

EXTERIOR & INTERIOR REMODEL ZACHYSTAL RESIDENCE AT 720 VISTA DRIVE, REDWOOD CITY, CA

PROJECT TEAM

OWNERS
TOM AND LINDSAY ZACHYSTAL
720 VISTA DRIVE, REDWOOD CITY, CA 94062
CONTACT: TOM AND LINDSAY
PHONE: (415) 358-0138
EMAIL: tomzachystal@iamadvisors.com

STRUCTURAL ENGINEER
TBD

ENERGY CONSULTANT
TBD

CONTRACTOR
TBD

ARCHITECT
M DESIGNS ARCHITECTS
4131 W. EL CAMINO REAL, STE 200
PALO ALTO, CA 94306
CONTACT: ALPHEIUS JESSUP
PHONE: 650.565.9038
FAX: 650.565.7889
EMAIL: awj@mdesignsarchitects.com

SURVEYOR
MACLEOD AND ASSOCIATES
930 TANKLAGE ROAD
SAN CARLOS, CA 94070
CONTACT: DAN MACLEOD
EMAIL: dmacleod@macleodassociates.net
PHONE: 650.593.8560

CIVIL ENGINEER
MACLEOD AND ASSOCIATES
930 TANKLAGE ROAD
SAN CARLOS, CA 94070
CONTACT: DAN MACLEOD
EMAIL: dmacleod@macleodassociates.net
PHONE: 650.593.8560

OFFICIAL USE ONLY



PROJECT DATA TABLES

ZONING SUMMARY

APN: 057-231-220
ZONE: RH (RESIDENTIAL HILLSIDE DISTRICT) UNINCORPORATED
PRECISE PLAN: N/A
FLOOD ZONE: NONE
PUBLIC ROW: N/A
CONFORMITY: (E) NON-CONFORMING
LOT DIMENSIONS: SEE SURVEY (13,393 SF)
AVERAGE LOT SLOPE: 7.8%

PROJECT SUMMARY TABLE

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
FLOOR AREA	3,993 SF	NO CHANGE	4,017.90 SF
LOT COVERAGE	2,675 SF	3,125.81 SF	3,348.25 SF

SQUARE FOOTAGE BREAKDOWN

HABITABLE	EXISTING	PROPOSED	ALLOWED
FIRST FLOOR	2008 SF	NO CHANGE	-
SECOND FLOOR	1371 SF	NO CHANGE	-
TOTAL	3,379 SF	NO CHANGE	4,017.90 SF

NON-HABITABLE

	EXISTING	PROPOSED	ALLOWED
FIRST FLOOR	614 SF	NO CHANGE	-
SECOND FLOOR	0 SF	NO CHANGE	-
TOTAL	614 SF	NO CHANGE	4,017.90 SF

SETBACKS

	EXISTING	PROPOSED	ALLOWED
MAIN HOUSE			
LEFT SIDE	13'-6"	NO CHANGE	7'-6"
RIGHT SIDE	9'-0"	NO CHANGE	7'-6"
FRONT	37'-0"	NO CHANGE	20'-0"
REAR	20'-0"	NO CHANGE	20'-0"

DAYLIGHT PLANE

	EXISTING	PROPOSED	ALLOWED
FRONT	N/A		
SIDE	45 DEGREES STARTING AT 10'-0"		
REAR	N/A		

HEIGHT

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
MAIN HOUSE	27'-3"	NO CHANGE	28'-0"

