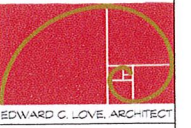


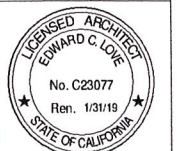
REVISIONS



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HALF MOON BAY, CA 94019
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edwardclovearch@gmail.com

New Residence for
The Zheng Family
El Granada Blvd
El Granada, CA

Cover Sheet



DATE: 12/03/19
SCALE: As indicated
DRAWN: GMH
JOB: Project Name
SHEET: AO.1
OF SHEETS

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	5230							
LOT COVERAGE	0	0.0	1828	35.0	1828	35.0	1830	35.0
FLOOR AREA			First Flr 1231		First Flr 1231			
			Second Flr 1050		Second Flr 1050			
			Garage 481		Garage 481			
Total	0	0.0	Total 2762	52.8	Total 2762	52.8	Total 2772	53.0

PLN 2019-00162
REVISIONS DEC 2, 2019

THE CDRC, AT THE NOV 14th MEETING, RECOMMENDED THAT THE HOUSE AND ROOFLINE BE LOWERED. ALSO, OTHER MINOR INCONSISTANCIES BE RESOLVED. TO THAT END, THE FOLLOWING REVISIONS HAVE BEEN MADE:

- EXISTING GRADE AT THE FRONT OF THE LOT HAS BEEN LOWERED ~2 FEET
- A SLAB-ON-GRADE FOUNDATION WILL REPLACE A FRAMED FLOOR WITH CRAWLSPACE
- THE FIRST FLOOR CEILING IS DROPPED TO 9 FEET
- THE GARAGE ROOF IS LOWERED ~10 1/2 FEET
- THE ROOF PITCHES HAVE BEEN LOWERED
- THE ENTRY TOWER HAS BEEN LOWERED

THE TOTAL RESULT OF THESE REVISIONS IS A ROOFLINE THAT, ON AVERAGE, IS ~5 1/2 FEET BELOW THE ORIGINAL

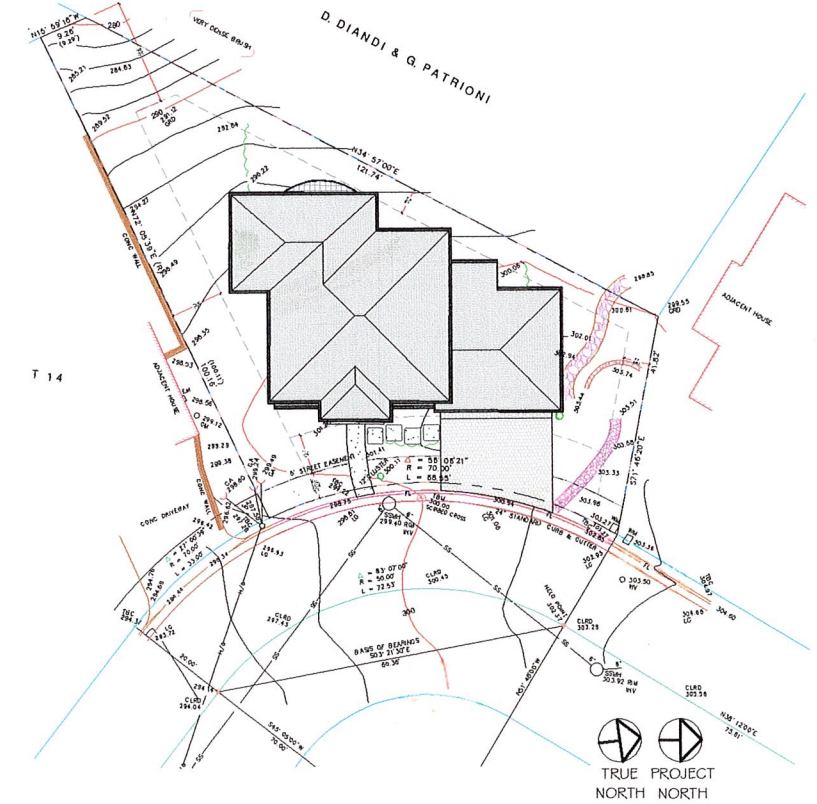
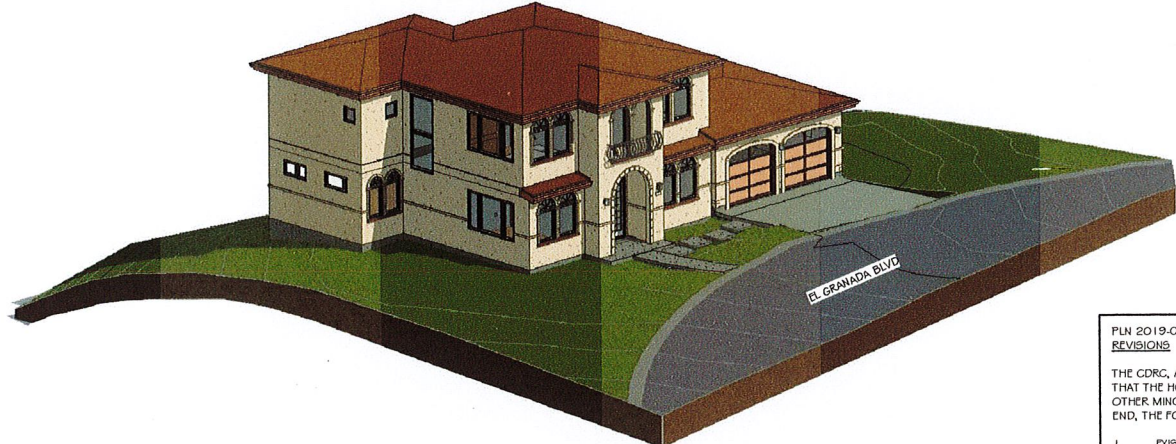
SITE DATA:
APN: 047-151-120
ZONING: R-1/S-17/DR/CD
OCCUPANCY GROUP: R3/U
TYPE OF CONSTRUCTION: V-B

PLN: 2019-00162
BLD:

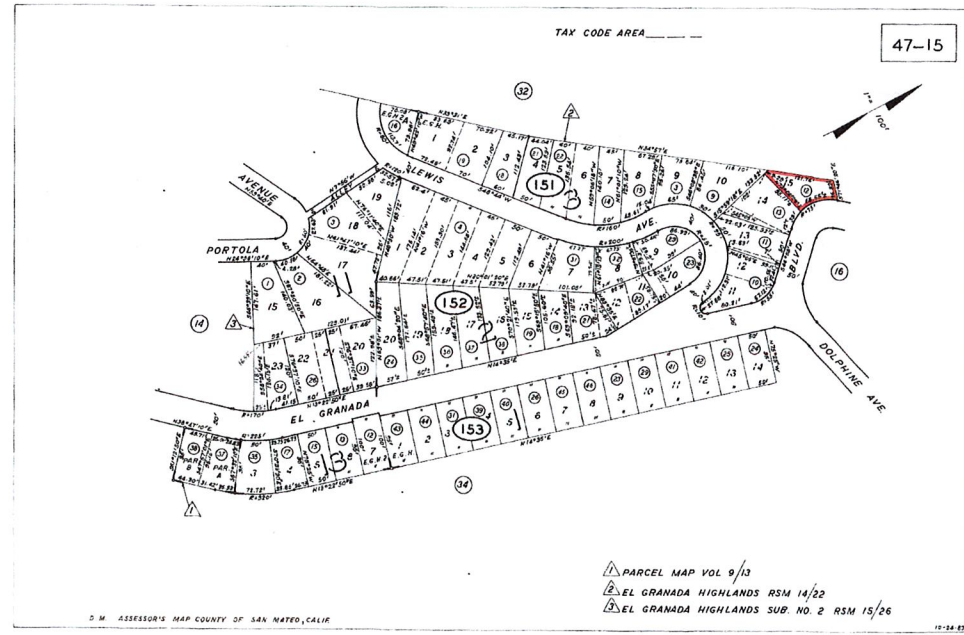
APPLICABLE CODES:
SAN MATEO COUNTY
SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
201 G CALIFORNIA RESIDENTIAL CODE
201 G CALIFORNIA BUILDING CODE
201 G CALIFORNIA MECHANICAL CODE
201 G CALIFORNIA PLUMBING CODE
201 G CALIFORNIA ELECTRICAL CODE
201 G CALIFORNIA ENERGY CODE
201 G CALIFORNIA FIRE CODE
201 G CALIFORNIA GREEN BUILDING STANDARDS CODE
ANY APPLICABLE CITY CODES, ORDINANCES, OR AMENDMENTS TO THE CALIFORNIA BUILDING CODE

Sheet List - DD

Sheet Number	Sheet Name
AO.1	Cover Sheet
SU1	Survey
AO.2	Site Plan
AO.3	Site Plan Supplement
AO.4	Site Plan - Views
C.1	Grading & Drainage
C.2	Erosion Control
A1.1	First Floor Plan
A1.2	Second Floor & Roof Plan
A1.3	Floor Area Ratio
A2.1	Elevations - East & North
A2.2	Elevations - West & South
A3.1	Sections
A7.1	Product Sheets
LP.	Landscape Plan by Flora Farms



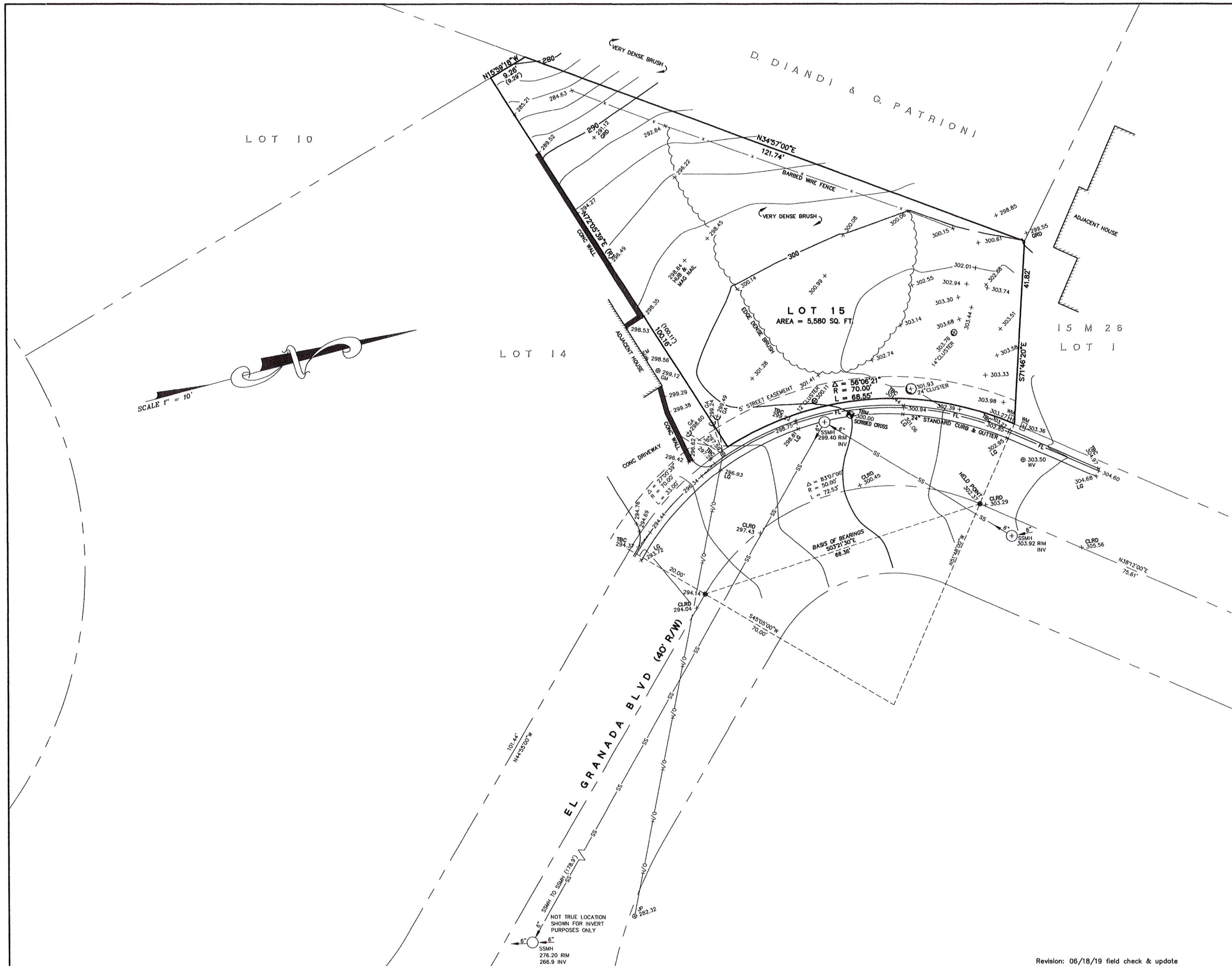
1 Site Plan
1/16" = 1'-0"



