

2 DD - 3D View CS

DESIGN CONFORMANCE

Design Narrative 614 Ferdinand Ave

The Peng Residence is designed as a contemporary, two story, Single Family Residence.
The Site is Trapezoidal in shape with Ferdinand Ave. cutting through the front of at approx. 60Deg. angle, South to North. The Site slopes up approx. 4' from the front to the rear with a drop-off at the NE corner.

The house is set back 20' from the Front Property Line with the garage and driveway on the right side allowing a front porch and a large front yard.

The first floor has a master Suite, a 2nd Bed rm. and an Office area. The 2nd floor is an Open Plan Living area with a Media rm. and a South facing deck. Solar PV Panels would be placed on the West facing roof for optimal solar gain.

Landscaping features drought-tolerant native plantings with screening trees along the West property-line.

	EXISTING		PROPOSED		TOTAL		ALLOWED				
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%			
LOT AREA	500.1										
LOT COVERAGE	0	0.0	1405	28.1	1405	28.1	1750	35.0			
FLOOR AREA			First Flr Second Flr Garage Front Porch Deck	820 991 475 93 56	First Flr Second Flr Garage Front Porch Deck	820 991 475 93 56					
Total	0	0.0	Total	2435	48.7	Total	2435	48.7	Total	2650	53.0

Scope of Work

Construction of single-family dwelling w/ attached garage.

NOTES:

1. Building will be protected by an automatic fire sprinkler system.

Sheet List	
Sheet Number	Sheet Name
AO.1	Cover Sheet
SU	Survey
AO.3	Site Plan
C1	Grading & Drainage
C2	Erosion Control
A1.1	Floor Plan
A1.2	Roof Plan
A2.1	Elevations
A3.1	Section Views
LP	Landscape Plan

Site Data

APN: 047-218-280
ZONING: R-1/517/CD/DR
OCCUPANCY GROUP: R-3/U
TYPE OF CONSTRUCTION: V-B

PLN: 2019-00220
BLD:

APPLICABLE CODES:
SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

Project Contacts

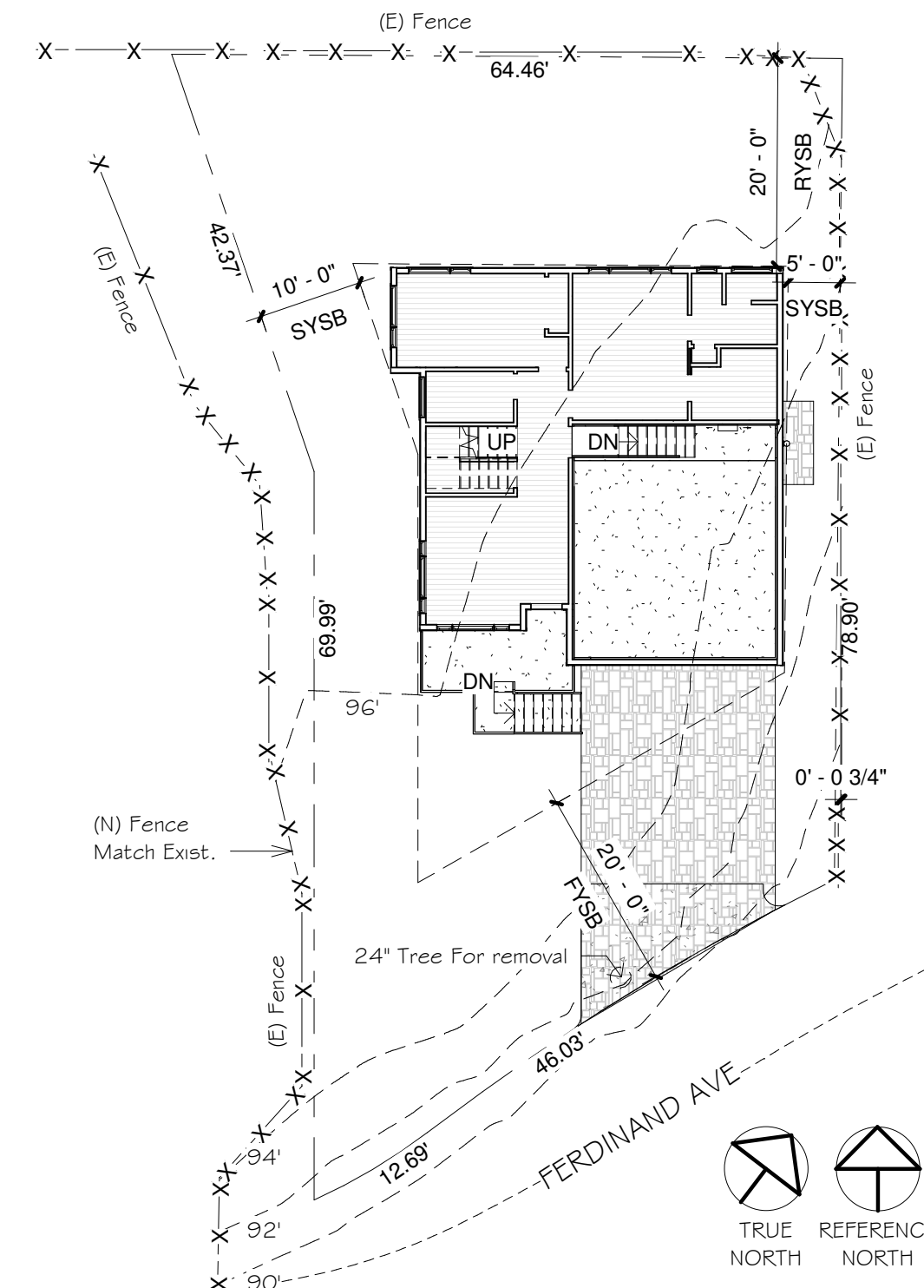
Owner:
Stanley Peng
PO Box 1888
El Granada, 94018
408.24.7503
gotsu@yahoo.com

Geotechnical Engineer:
Sigma Prime Geosciences Inc.,
Charlie Kissick
332 Princeton Ave
HMB 94019
650.728.3590
sigmaprm@gmail.com

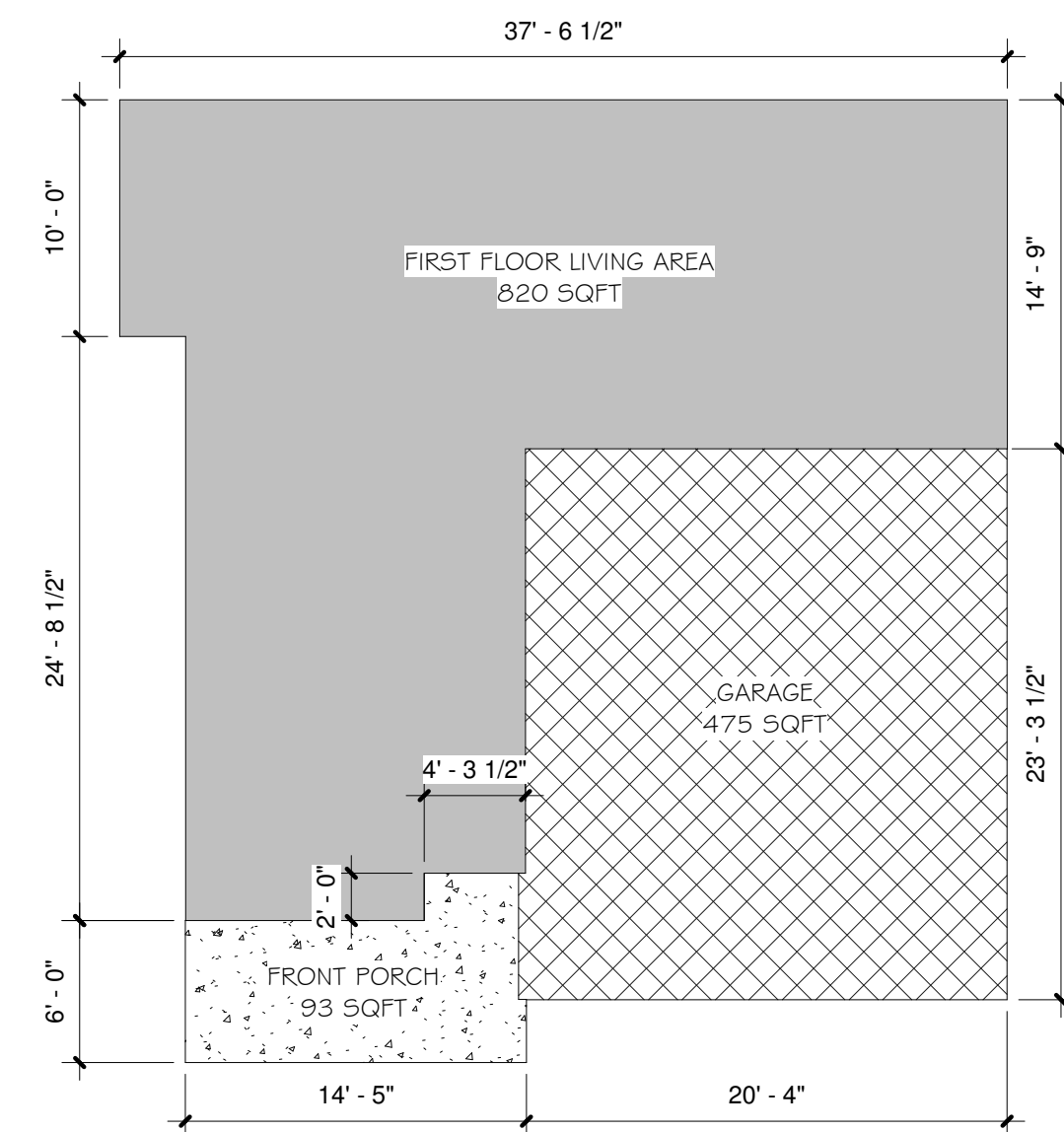
Structural Engineer:
XXXEngineering
Address 1
Address 2
Phone
Email