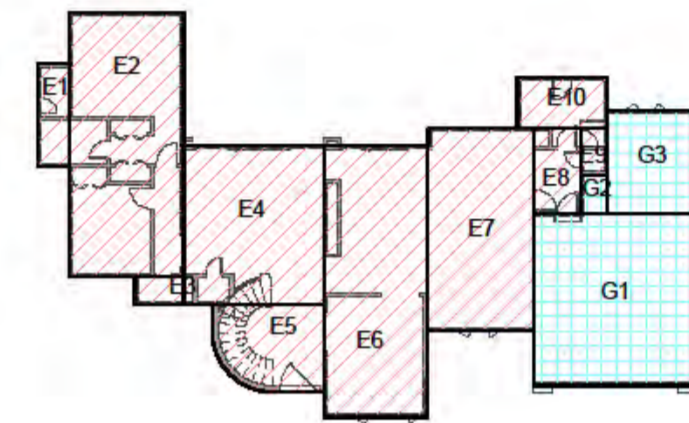
PARKING SUMMARY

DESCRIPTION	EXISTING	PROPOSED	REQUIRED
ENCLOSED	2	NO CHANGE	2
OPEN	2	NO CHANGE	0
EV	0	2	0

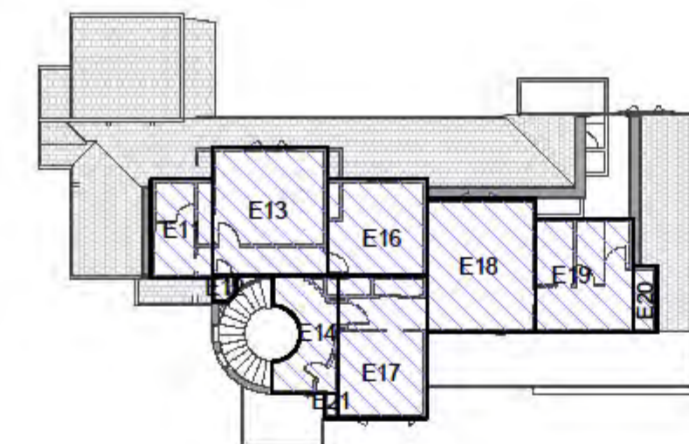
DRIVEWAY

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
# OF CURB CUTS	1	NO CHANGE	N/A
CURB CUT WIDTH	V.I.F.	NO CHANGE	20'-0"
DRIVEWAY WIDTH	13'-8"	NO CHANGE	20'-0"
DRIVEWAY LENGTH	V.I.F.	NO CHANGE	NA
VISION TRIANGLE REQUIRED	N/A	N/A	