PARCEL MAP VOL 9/13
EL GRANADA HIGHLANDS RSM 14/22
EL GRANADA HIGHLANDS SUB. NO. 2 RSM 15/26

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BASIS OF ELEVATIONS:
 ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
 ⊕ TBM: SET SCRIBED CROSS AS SHOWN
 ELEVATION = 100.00

BASIS OF BEARINGS:
 THE CALCULATED BEARING, S32°1'30"E BETWEEN TWO FOUND MONUMENTS AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, 6 LLS 124 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

- LEGEND:**
- ⊙ FOUND 2" BRASS DISK WITH PUNCH IN CASING
 - DPW, SMC0 RECORD DATA PER 14 MAPS 23
 - A/C ASPHALTIC CONCRETE
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CIP CAST IRON PIPE
 - CMP CORRUGATED METAL PIPE
 - CONC CONCRETE
 - CO CLEAN-OUT
 - DI DROP INLET
 - EM ELECTRIC METER
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FH FIRE HYDRANT
 - GA GUY ANCHOR
 - GM GAS METER
 - GRD GROUND
 - HCR HANDICAP RAMP
 - INV INVERT
 - IP IRON PIPE
 - LAT. LATERAL
 - LC LIP OF GUTTER
 - O/H OVERHEAD
 - P.U.E. PUBLIC UTILITIES EASEMENT
 - RCP REINFORCED CONCRETE PIPE
 - RWALL RETAINING WALL
 - R/W RIGHT OF WAY
 - R/SO SANITARY SEWER CLEAN-OUT
 - SSMH SANITARY SEWER MANHOLE
 - SDM STORM DRAIN MANHOLE
 - TBC TOP BACK OF CURB
 - T/W TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

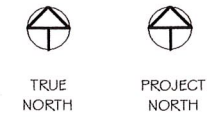
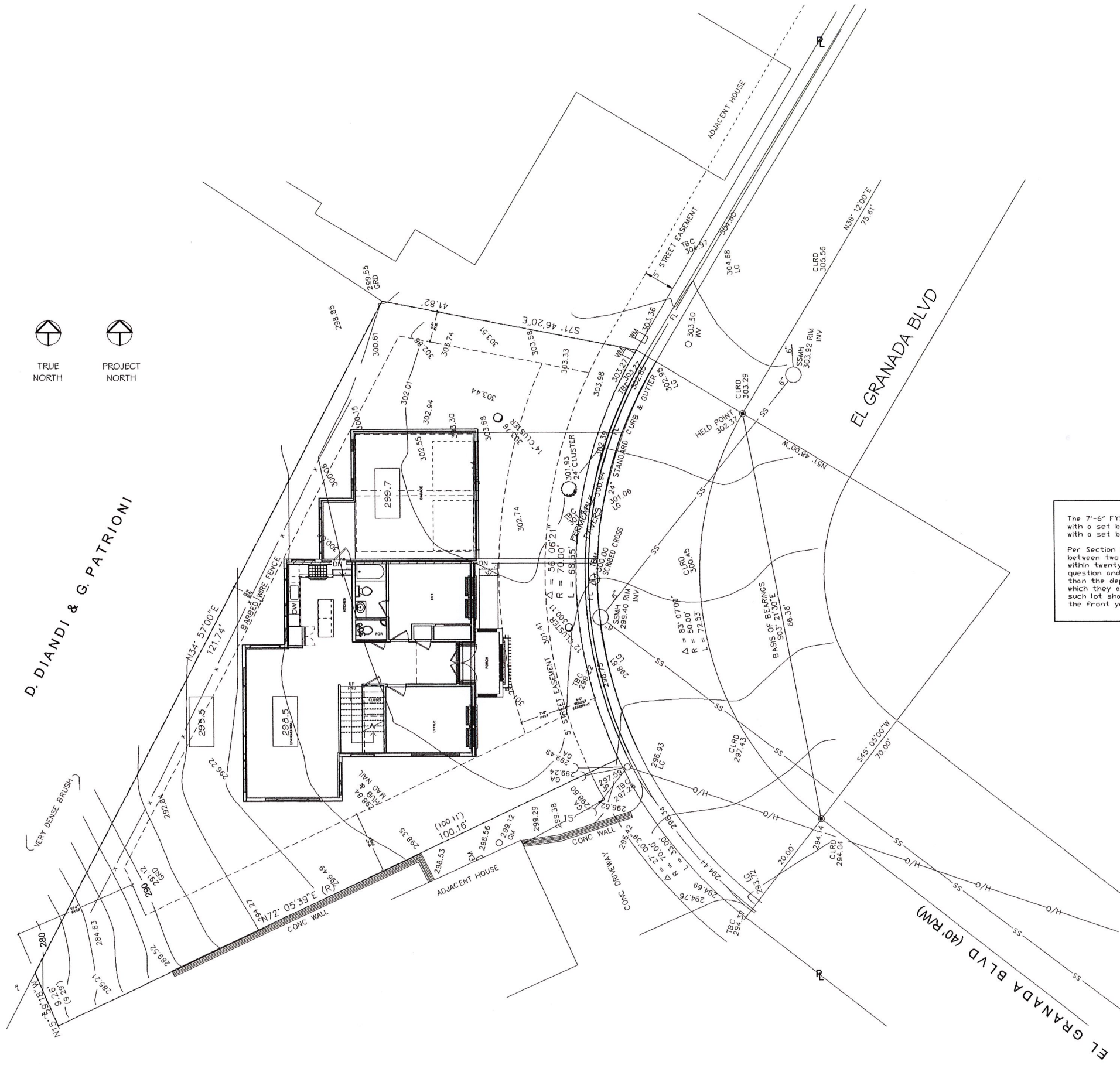


BOUNDARY AND TOPOGRAPHIC SURVEY
 LANDS OF
 DOCUMENT # O.R.
 LOT 15, BLOCK 3
 "EL GRANADA HIGHLANDS"
 VOLUME 14 OF MAPS AT PAGE 23
 ASSESSOR'S PARCEL NUMBER: 047-151-120
 (VACANT LOT)
 EL GRANADA SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 10' OCTOBER, 2015

B & H SURVEYING, INC.
 PROFESSIONAL LAND SURVEYING
 901 WALTERWIRE ST.
 BELMONT, CA 94002
 OFFICE (650) 637-1590
 FAX (650) 637-1059

Revision: 06/18/19 field check & update

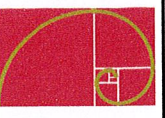
JOB: 6857-15
 DWG: 6857-HD
 BY: R. JOSE



The 7'-6" FYSB is based on the neighboring house to the south with a set back of 15' and the neighboring house to the north with a set back of 0' feet.

Per Section 6408: In any "R" District where a lot is situated between two lots, each of which has a main building located within twenty-five (25) feet of the side lines of the lot in question and such buildings are located nearer the street line than the depth of the front yard required for the district in which they are situated, the front yard depth required for such lot shall not be less than the average of the depths of the front yards of said existing buildings.

REVISIONS



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New Residence for
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El Granada Blvd
El Granada, CA

Site Plan
Supplement

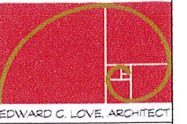


DATE: 10/11/17
SCALE: 1/8" = 1'
DRAWN: GMH
JOB: WYER
SHEET:

SP-S
OF SHEETS

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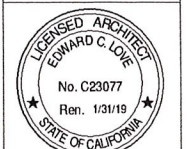
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New Residence for
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El Granada, CA

Site Plan



DATE: 12/03/19

SCALE: As indicated

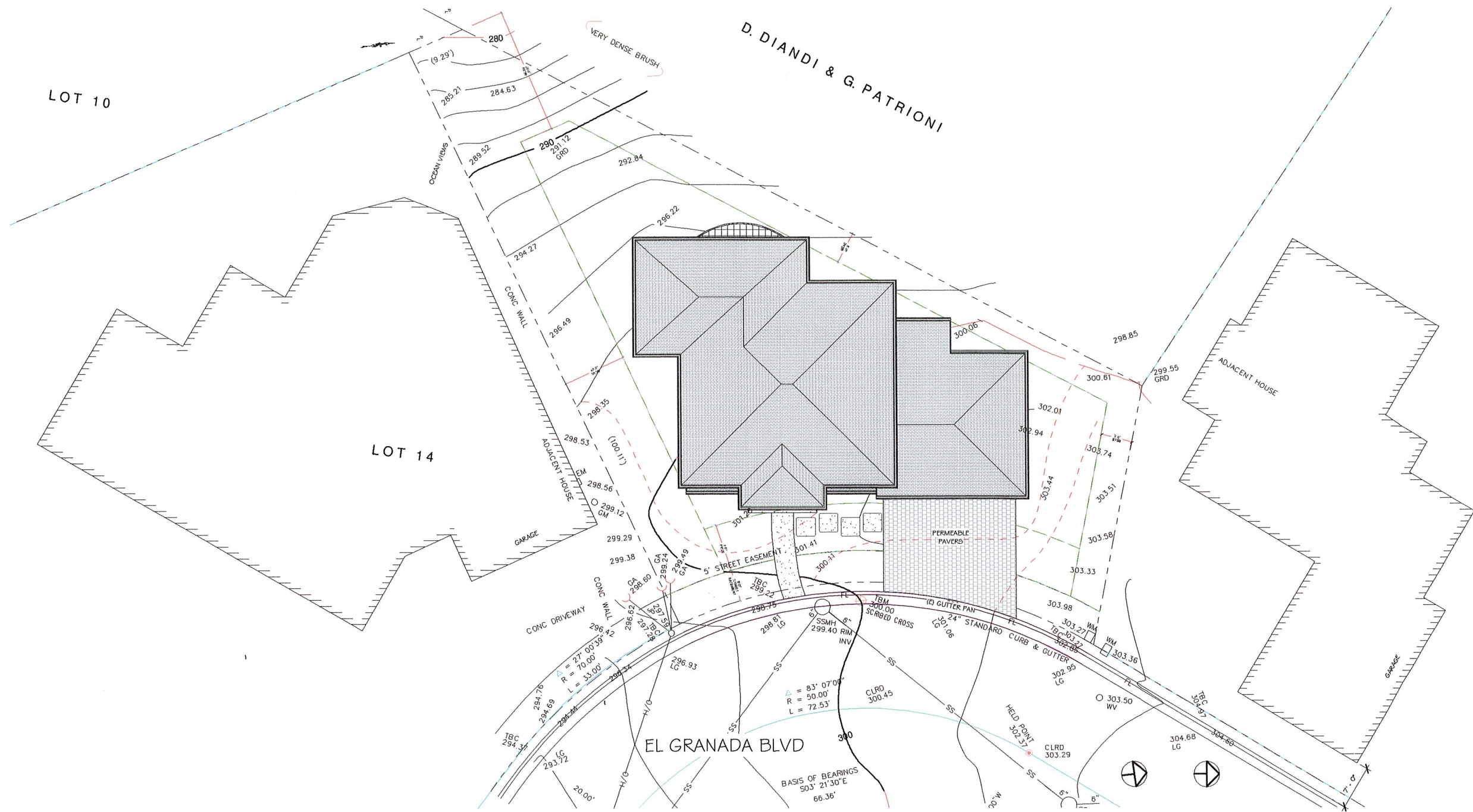
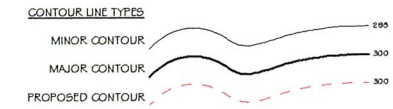
DRAWN: GMH