General Contractor
TBD
Electrical
TBD
PV Systems
TBD

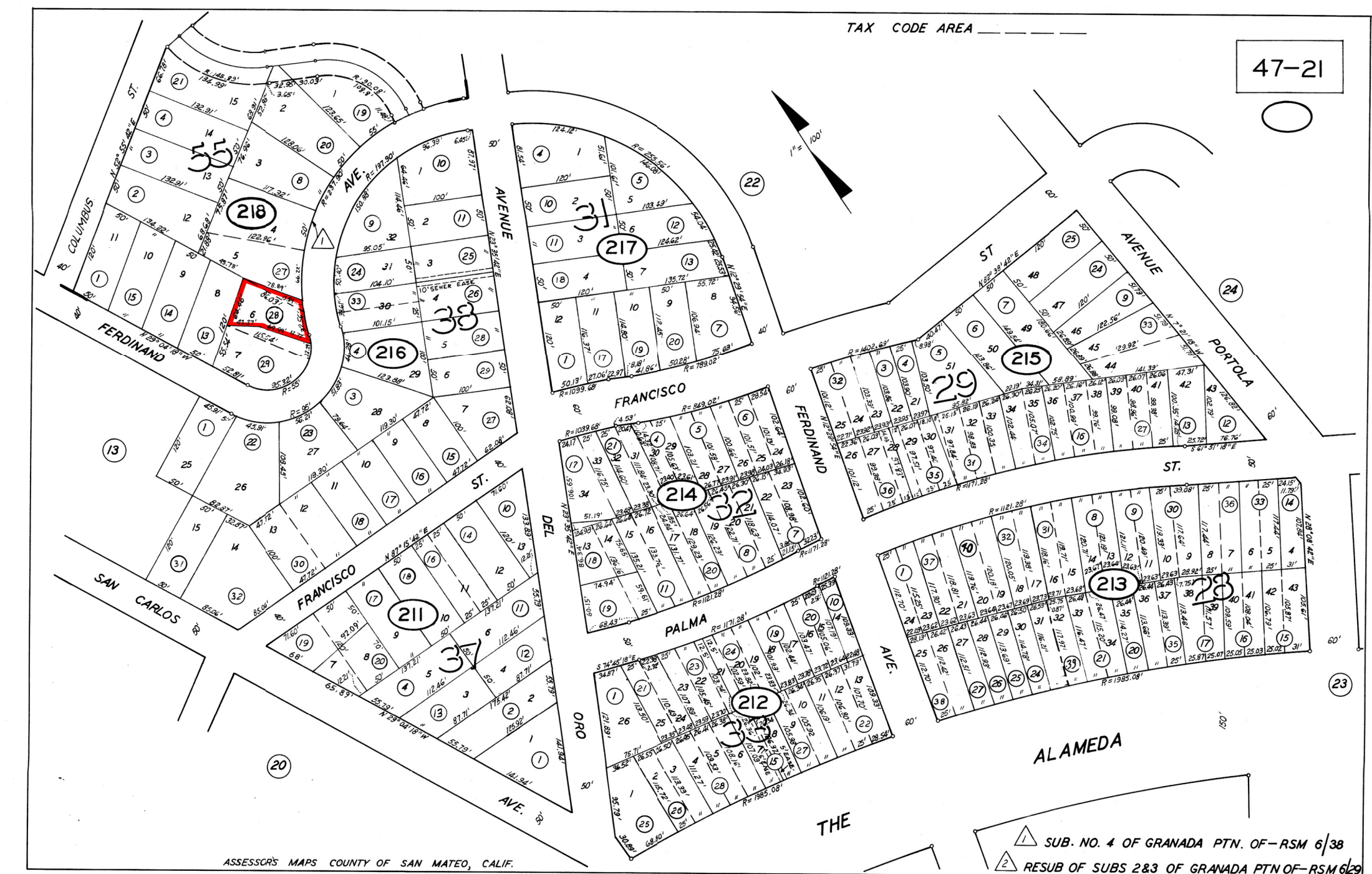
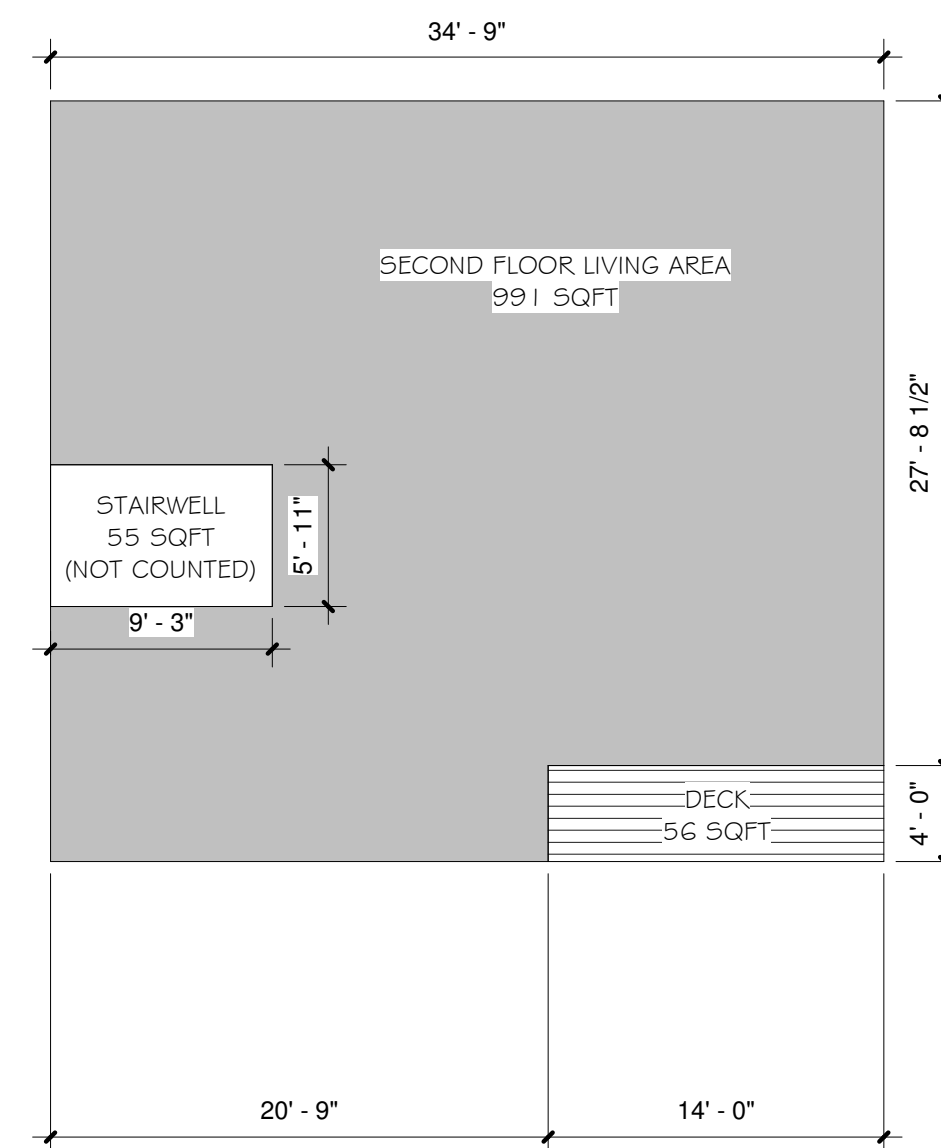
PGE
Representative
Phone
email@PGE.com



1 DD - Site Plan - CS
1/16" = 1'-0"



FAR Diagram
1/8" = 1'-0"



REVISIONS

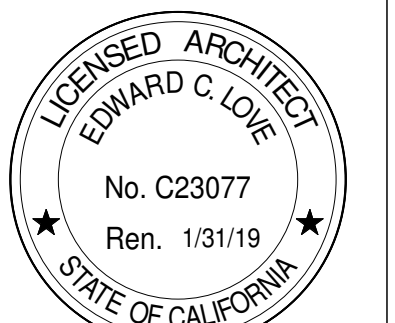


EDWARD C. LOVE, ARCHITECT

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Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence for
Gotsu Inc.
614 Ferdinand Ave
El Granada, CA

Cover Sheet



DATE: 02/19/20
SCALE: As indicated
DRAWN: GMH
JOB: PENG
SHEET:

AO.1

OF SHEETS

BLOCK 38
6 MAPS 29

FERDINAND AVENUE (40' R/W)

LOT 8
BLOCK 55

LOT 5
LANDS OF EAST
DOC. # 2005-154441 O.R.

LOT 4

LANDS OF GOTSU INC.
DOC. #2018-065307 O.R.

EXISTING RESIDENCE
AND GARAGE

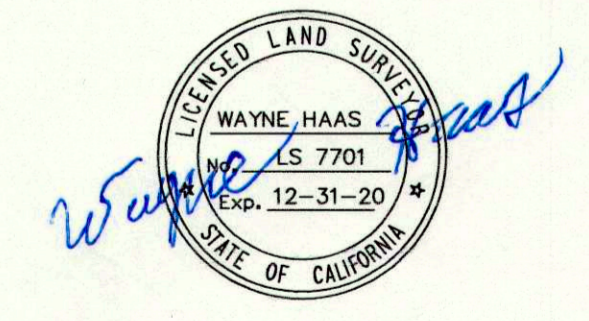
LOT 7

LOT 6

BASIS OF ELEVATIONS:
ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAG NAIL & SHINER IN FERDINAND AVENUE
ELEVATION = 90.07

- LEGEND:**
- FOUND 1" IRON PIPE WITH PLASTIC PLUG "PLS 3820," UNLESS OTHERWISE NOTED
 - ⦿ FOUND 3/4" ALUMINUM TAG "PLS 3820" WITH MAG NAIL IN DRIVEWAY
 - ⊙ FOUND RAILROAD SPIKE WITH PUNCH
 - A/C ASPHALTIC CONCRETE
 - CONC CONCRETE
 - CLRD CENTERLINE OF ROAD
 - FD FOUND
 - FF FINISHED FLOOR
 - GM GAS METER
 - GRD GROUND
 - INV. INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - P.U.E. PUBLIC UTILITIES EASEMENT
 - RET. WALL RETAINING WALL
 - R/W RIGHT OF WAY
 - SSCO SANITARY SEWER CLEAN-OUT
 - SSMH SANITARY SEWER MANHOLE
 - VCP VITRIFIED CLAY PIPE
 - O/H- OVERHEAD LINE
 - SS- SANITARY SEWER LINE
 - W- WATER LINE

UTILITY NOTE:
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

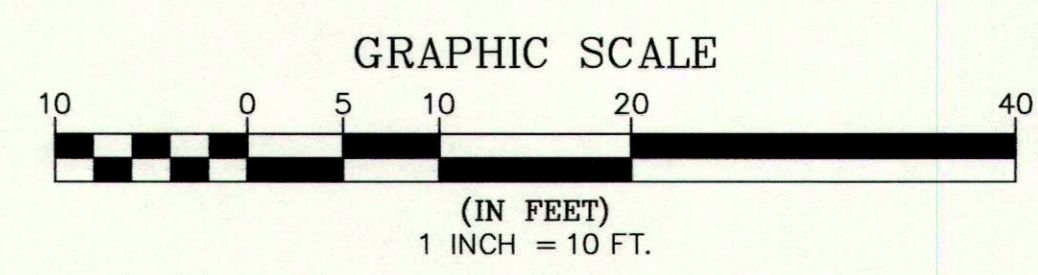


BOUNDARY AND TOPOGRAPHIC SURVEY

LANDS OF GOTSU INC.
DOCUMENT #2018-065307 O.R.
PORTION OF LOTS 5, 6, & 7; BLOCK 55
"SUBDIVISION NO. 4 OF GRANADA"
VOLUME 6 OF MAPS AT PAGE 38
ASSESSOR'S PARCEL NUMBER: 047-218-280
(614 FERDINAND AVENUE)

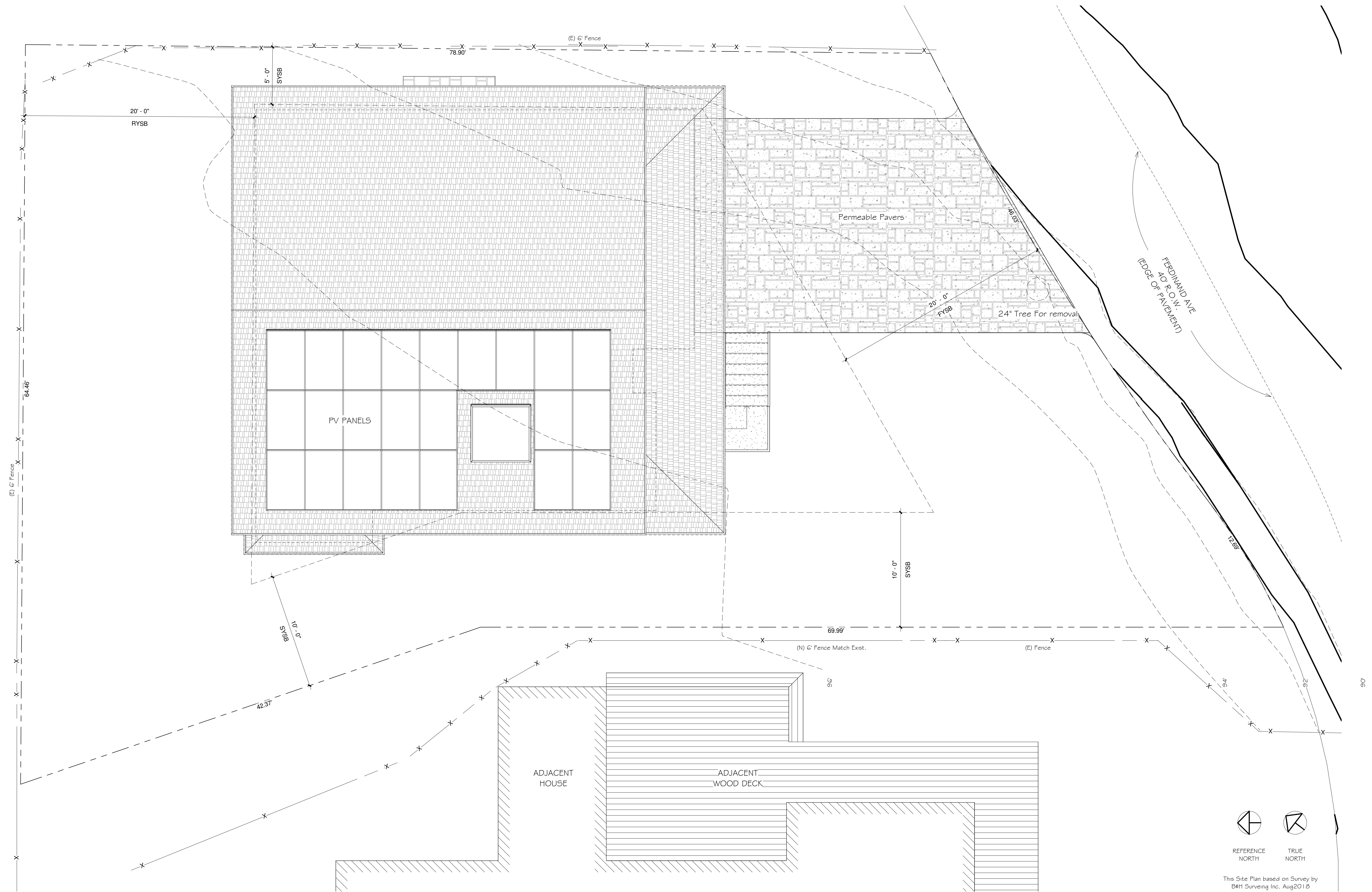
HALF MOON BAY SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' AUGUST, 2018

