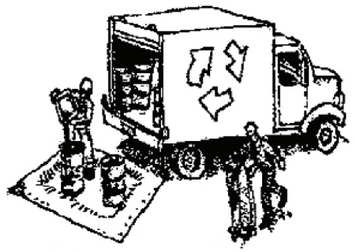
SHEET
C-2

SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☒ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☒ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☒ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☒ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☒ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☒ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☒ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☒ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control

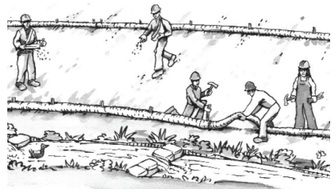
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☒ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☒ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☒ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☒ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ☒ Schedule grading and excavation work during dry weather.
- ☒ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☒ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☒ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

Paving/Asphalt Work

- ☒ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☒ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☒ Do not use water to wash down fresh asphalt concrete pavement.

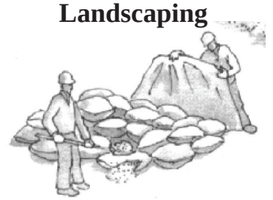
Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application

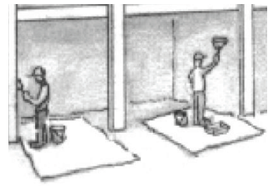
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☒ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ☒ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

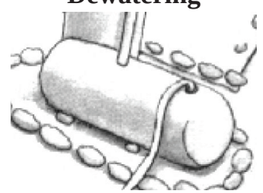
Painting & Paint Removal



Painting Cleanup and Removal

- ☒ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☒ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to $10,000 per day!