JOB: Project Name

SHEET:

A0.2

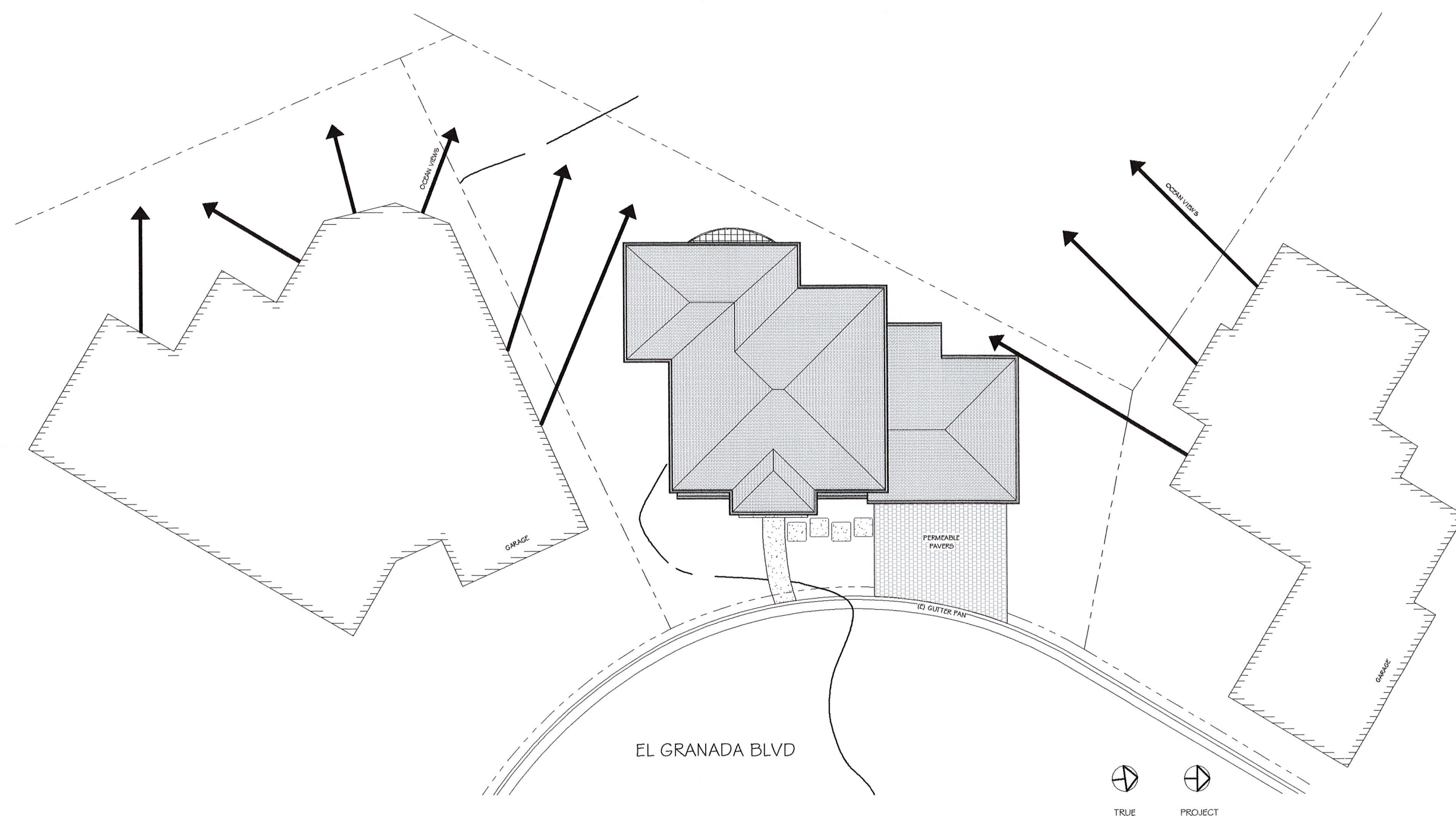
OF SHEETS



1 DD - Site Plan
1/8" = 1'-0"

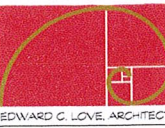
SEE SHEET C-1, GRADING PLAN

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1 DD - View Site Plan
1/8" = 1'-0"

REVISIONS

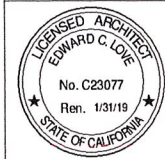


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New Residence for
The Zheng Family
El Granada Blvd
El Granada, CA

Site Plan - Views



DATE: 12/03/19

SCALE: 1/8" = 1'-0"

DRAWN: GMH

JOB: Project Name

SHEET:

AO.4

OF SHEETS

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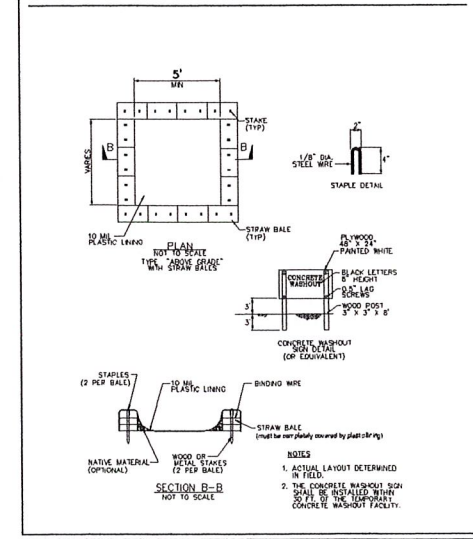
EROSION CONTROL NOTES

- FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5**
- GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 - NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 - ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 - ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 - ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 - ROCKED CONSTRUCTION ENTRANCE SHALL BE 18.5 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - THE MATERIAL FOR THE PAD SHALL BE 3 TO 8 INCH STONE.
 - PAD SHALL BE NOT LESS THAN 12" THICK.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 - CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

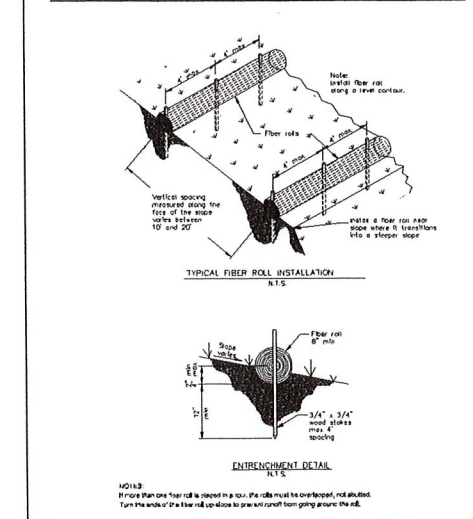
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



EROSION CONTROL POINT OF CONTACT

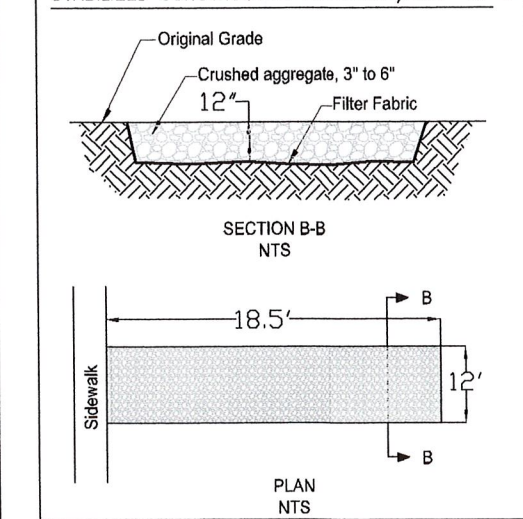
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: WEI ZHENG
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-852-8323
 E-MAIL: ATLASFIVE@GMAIL.COM



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 EL PASO, TEXAS 75041, CA 94019
 (505) 728-3590
 FAX: 728-3593

STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1

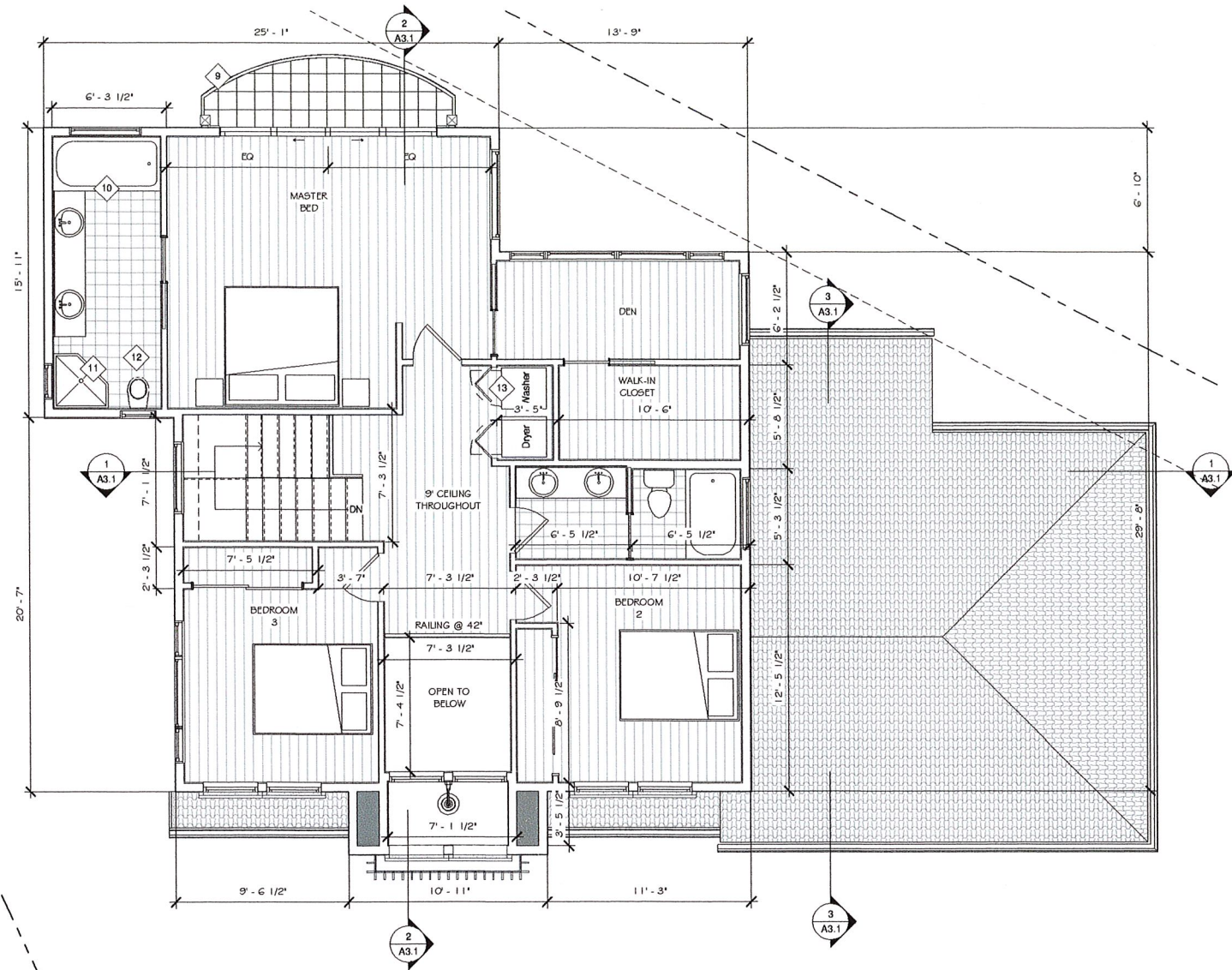


DATE: 3-18-19
 DRAWN BY: CHK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

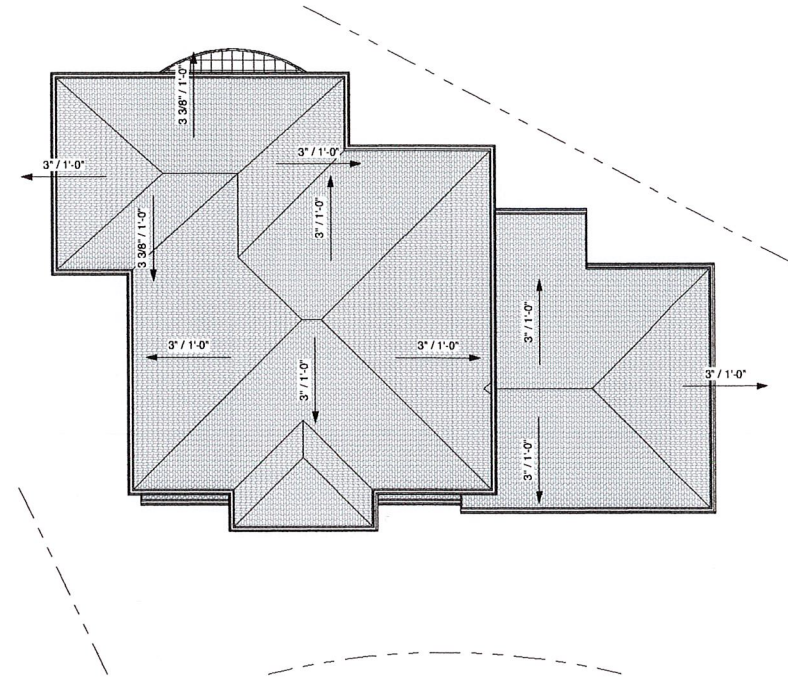
EROSION AND SEDIMENT CONTROL PLAN
 ZHENG PROPERTY
 EL GRANADA BLVD.
 EL GRANADA
 APN 047-151-120

SHEET C-2

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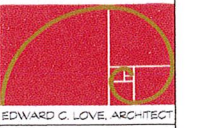
1 Second Floor Plan
1/4" = 1'-0"



2 Roof Plan
1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION



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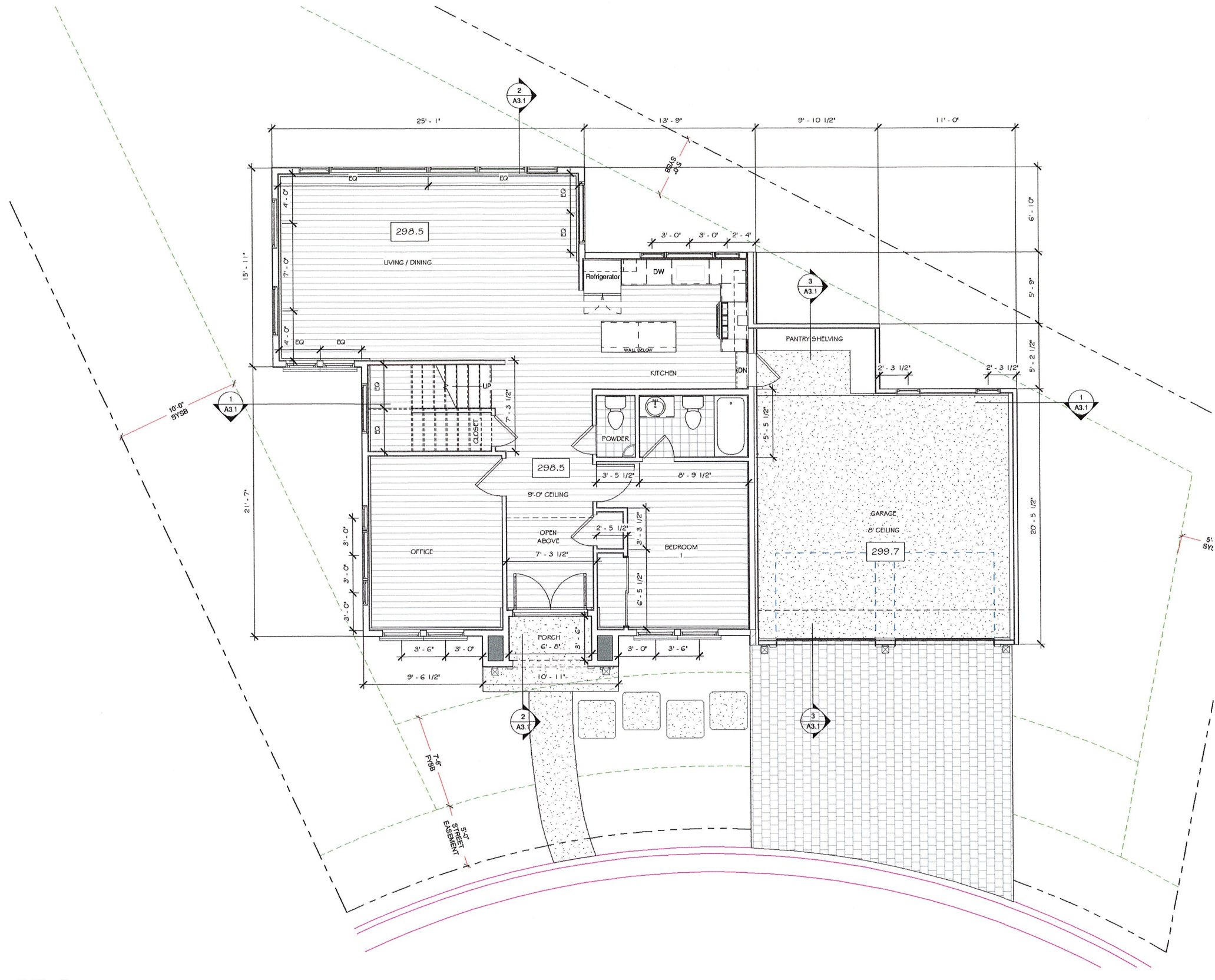
Second Floor & Roof
Plan



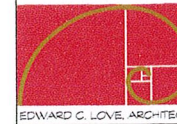
DATE: 12/03/19
SCALE: As indicated
DRAWN: GMH
JOB: Project Name
SHEET:
A1.2
OF SHEETS

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1 First Floor Plan
1/4" = 1'-0"



REVISIONS

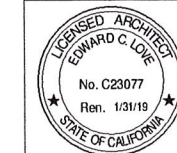


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New Residence for
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El Granada, CA

First Floor Plan



DATE: 12/03/19

SCALE: 1/4" = 1'-0"

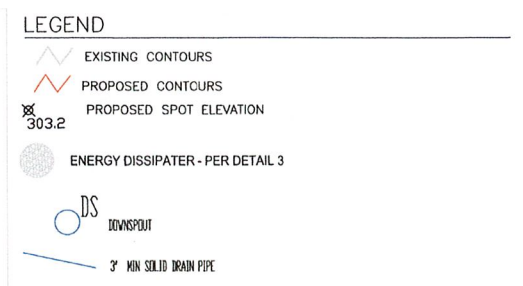
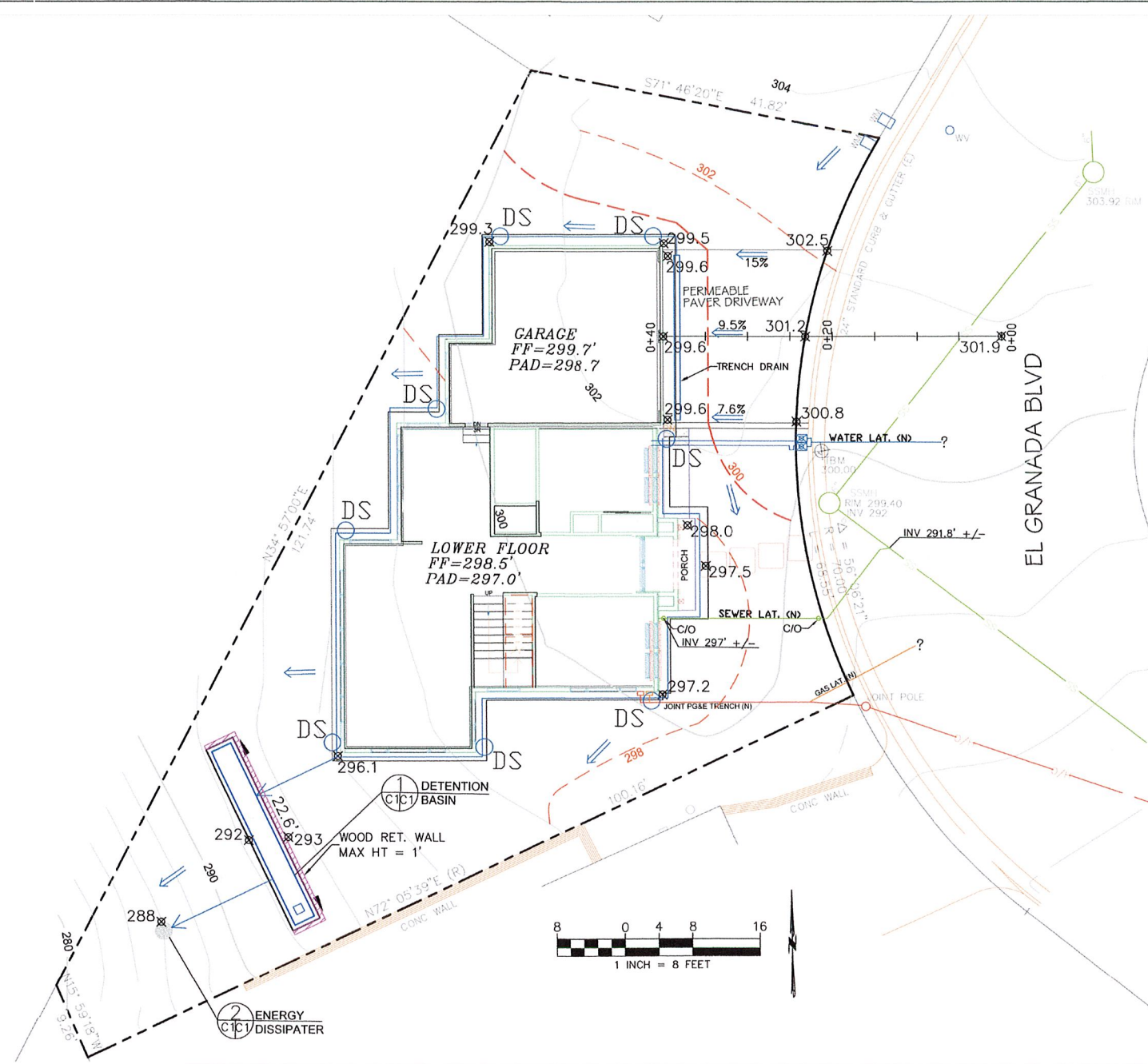
DRAWN: GMH