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE: (650) 637-1590
FAX: (650) 637-1059

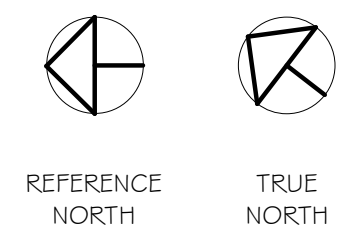


BLOCK 38
6 MAPS 29

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1 Site Plan
1/4" = 1'-0"



This Site Plan based on Survey by
B4H Surveying Inc. Aug2018

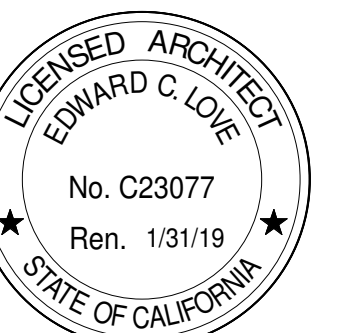
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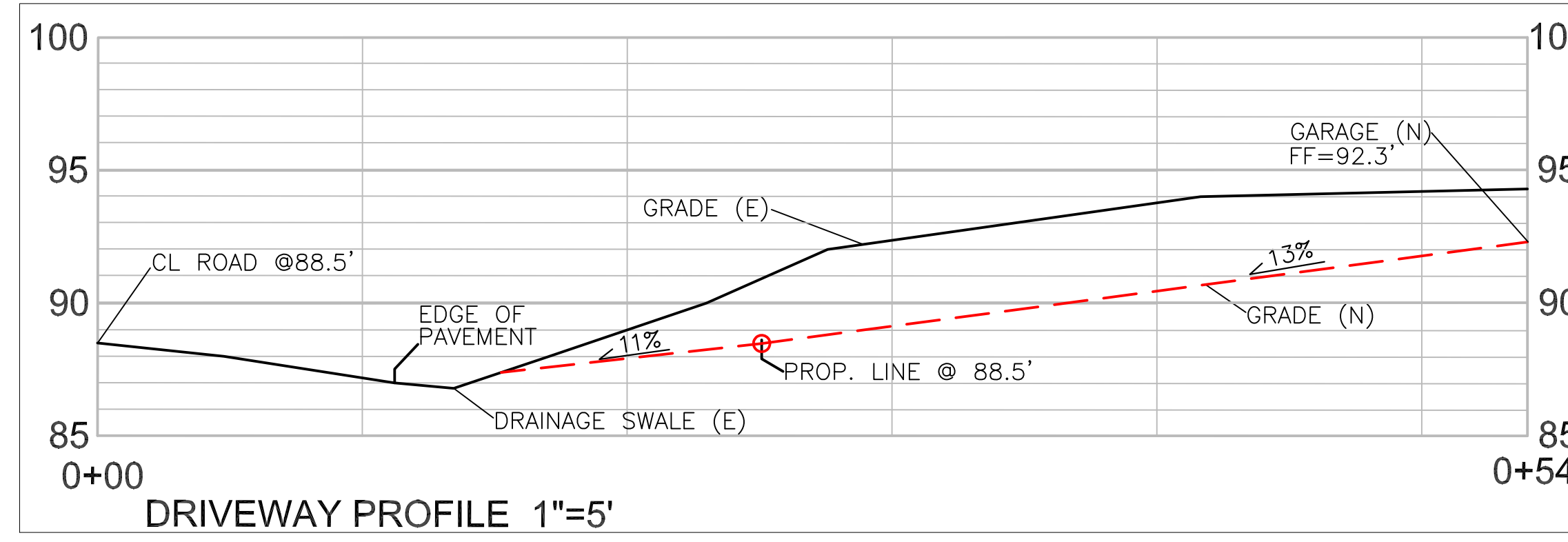
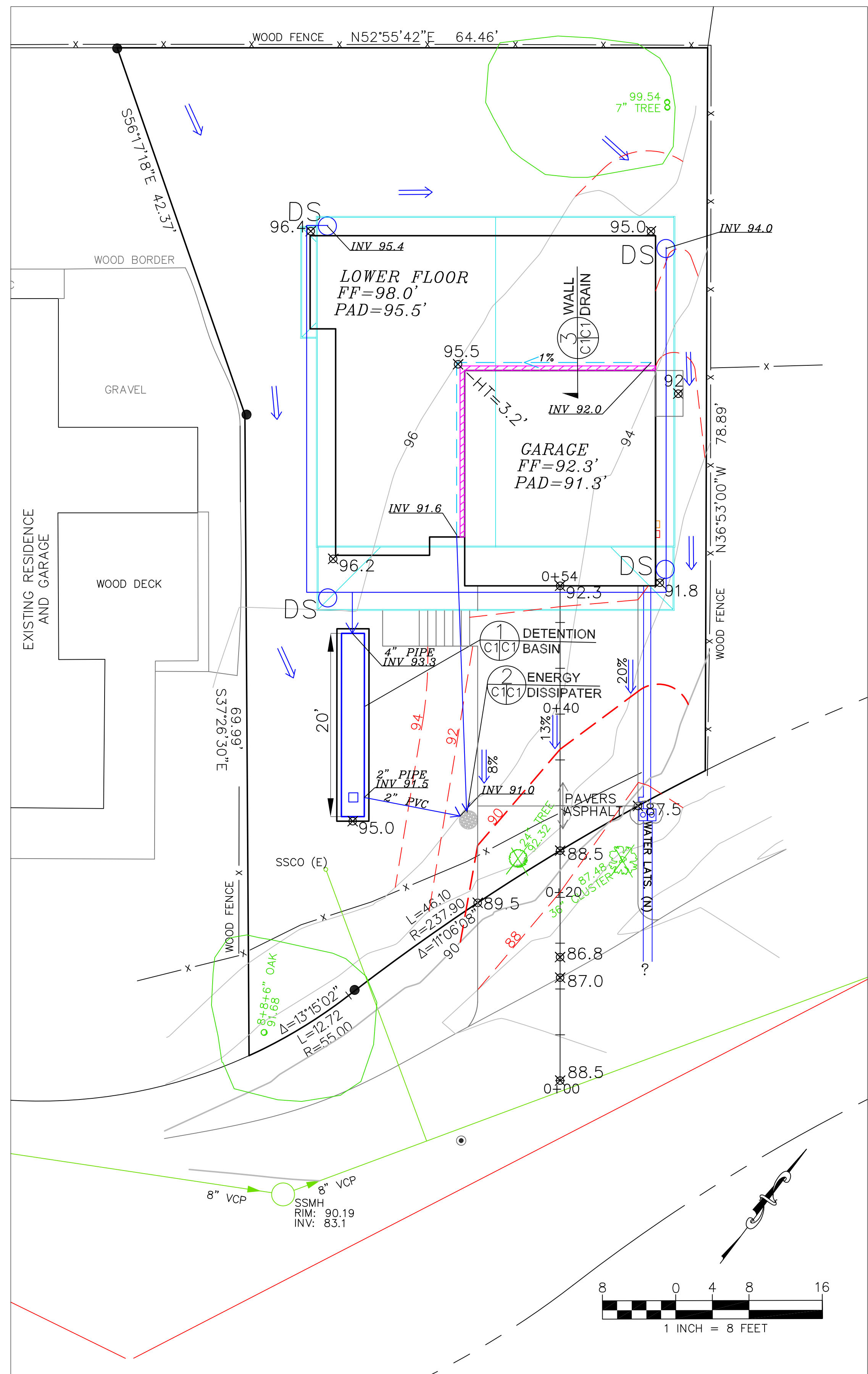
Site Plan



DATE: 12/13/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: PENG
SHEET:

A0.3

OF SHEETS



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 3
- DS DOWNSPOUT
- 4" SOLID DRAIN PIPE
- 4" PERFORATED DRAIN PIPE
- TREE TO BE REMOVED

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: STANELY PENG, OWNER
2. TOPOGRAPHY BY B&H SURVEYING, SURVEYED AUGUST, 2018.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL REPORT FOR PROPOSED SINGLE FAMILY DWELLING, APN 047-218-280**; DATE: APRIL 16, 2019, BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 19-105 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650) 728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL BE WATER-TIGHT AND DRAIN TO AN ENERGY DISSIPATER, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 3" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