JOB: Project Name

SHEET:

A1.1

OF SHEETS



GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: WEI ZHENG, OWNER
- TOPOGRAPHY BY L. ARATA, SURVEYED NOVEMBER, 2015.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL INVESTIGATION: PROPOSED RESIDENCE, EL GRANADA BOULEVARD, APN 047-151-120**; DATE: NOVEMBER 3, 2015, BY BUCKLEY ENGINEERING ASSOCIATES, PROJECT NO. 15763.1 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS BUCKLEY ENGINEERING ASSOCIATES, WITH THE CONTACT NUMBER (408)-966-8680. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-306-8405 EXT 181 TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL BE WATER-TIGHT AND DRAIN TO AN ENERGY DISSIPATER, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 3" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

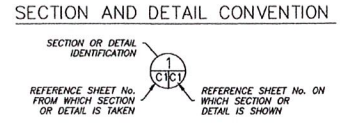
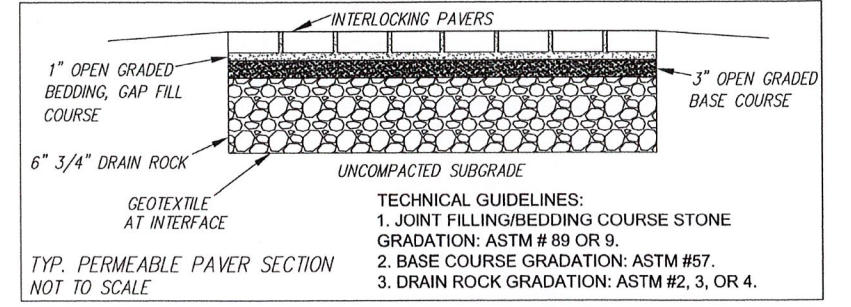
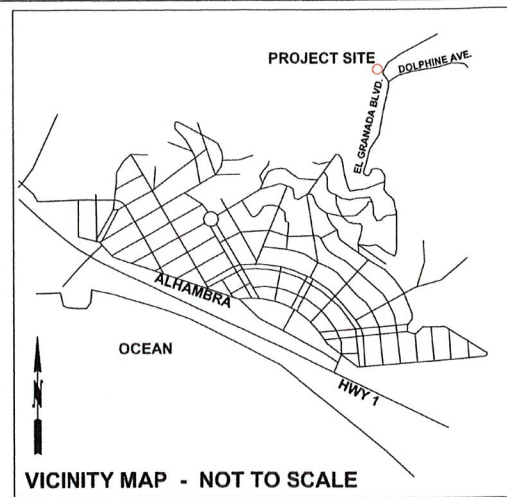
CUT VOLUME: 330 CY
FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



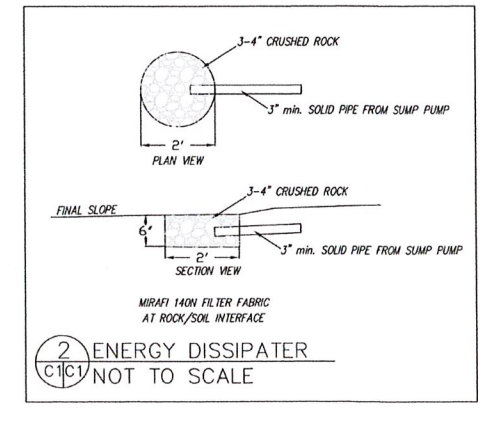
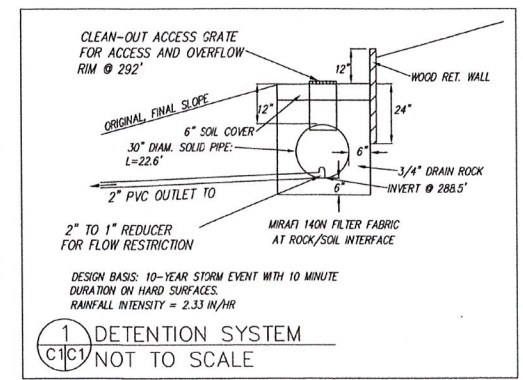
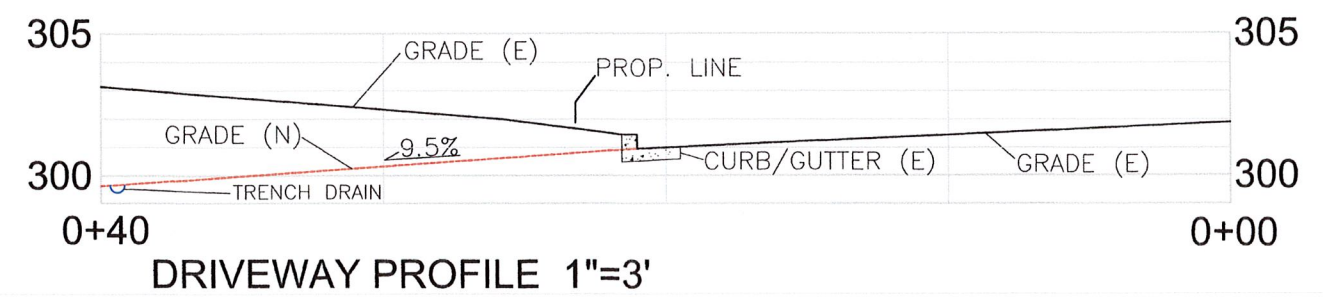
Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
DUNELAND, NJ 08028
(850) 728-3683
FAX 728-3683

DATE: 11-25-19	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:
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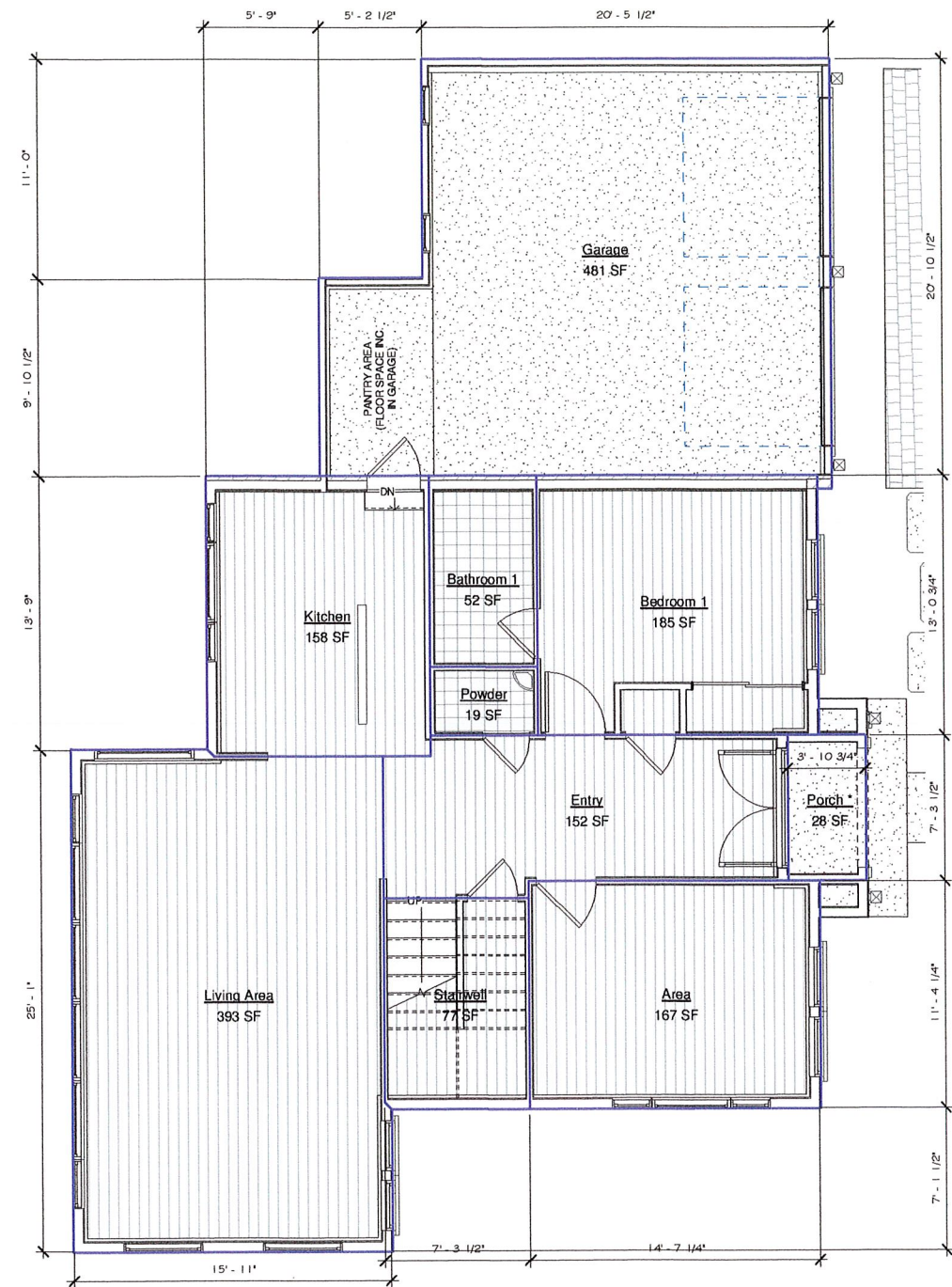
GRADING AND DRAINAGE PLAN

ZHENG PROPERTY
EL GRANADA BLVD.
EL GRANADA
APN 047-151-120

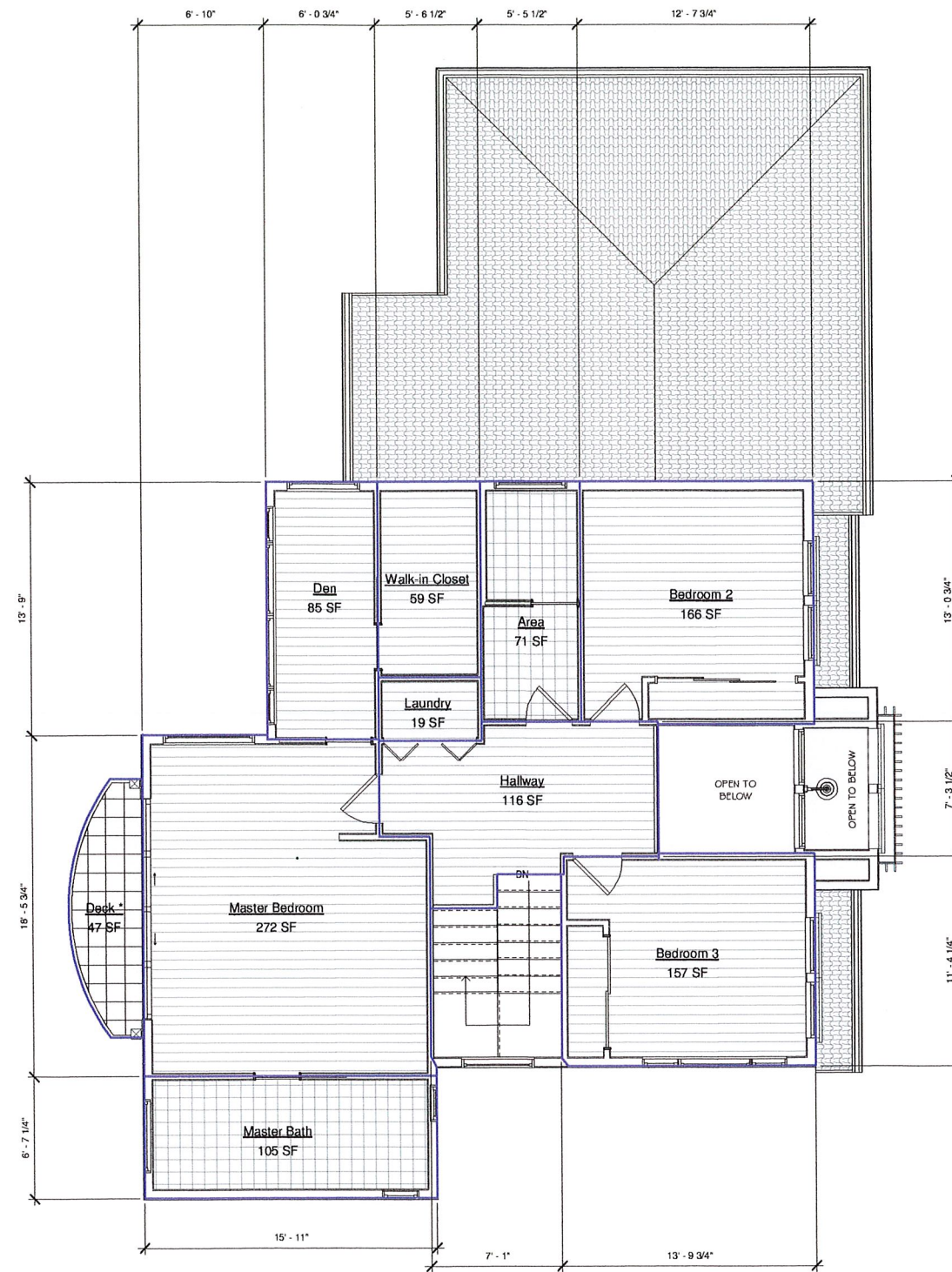
SHEET
C-1



S:\Client Projects 2017\Zheng\Revit\Zheng-Working.rvt

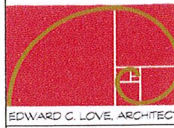


① DD - Level 1 - First Floor
1/4" = 1'-0"



② DD - Level 2 - Second Floor
1/4" = 1'-0"

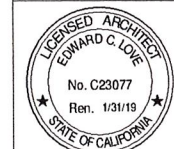
REVISIONS



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edwardclovearch@gmail.com

New Residence for
The Zheng Family
El Granada Blvd
El Granada, CA

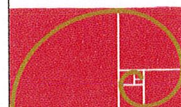
Floor Area Ratio



DATE: 12/03/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: Project Name
SHEET:

A1.3
OF SHEETS

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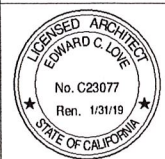


EDWARD C. LOVE, ARCHITECT

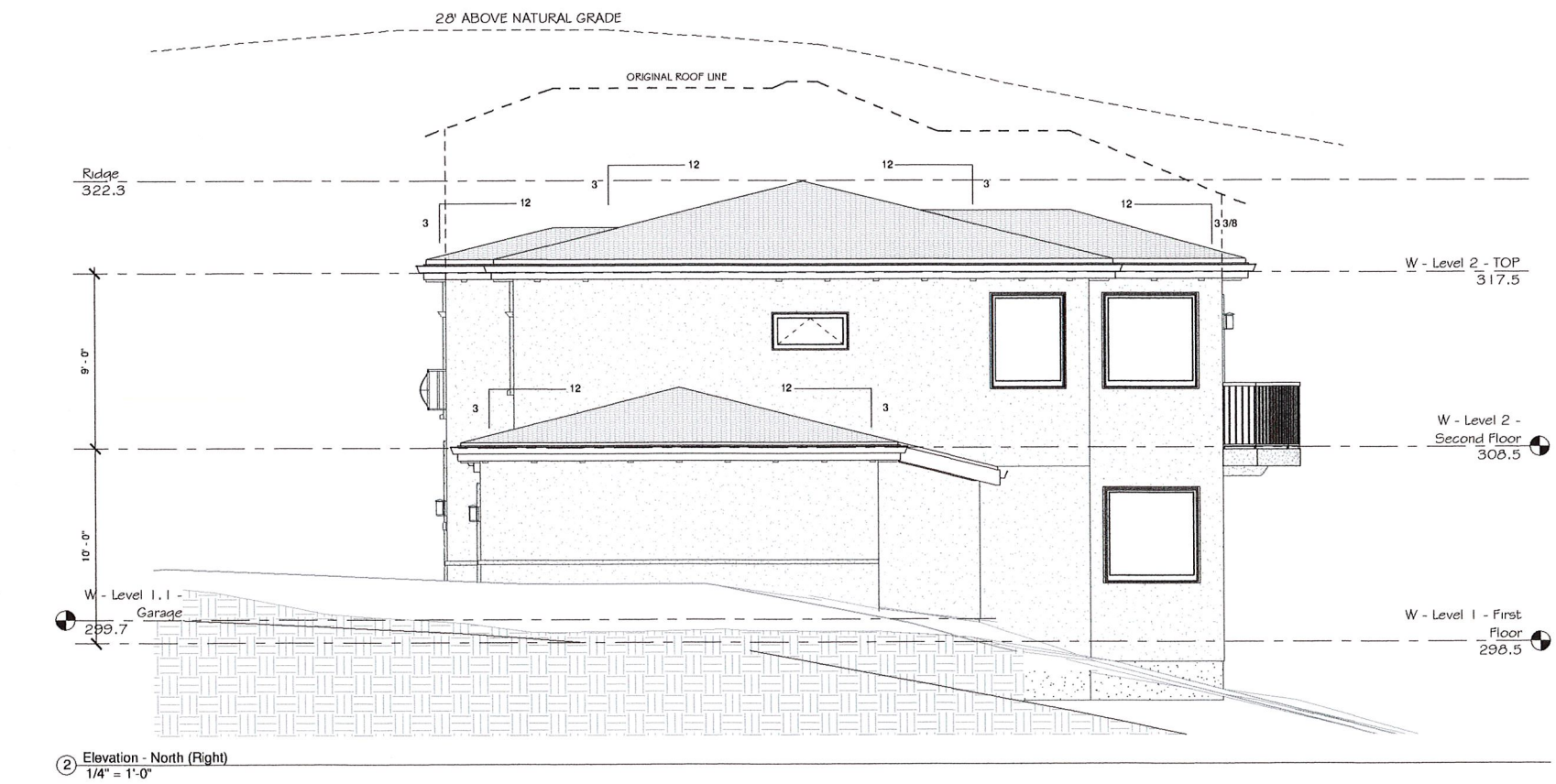
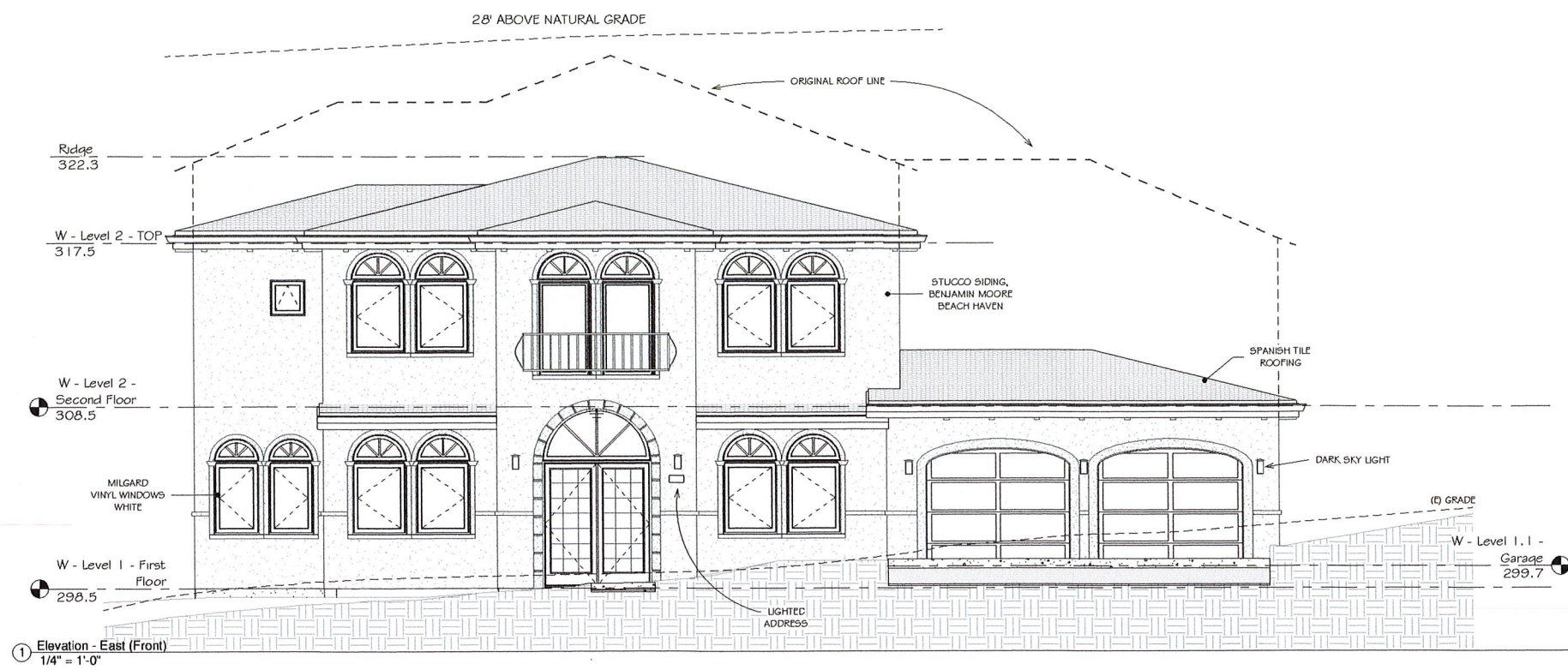
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Elevations - East &
North