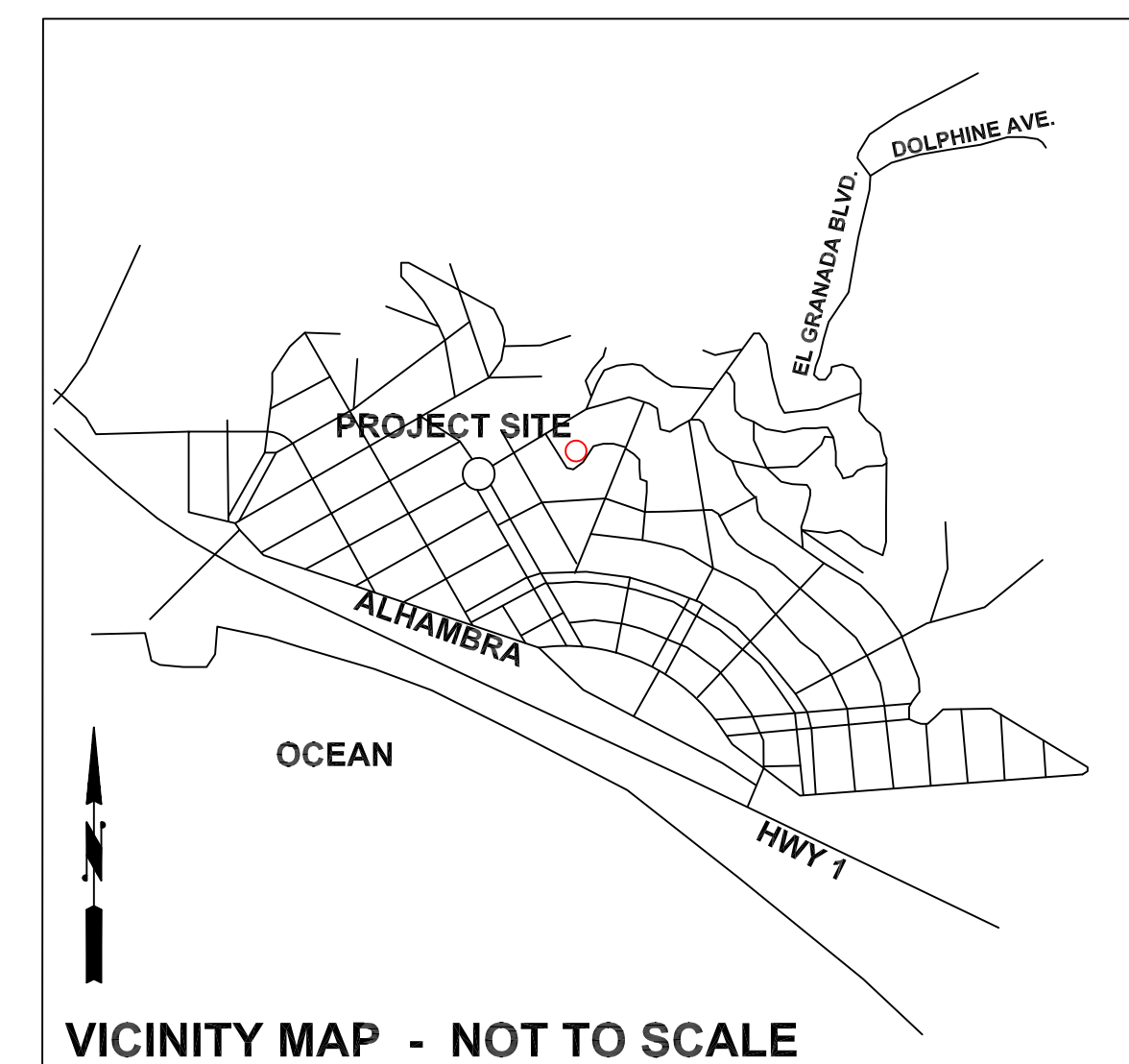
CUT VOLUME : 150 CY (FOR FOUNDATION, DRIVEWAY)
 FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

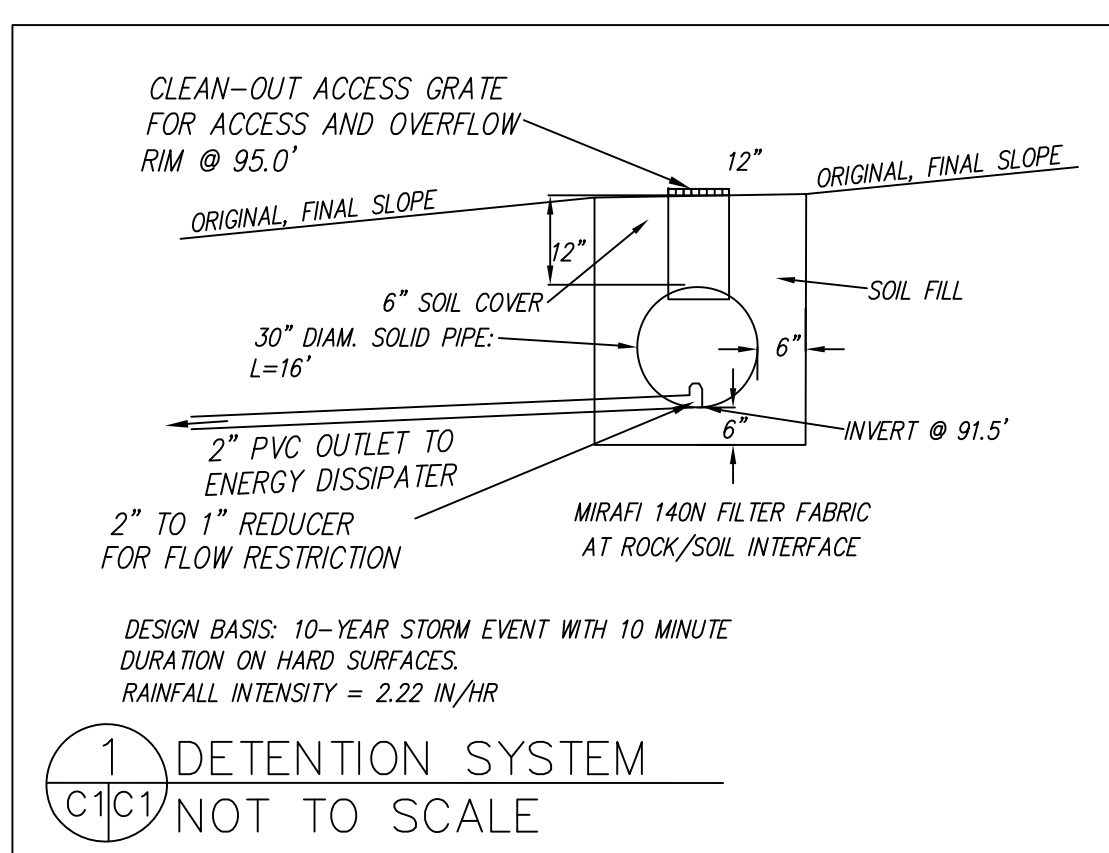
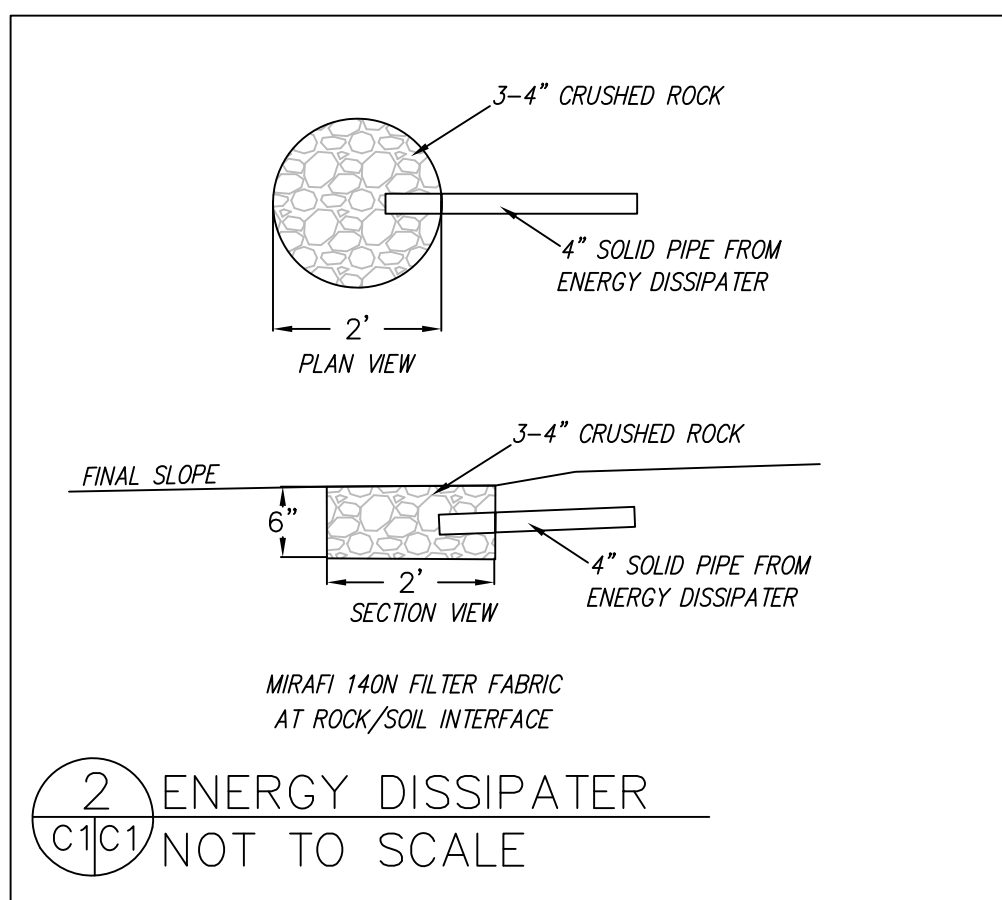
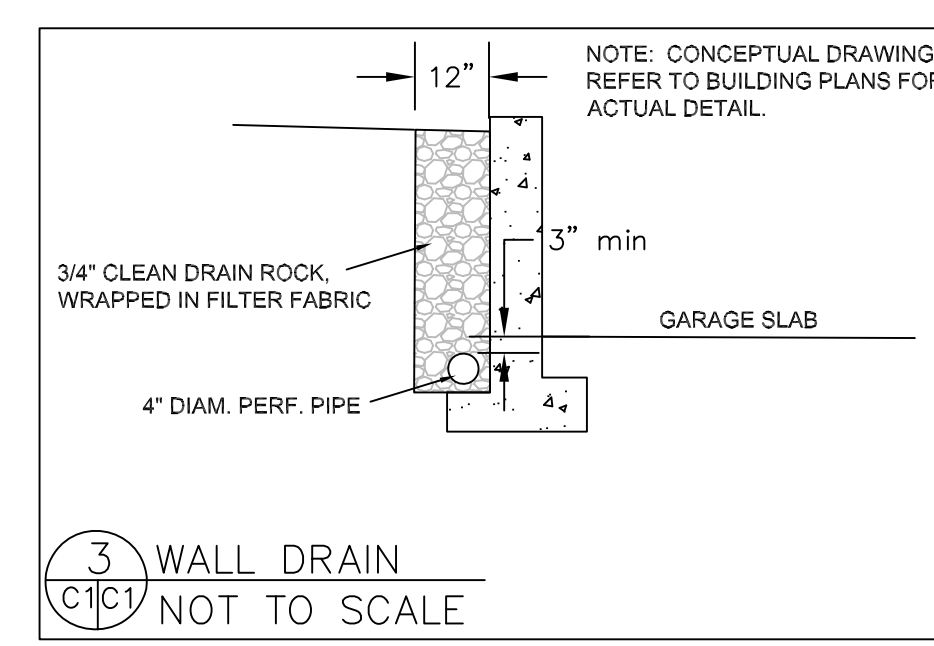
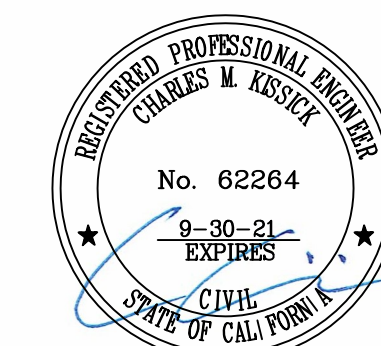
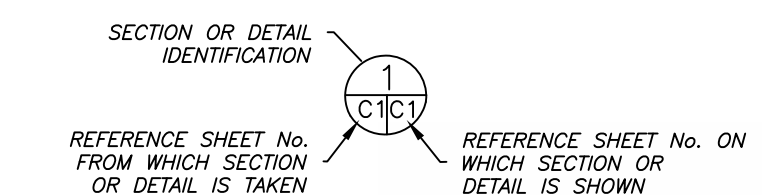
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



SECTION AND DETAIL CONVENTION



Grading and Drainage Plan

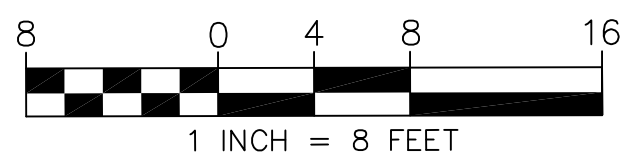
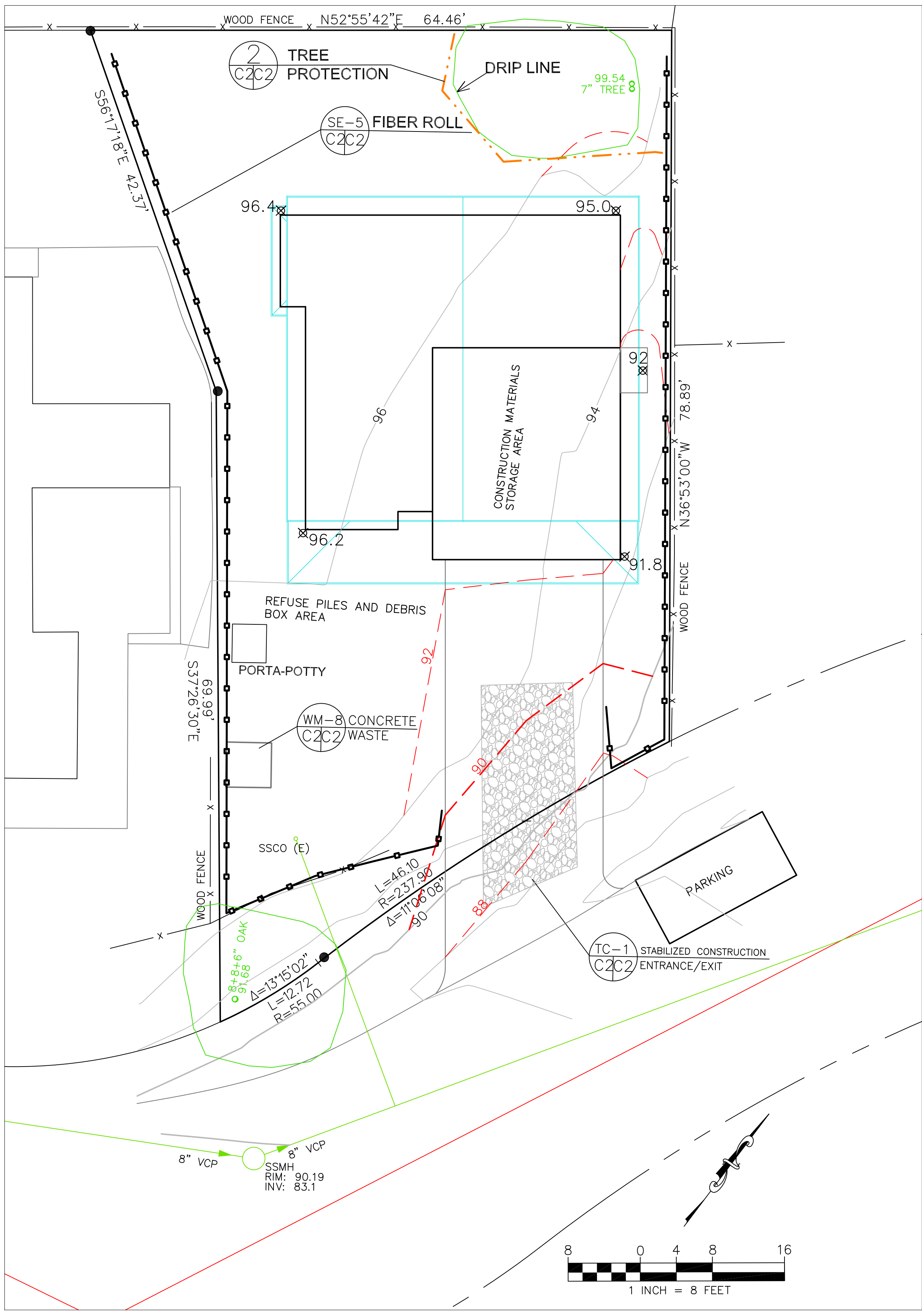
SHEET C-1

DATE: 4-19-19
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 8-14-19
 REV. DATE: 3-30-20
 REV. DATE:

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

No. 62264
 9-30-21
 EXPIRES
 CIVIL
 STATE OF CALIFORNIA

PENG PROPERTY
 FERDINAND AVE.
 EL GRANADA
 APN 047-218-280



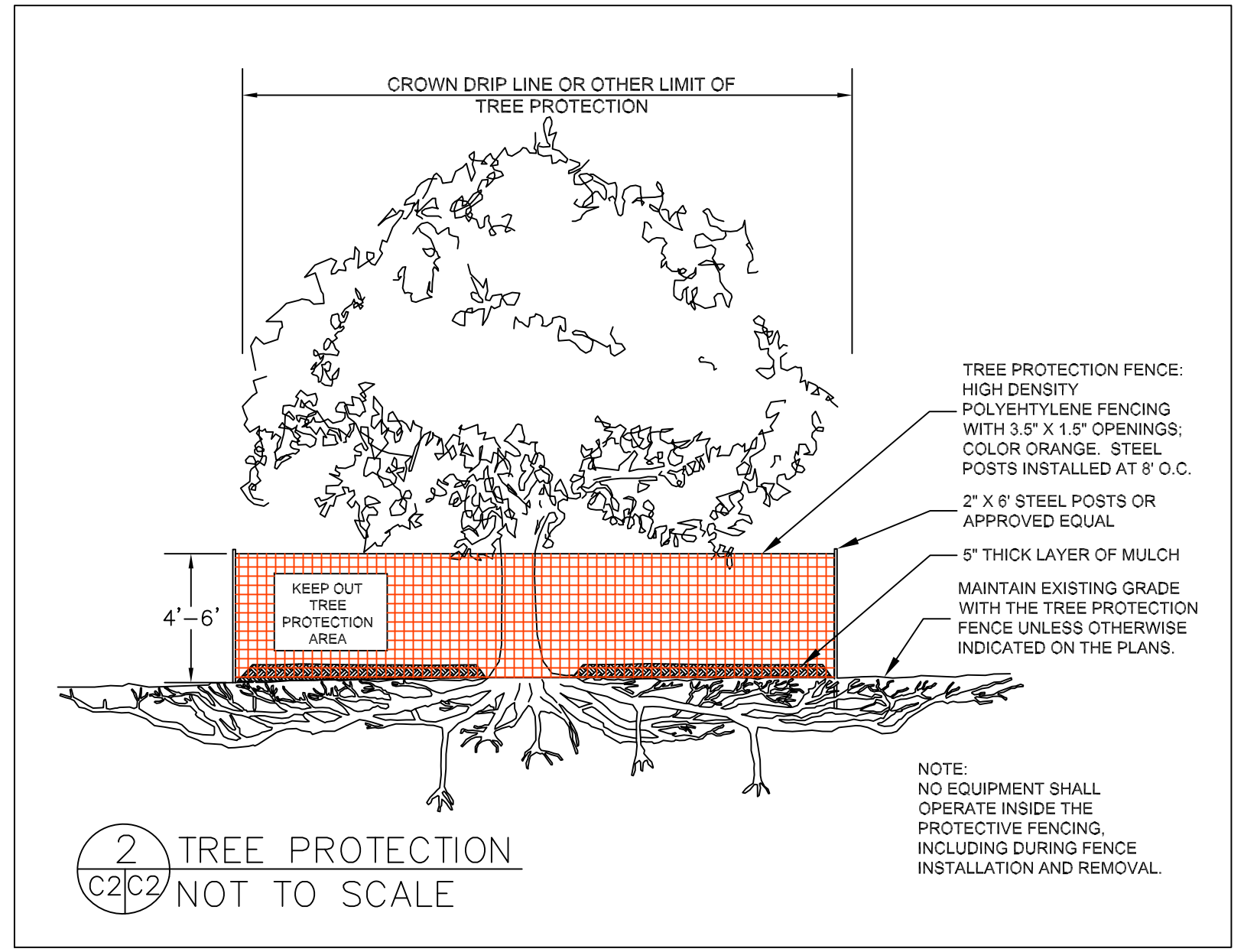
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: STANLEY PENG
 TITLE/QUALIFICATION: OWNER
 PHONE: 408-242-7503
 PHONE:
 E-MAIL: GOTSUREALESTATE@GMAIL.COM

GENERAL EROSION AND SEDIMENT CONTROL NOTES

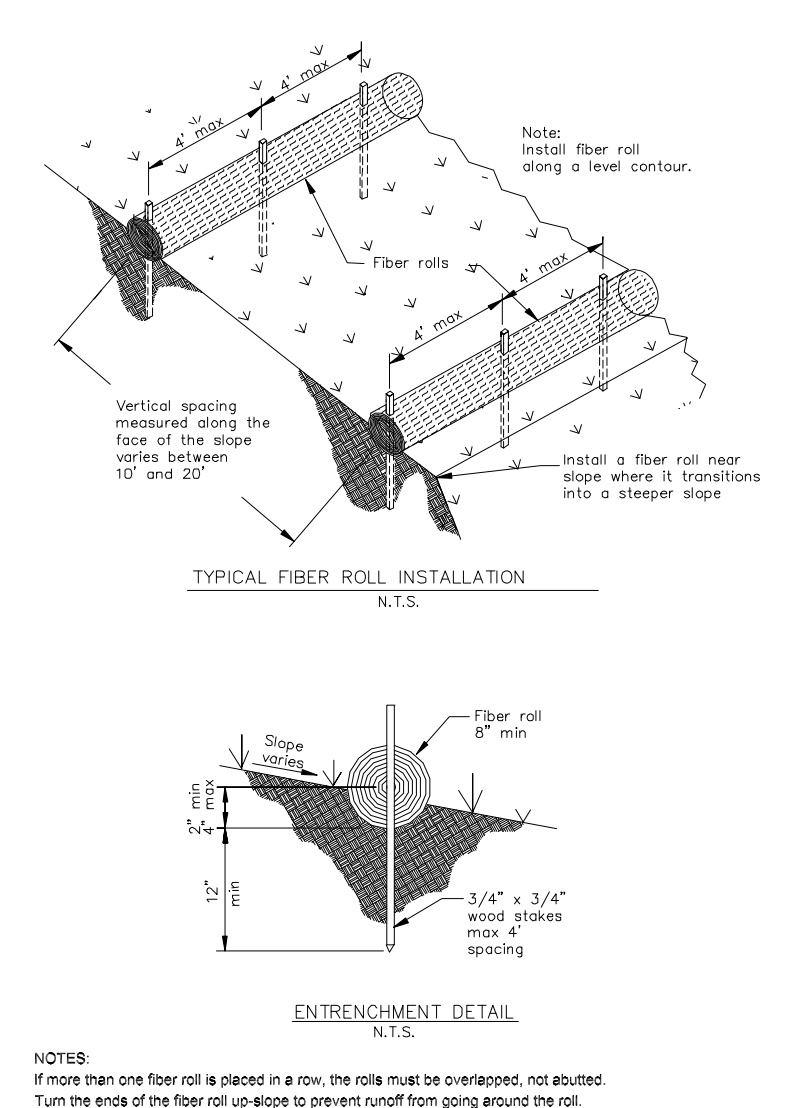
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