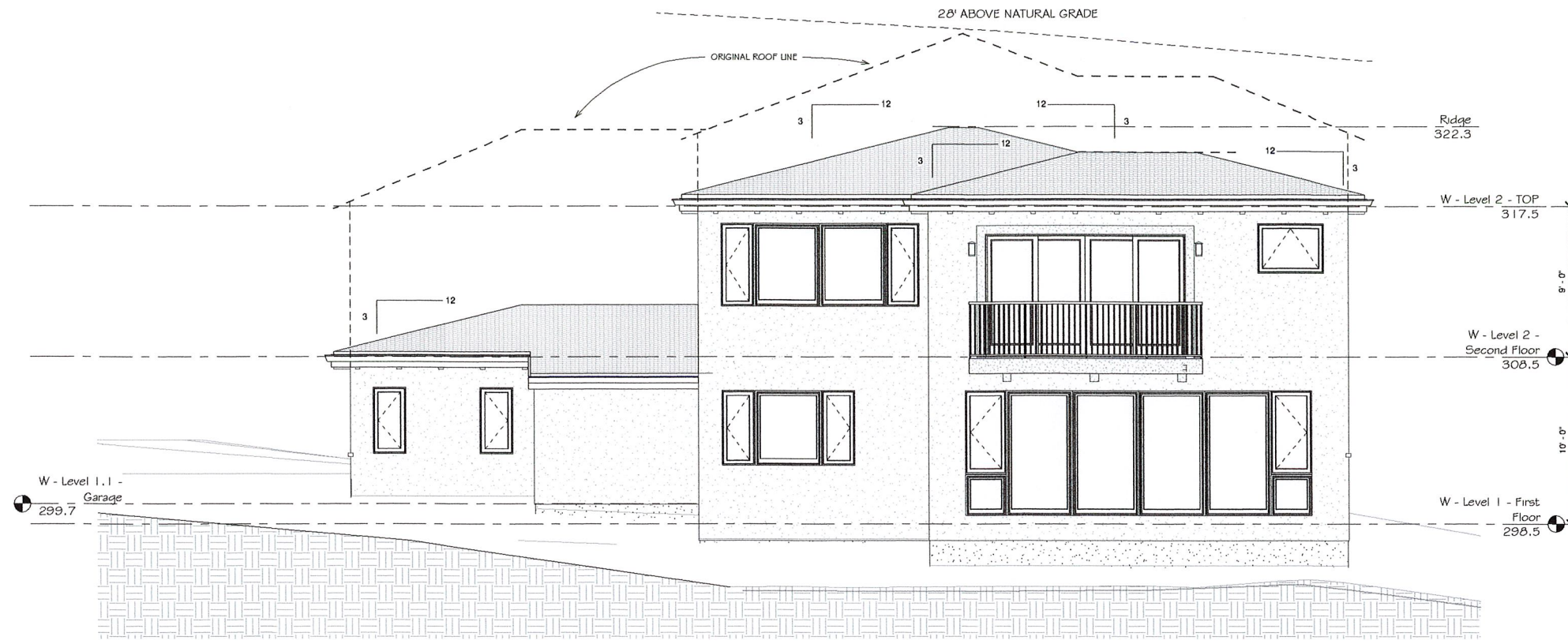


DATE: 12/03/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: Project Name
SHEET:
A2.1
OF SHEETS

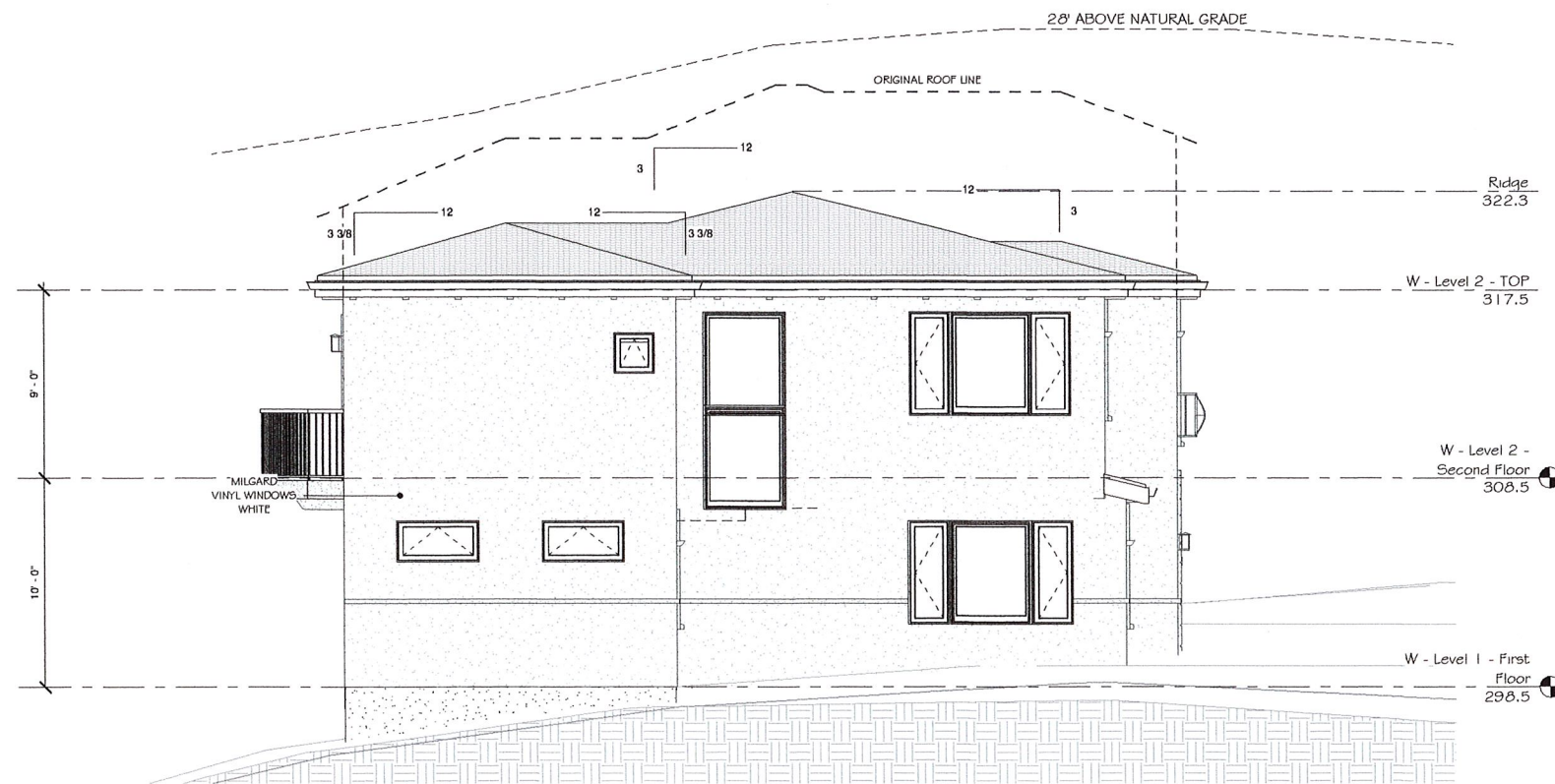


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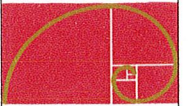
① Elevation - West (Rear)
1/4" = 1'-0"



② Elevation - South (Left)
1/4" = 1'-0"

--- SHOWS PREVIOUS DESIGN ROOF LINE

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Elevations - West &
South



DATE: 12/03/19

SCALE: 1/4" = 1'-0"

DRAWN: GMH

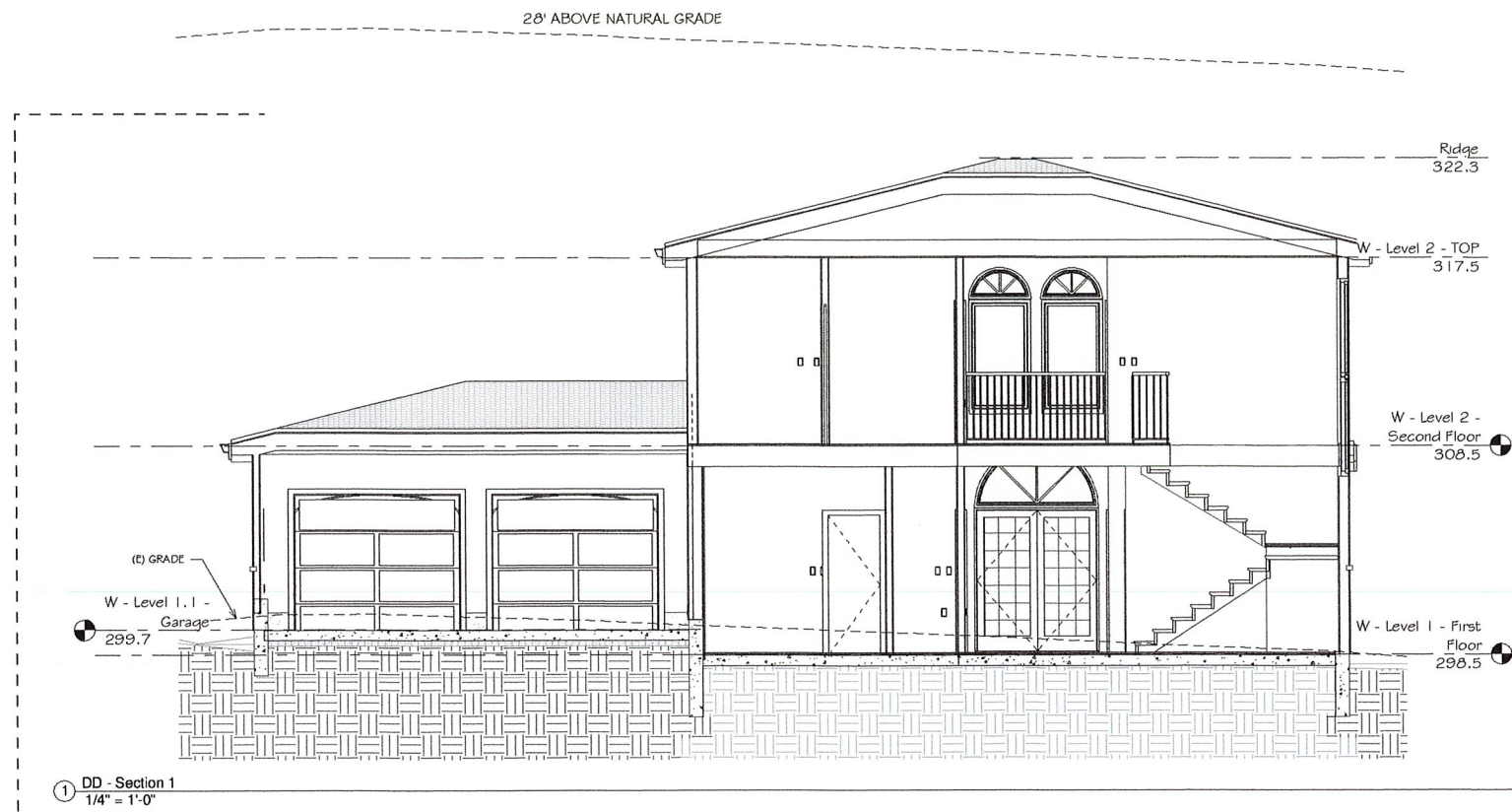
JOB: Project Name

SHEET:

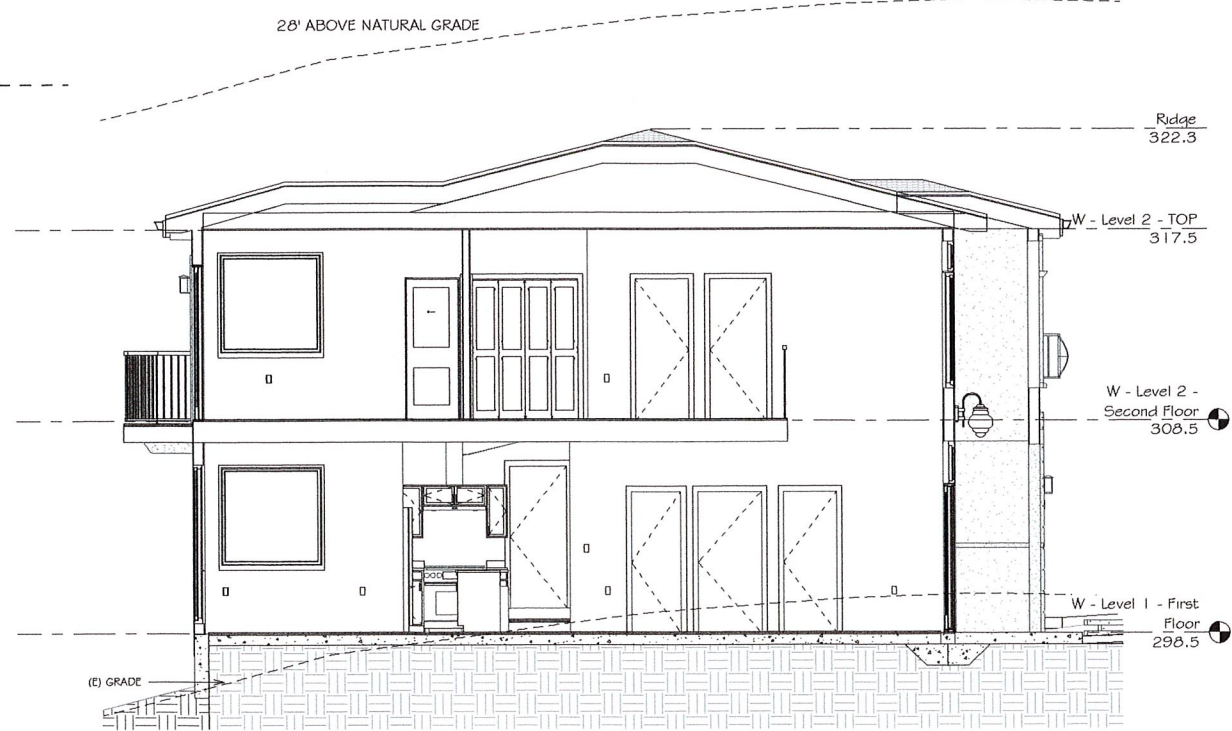
A2.2

OF SHEETS

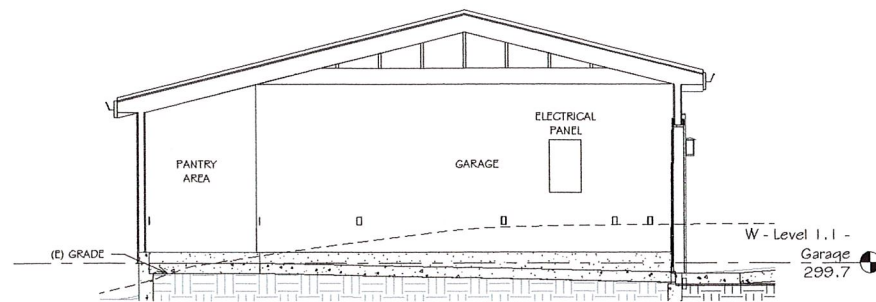
S:\Client Projects\2017\Zheng\Revit\Zheng-Working.rvt



1 DD - Section 1
1/4" = 1'-0"

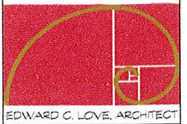


2 DD - Section 2
1/4" = 1'-0"



3 DD - Garage Section
1/4" = 1'-0"

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Sections



DATE: 12/03/19
 SCALE: 1/4" = 1'-0"
 DRAWN: GMH
 JOB: Project Name
 SHEET:

A3.1

OF SHEETS

MODEL WATER EFFICIENT LANDSCAPE RESIDENCE (MWERL)

SHORT FORM PLEASANT, P.T. VE COMPLIANCE

JERRY WHITING
340 PURISSIMA ST.
HALF MOON BAY, CA 94019
E: JWHITING@YAHOO.COM

ZHENG RESIDENCE
EL GRANADA BLVD.
EL GRANADA

DATE: 3/7/19

THIS PROJECT DOES NOT REQUIRE LANDSCAPING EQUAL TO OR LESS THAN 2500 SQ FT AND WILL BE USED IN THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPE PROJECT

TOTAL LANDSCAPE AREA: 112,10 SQ FT

TURF AREA: N/A

SPECIAL LANDSCAPE AREA: N/A

WATER TYPE: POTABLE

NAME OF WATER PROVIDER: CLW

I CERTIFY THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWERL.

J.A. Leblond 3/7/19

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION OF THE MWERL PER APPENDIX D

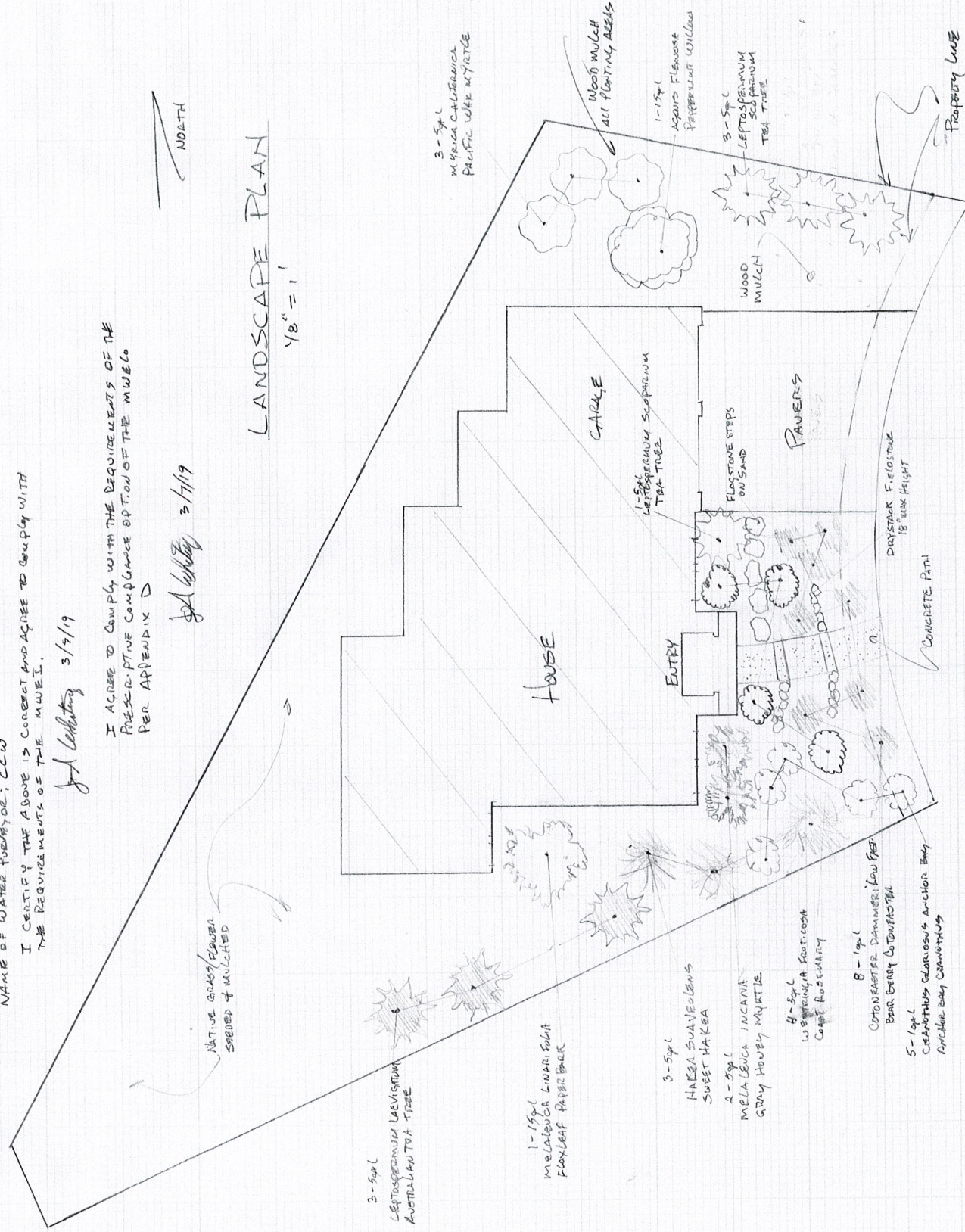
J.A. Leblond 3/7/19

ZHENG
EL GRANADA BLVD.
EL GRANADA
1/8" = 1'

FLORA FARMS
340 PURISSIMA ST.
HALF MOON BAY, CA 94019
LIC # 509103
3/7/19



LANDSCAPE PLAN
1/8" = 1'



PLANTING NOTES

1. MODERATE COMPOST AT A RATE OF AT LEAST 4 CUBIC FEET PER 1000 SQ. FT. TO A DEPTH OF 6" INTO LANDSCAPE AREA
 2. A MINIMUM OF 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF CREEPING GROUND COVER OR TURF
- * PLANTING TO BE IRRIGATED

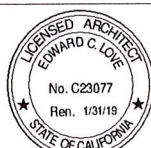
EL GRANADA BLVD.

PLANT LIST

PLANT TYPE	QTY	SIZE	W1
MYRICA CALIFORNICA PACIFIC WAX MYRTLE	3	5gcl	M
AGONIA FLAVOSA PERPETUUM WILLOW	1	15gcl	L
LEPTOSPERMUM SCOPARIUM NEWZEALAND TEATREE	3	5gcl	M
CANTHUS SPICATUS AB. ANCHOR BAY CANNONBALL	5	1gcl	L
COTONNEUR DAMNERS LOWES' BEAR BERRY COTONWOOD	8	1gcl	L
WESTRINGIA FRATRICOSA COAST ROSEMARY	4	5gcl	L
MELALEUCA INCANA GRAY HONEY MYRTLE	2	5gcl	L
HAKERA SUAVEOLENS SWEET HAKEA	3	5gcl	L
MELALEUCA LIMARIBAE FLAXLEAF PAPERBARK	1	15gcl	L
LEPTOSPERMUM LAIBLIGHFLOM AUSTRALIAN TEATREE	3	5gcl	L
X CALIFORNIA COASTAL NATIVE WILD FLOWERS MIX	50	BY 50'S SEED	20 1/4 "/>ACRE

TOTAL PLANTS 2-15gcl
18-5gcl
13-1gcl

LANDSCAPE PLAN BY:
JERRY WHITING
FLORA FARMS
340 PURISSIMA ST
HALF MOON BAY, CA



DATE: 12/03/19
SCALE:
DRAWN: Author
JOB: Project Name
SHEET:

LP.

OF SHEETS



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Landscape Plan by
Flora Farms

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