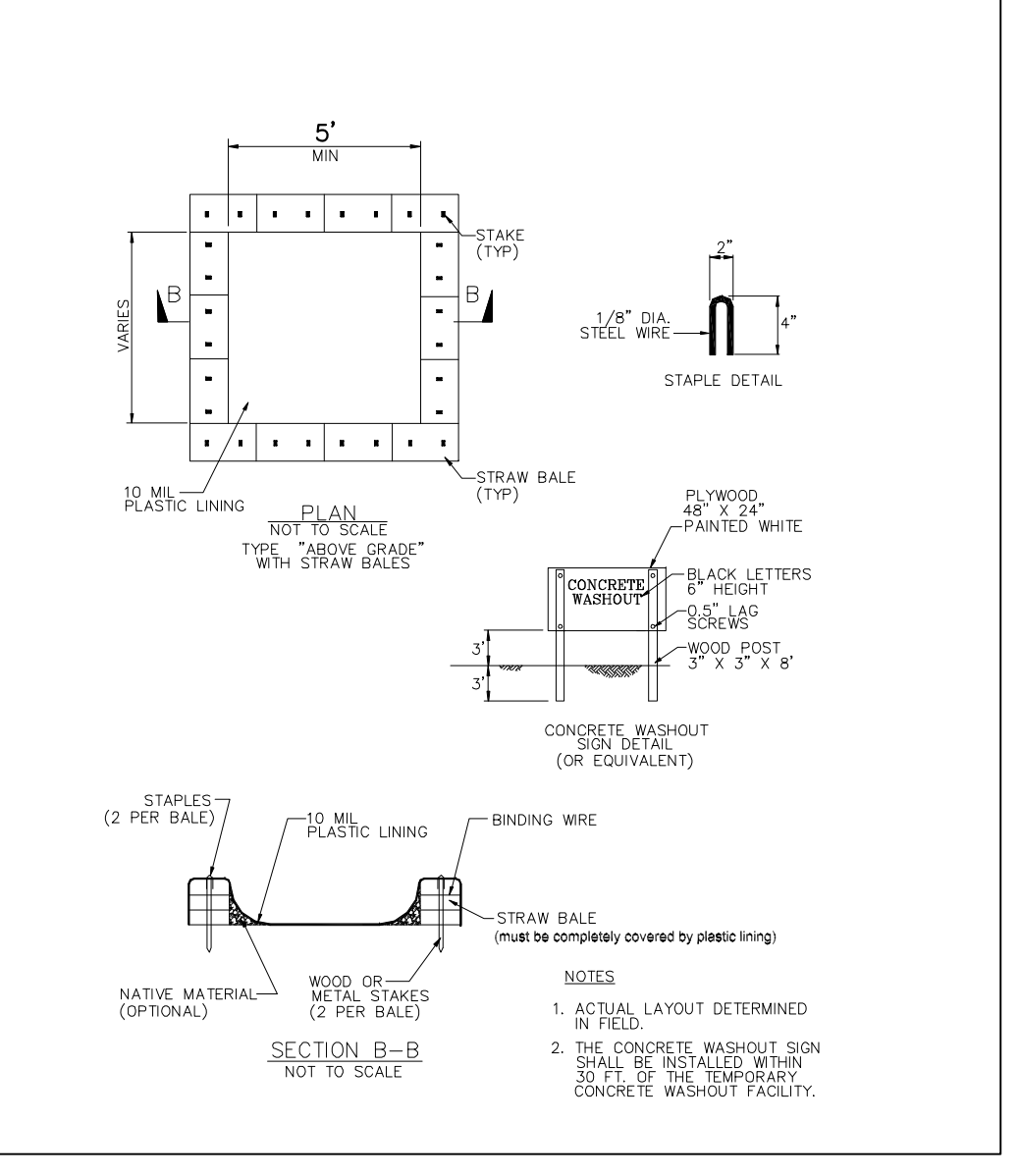
TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

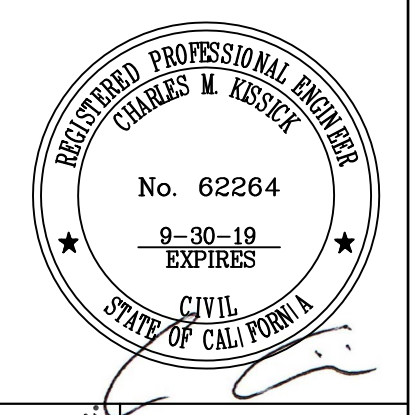
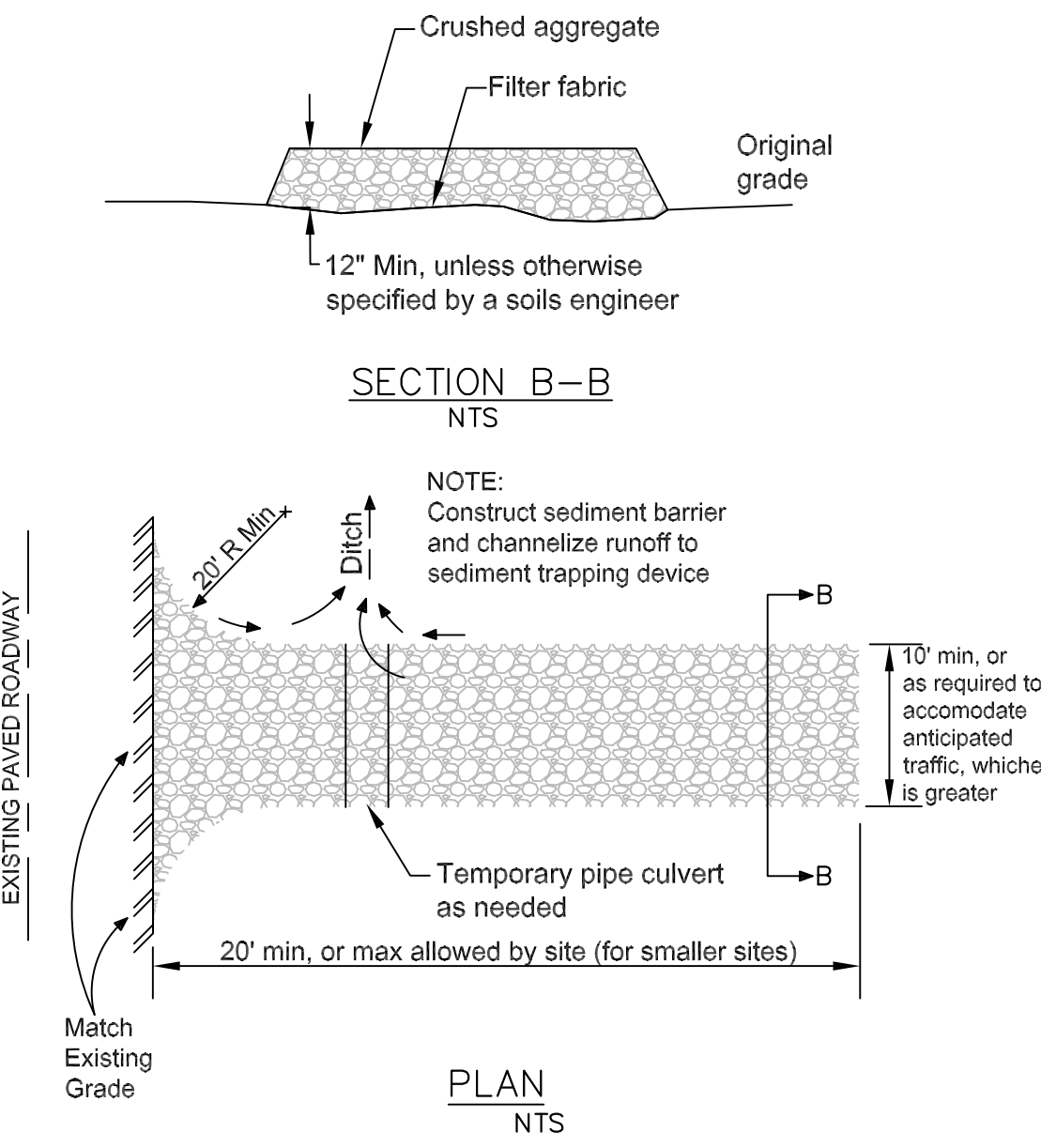
FIBER ROLLS SE-5



CONCRETE WASTE MANAGEMENT WM-8



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



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 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 EL CERRILLO CANYON, CA 94019
 (650) 738-3660
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DATE: 4-19-19
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EROSION AND SEDIMENT CONTROL PLAN
 PENG PROPERTY
 FERDINAND AVE.
 EL GRANADA
 APN 047-218-280

SHEET
 C-2

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REVISIONS

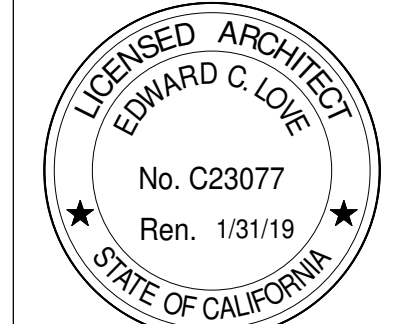


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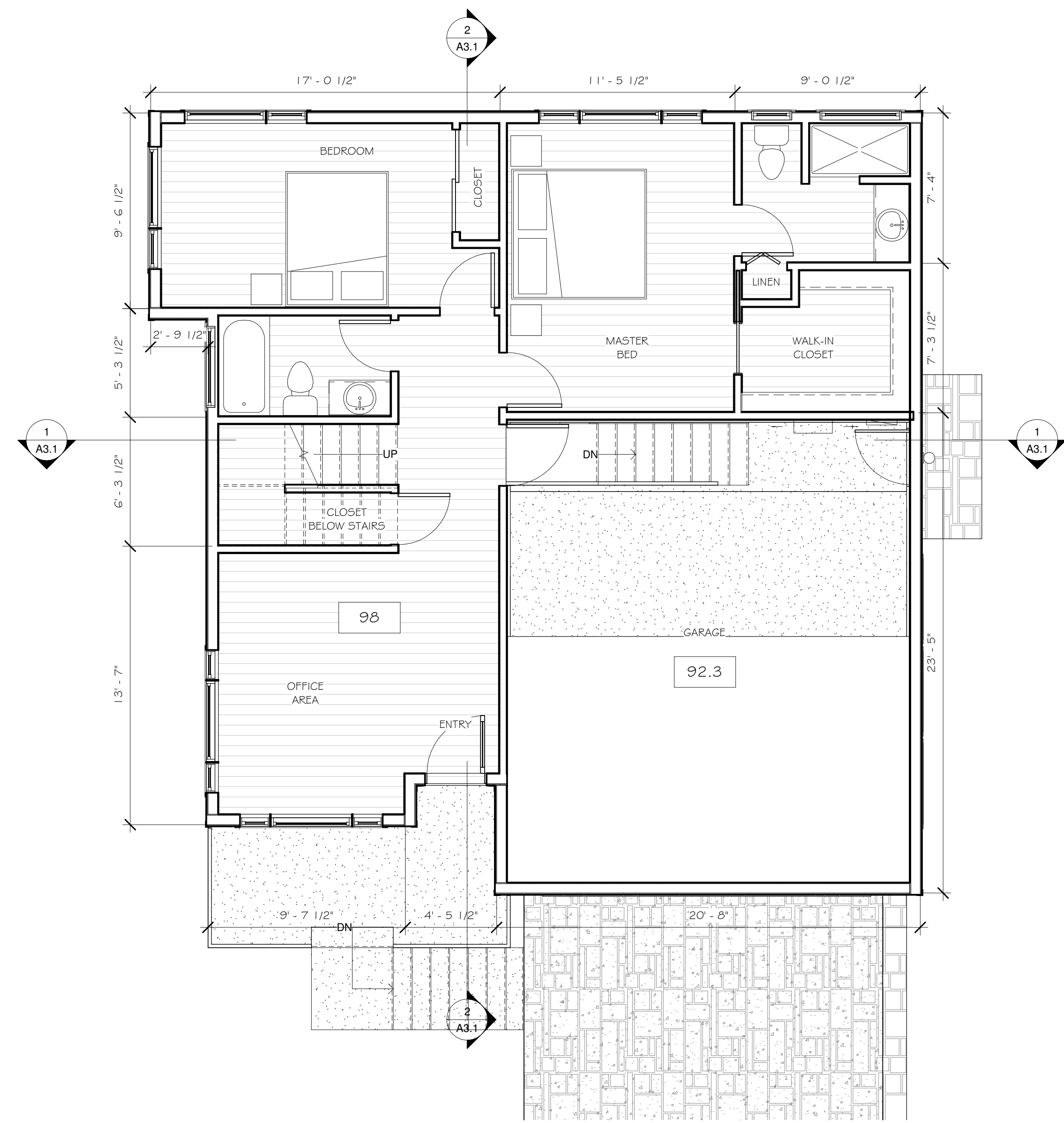
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Floor Plan

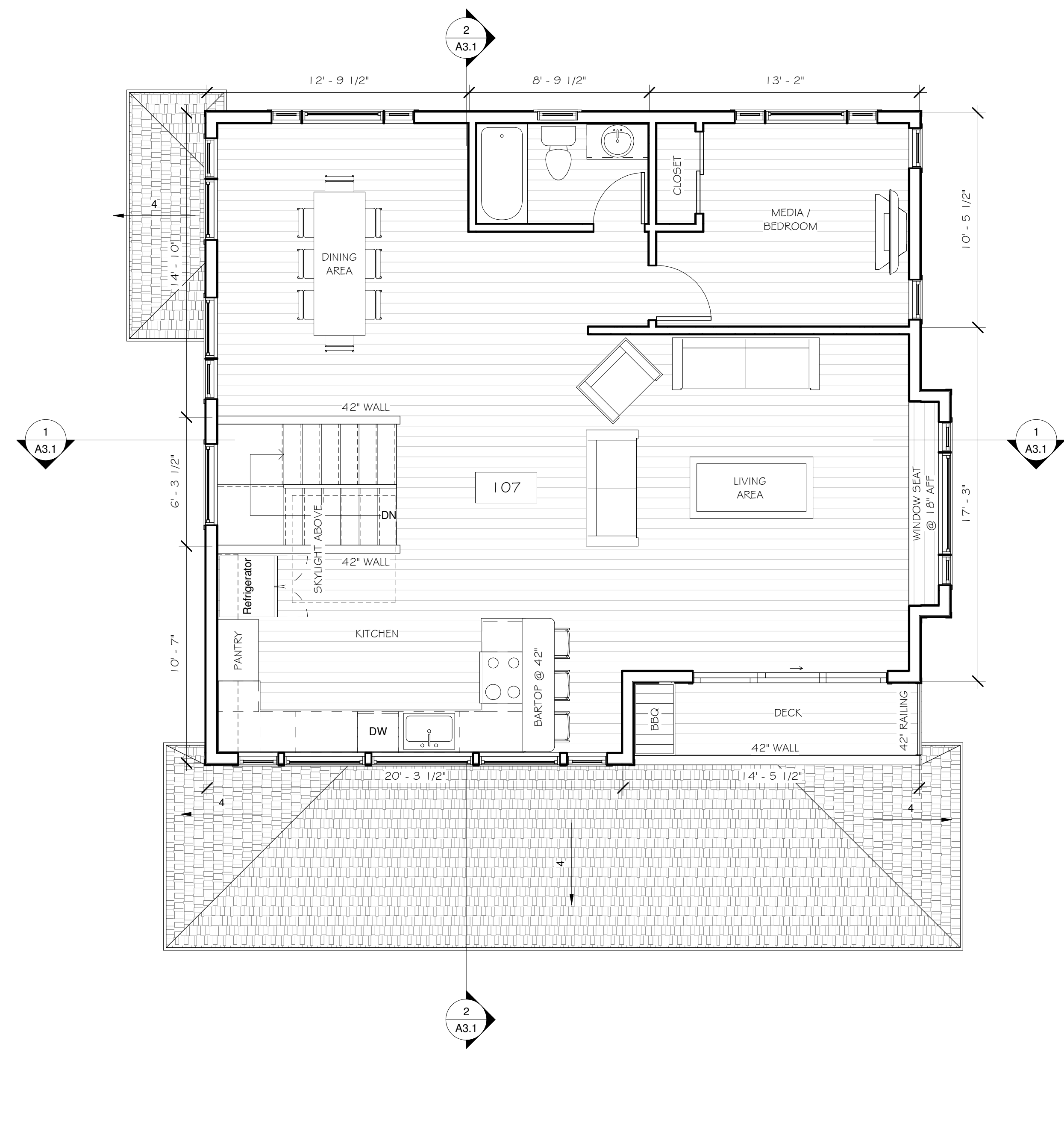


DATE: 12/13/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: PENG

SHEET:
A1.1
OF SHEETS

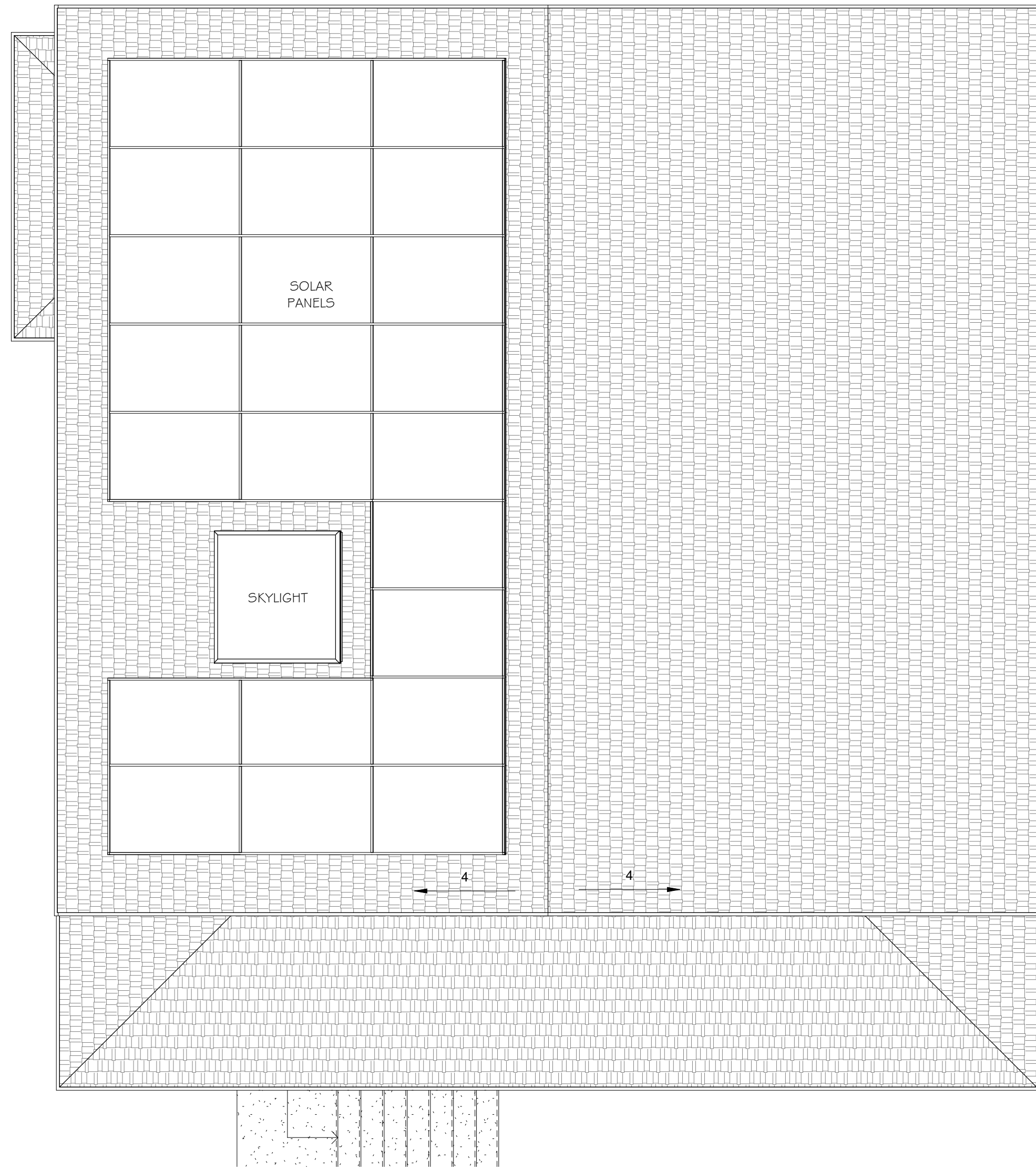


1 Level 1 - First Floor
1/4" = 1'-0"



2 Level 2 - Second Floor
1/4" = 1'-0"

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① DD - Roof Plan
1/4" = 1'-0"

REVISIONS

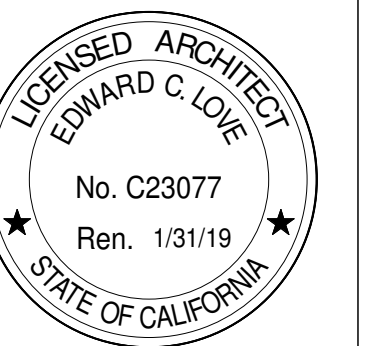


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New Residence for
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Roof Plan



DATE: 12/13/19

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: PENG

SHEET:

A1.2

OF SHEETS

REVISIONS

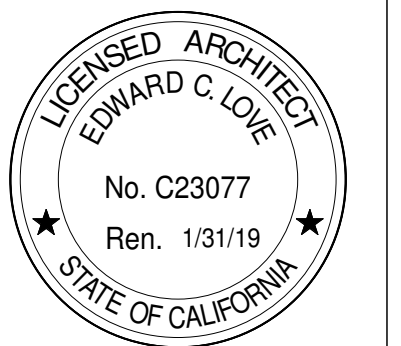


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New Residence for
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Elevations



DATE: 12/13/19

SCALE: 1/4" = 1'-0"

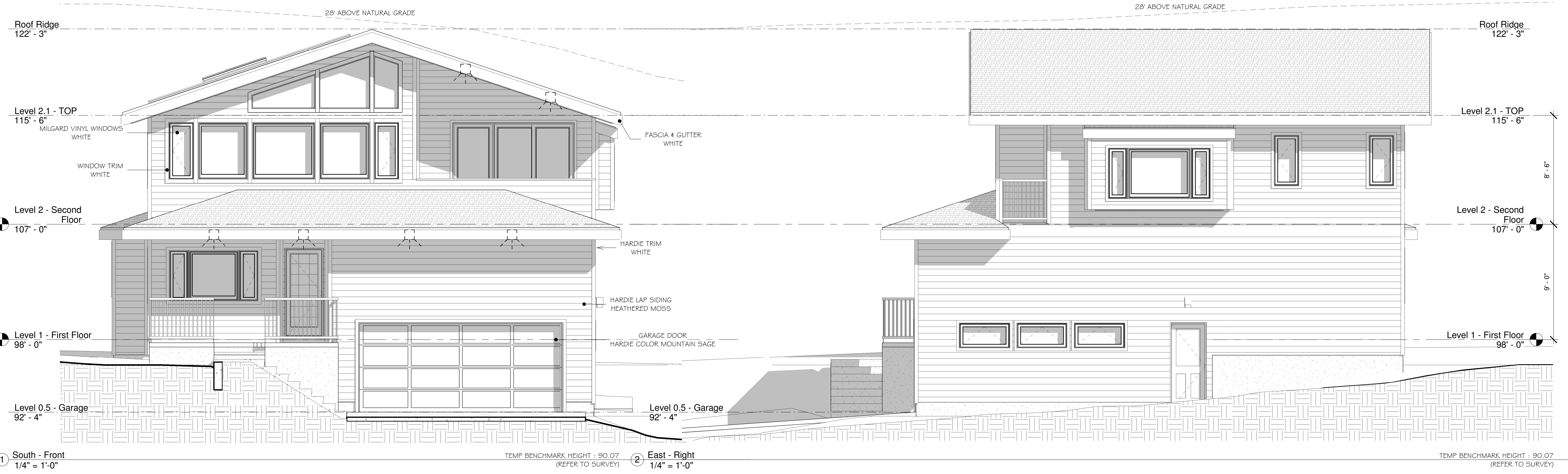
DRAWN: GMH

JOB: PENG

SHEET:

A2.1

OF SHEETS



1 South - Front 1/4" = 1'-0" TEMP BENCHMARK HEIGHT : 90.07 (REFER TO SURVEY) 2 East - Right 1/4" = 1'-0" TEMP BENCHMARK HEIGHT : 90.07 (REFER TO SURVEY)



3 North - Rear 1/4" = 1'-0" TEMP BENCHMARK HEIGHT : 90.07 (REFER TO SURVEY) 4 West - Left 1/4" = 1'-0" TEMP BENCHMARK HEIGHT : 90.07 (REFER TO SURVEY)

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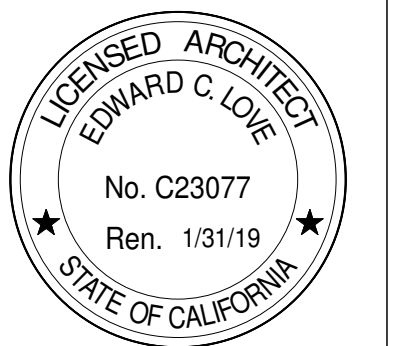


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Section Views



DATE: 12/13/19
SCALE: As indicated
DRAWN: GMH
JOB: PENG
SHEET:

A3.1
OF SHEETS



This outdoor wall fixture features a transitional style that will flatter your home's style. The light is made to last and has a clear seeded glass shade that's very attractive. You'll love the way this light looks.

Clear seeded glass shade shimmers in the light.
Backplate Width: 4.75 in.
Backplate Height: 4.75 in.
Voltage: 120
Transitional style adds visual intrigue
Durable metal construction
Designed for easy installation and upkeep
Dark sky compatible

Dimensions:
Product Depth (in.) 5.25
Product Height (in.) 7.75
Product Length (in.) 5.25
Product Width (in.) 5.25

Details
Exterior Lighting Product Type: Outdoor Lanterns
Fixture Color/Finish: Antique Bronze
Fixture Material: Metal
Glass/Lens Type: Clear
Included: Hardware Included
Light Bulb Type Included: No Bulbs Included
Maximum Bulb Wattage: 100
Maximum Wattage (watts): 100
Number of Bulbs Required: 1
Outdoor Lighting Features: Dark Sky
Power Type: Hardwired

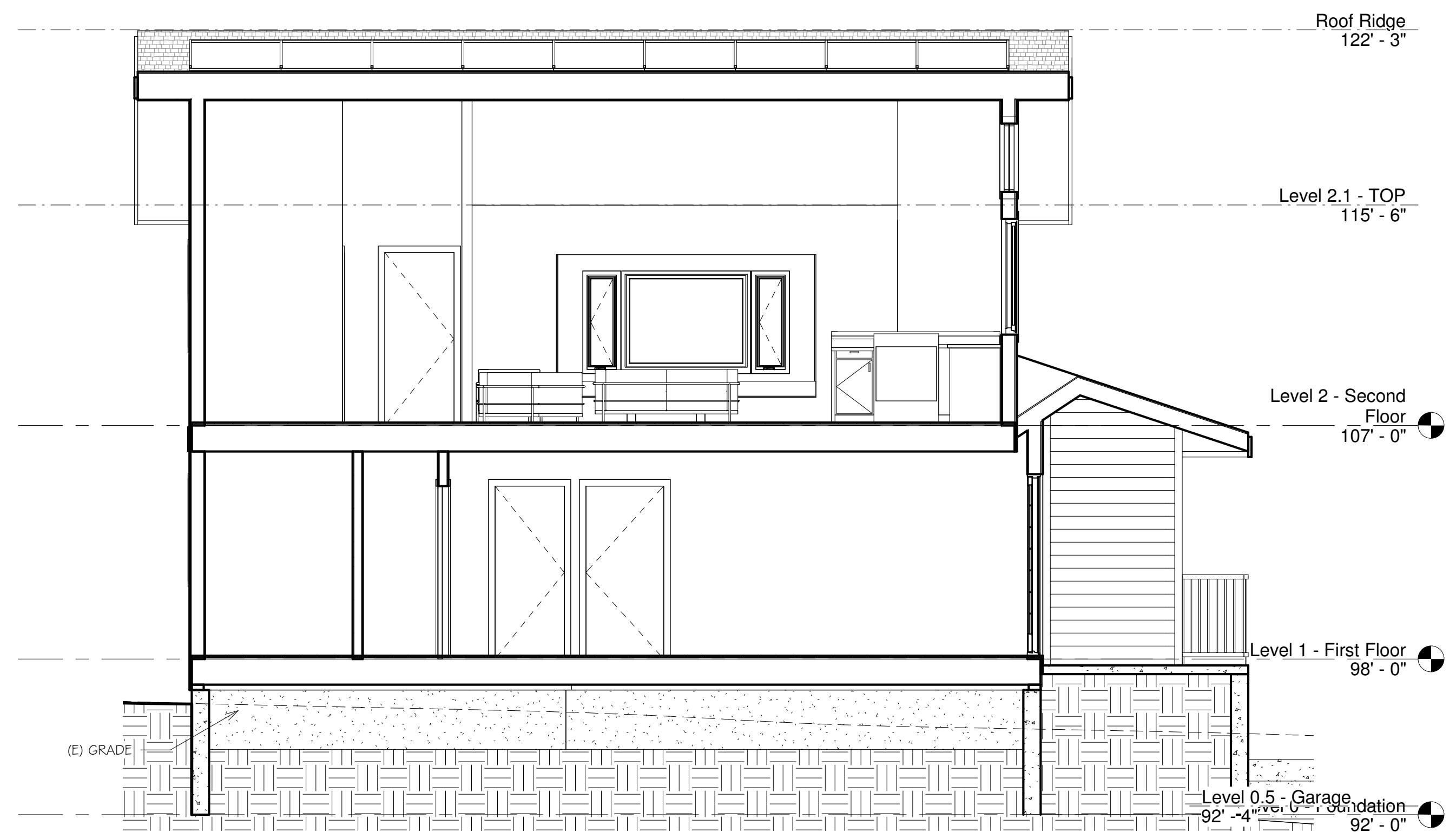
Product Weight (lb.): 3.15lb
Recommended Light Bulb Shape Code: A19

Style: Transitional

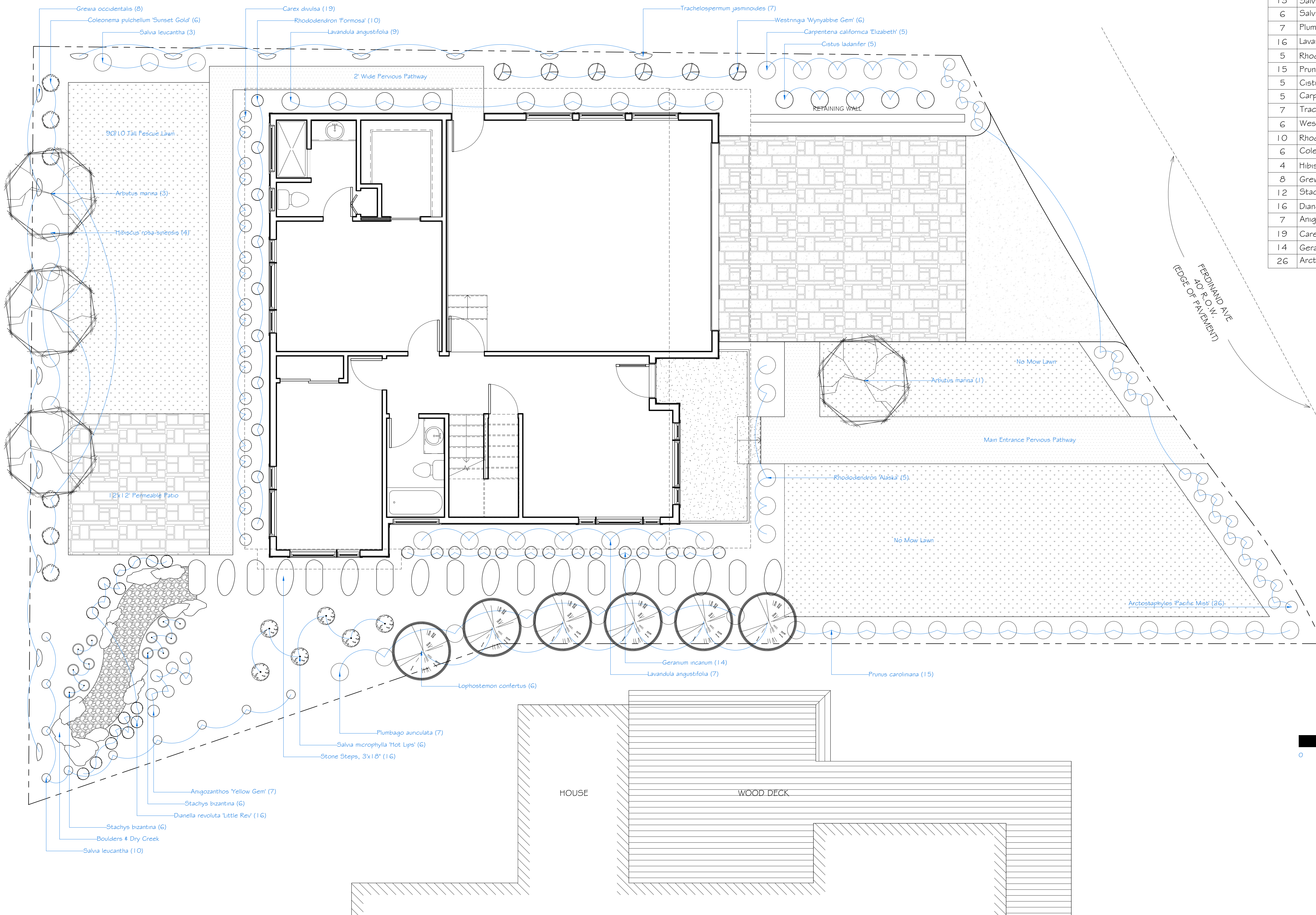
Warranty / Certifications
Certifications and Listings: I-UL Listed, cUL Listed
Manufacturer Warranty: 1 year



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



Plant Schedule			
Qty.	Botanical Name	Size	WUCOLS
4	Arbutus menziesii	15 Gal	Low
6	Lophostemon confertus	15 Gal	Moderate
13	Salvia leucantha	5 Gal	Low
6	Salvia microphylla 'Hot Lips'	5 Gal	Moderate
7	Plumbago auriculata	5 Gal	Low
16	Lavandula angustifolia	5 Gal	Low
5	Rhododendron 'Alaska'	5 Gal	Moderate
15	Prunus caroliniana	5 Gal	Low
5	Cistus ladanifer	5 Gal	Low
5	Carpentaria californica 'Elizabeth'	5 Gal	Low
7	Trachelospermum jasminoides	5 Gal	Moderate
6	Westringia 'Wynabbie Gem'	5 Gal	Low
10	Rhododendron 'Formosa'	5 Gal	Low
6	Coleonema pulchellum 'Sunset Gold'	5 Gal	Moderate
4	Hibiscus rosa-sinensis	5 Gal	Moderate
8	Grewia occidentalis	5 Gal	Moderate
12	Stachys bizantina	1 Gal	Low
16	Dianella revoluta 'Little Rev'	1 Gal	Low
7	Anigozanthos 'Yellow Gem'	1 Gal	Low
19	Carex divulsa	1 Gal	Low
14	Geranium incanum	1 Gal	Low
26	Arctostaphylos 'Pacific Mist'	1 Gal	Low

- Planting Notes:**
- Contractor to provide a soils test and amend soils per recommendation. For bid purposes amend as follows to a 6" depth:
6 cy per ksf Organic compost
10# per ksf Fertilizer
 - Contractor to apply a 3" layer of mulch on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
 - Landscape shall comply with all County of San Mateo requirements.
 - All landscaping to be hand watered.

% of:	Landscape Areas:
10.0%	500 SF Hardscape, Non-Pervious
14.8%	530 SF Hardscape, Pervious
9.4%	338 SF Turf, 90/10 Tall Fescue
7.7%	278 SF Vegetation (WUCOL: Moderate)
53.8%	1,159 SF Vegetation (WUCOL: Low) 632 SF No Mow Lawn (WUCOL: Low) 140 SF Mulch Only
% of:	Plants:
80.6%	42 EA Vegetation (WUCOL: Moderate)
19.4%	175 EA Vegetation (WUCOL: Low)



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Gotsu Inc. Residence
Ferdinand Ave., El Granada, CA 94018
Gotsu Inc.

Date: 5/28/19

Scale:
1/4" = 1'-0"

Landscape Plan

Sheet
1 OF 1
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