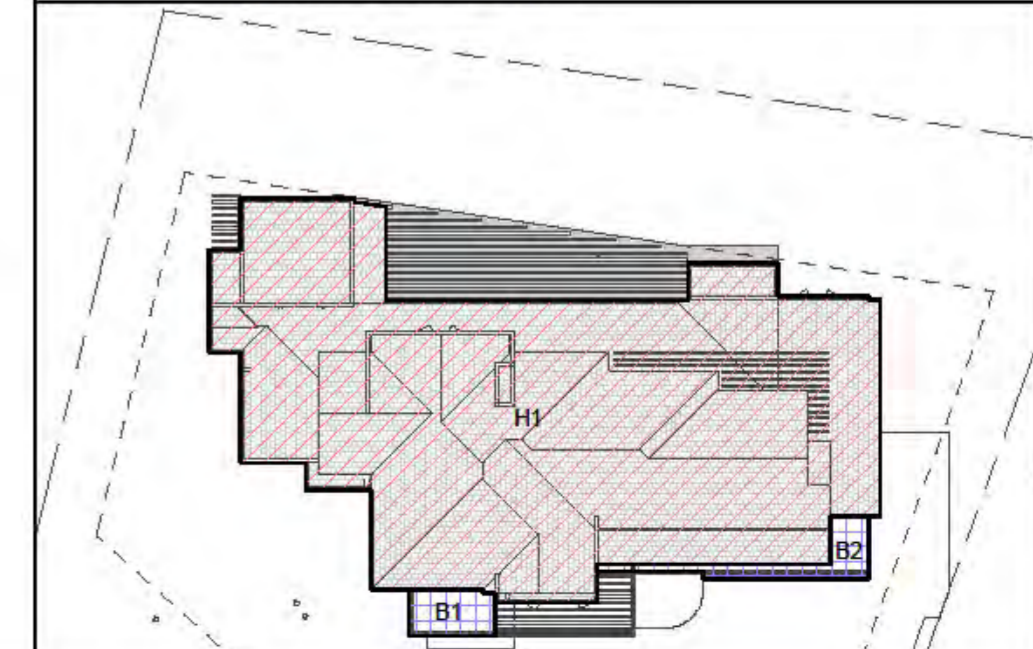
(P) 1ST FLOOR AREA KEY PLAN



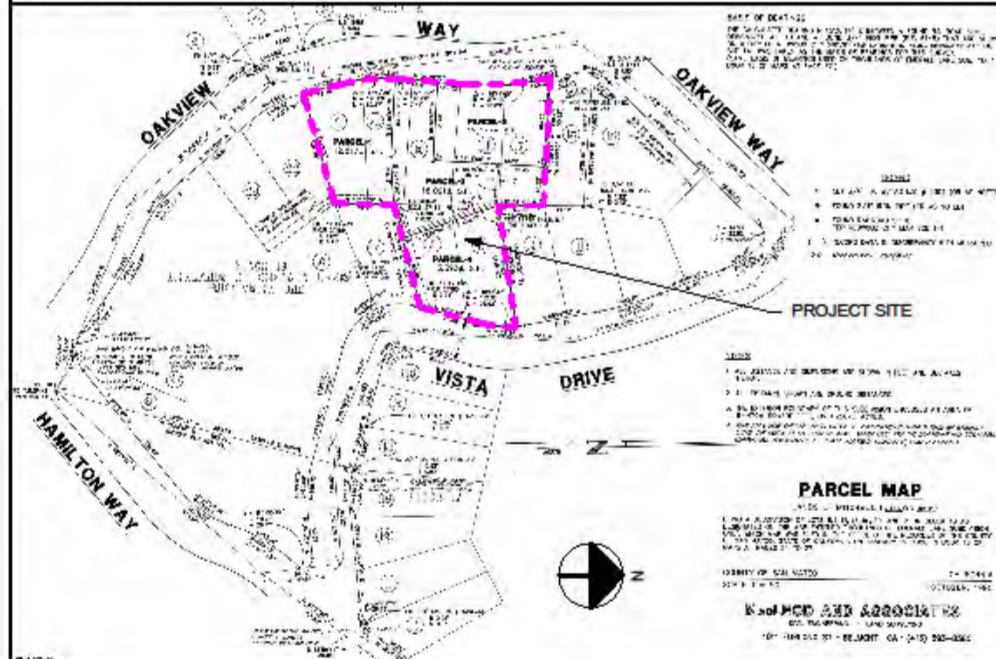
(P) 2ND FLOOR AREA KEY PLAN



LOT COVERAGE AREA KEY



PARCEL MAP



DRAWING INDEX

- 1 T0.1 TITLE SHEET
- 2 T1.1 FLOOR AREA DIAGRAMS
- 3 T1.2 LOT COVERAGE
- 4 A1.1 EXISTING SITE PLAN
- 5 A1.2 PROPOSED SITE PLAN
- 6 A2.1 EXISTING 1ST FLOOR PLAN
- 7 A2.2 EXISTING 2ND FLOOR PLAN
- 8 A2.3 PROPOSED 1ST FLOOR PLAN
- 9 A2.4 PROPOSED 2ND FLOOR PLAN
- 10 A4.1 PROPOSED ROOF PLAN
- 11 A5.1 PROPOSED SECTIONS 1-1, 2-2 & 3-3
- 12 A6.1 EXISTING EAST & WEST ELEVATIONS
- 13 A6.2 EXISTING NORTH & SOUTH ELEVATIONS
- 14 A6.3 PROPOSED EAST & WEST ELEVATIONS
- 15 A6.4 PROPOSED NORTH & SOUTH ELEVATIONS
- 16 AR-1.0 ARBORIST REPORT

VICINITY MAP



CODE COMPLIANCE

2016 CALIFORNIA BUILDING CODE	OCCUPANCY:	RSU
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE	OCCUPANT LOAD:	200 GROSS
2016 CALIFORNIA ELECTRICAL CODE	TYPE OF CONSTRUCTION:	V-B
2016 CALIFORNIA MECHANICAL CODE	FIRE SUPPRESSION:	SPRINKLED
2016 CALIFORNIA PLUMBING CODE	HEIGHT MAXIMUM:	28'-0"
2016 CALIFORNIA FIRE CODE	ALLOWABLE FLOOR AREA:	4,017.90 SF
2016 CALIFORNIA ENERGY CODE	ALLOWABLE LOT COVERAGE:	3,348.25 SF
2016 CALIFORNIA RESIDENTIAL CODE		
2011 NATIONAL ELECTRIC CODE		

DEFERRED SUBMITTAL

- PRE-MANUFACTURED GUARDRAILS & HANDRAILS
- LANDSCAPING
- SOLAR ARRAY

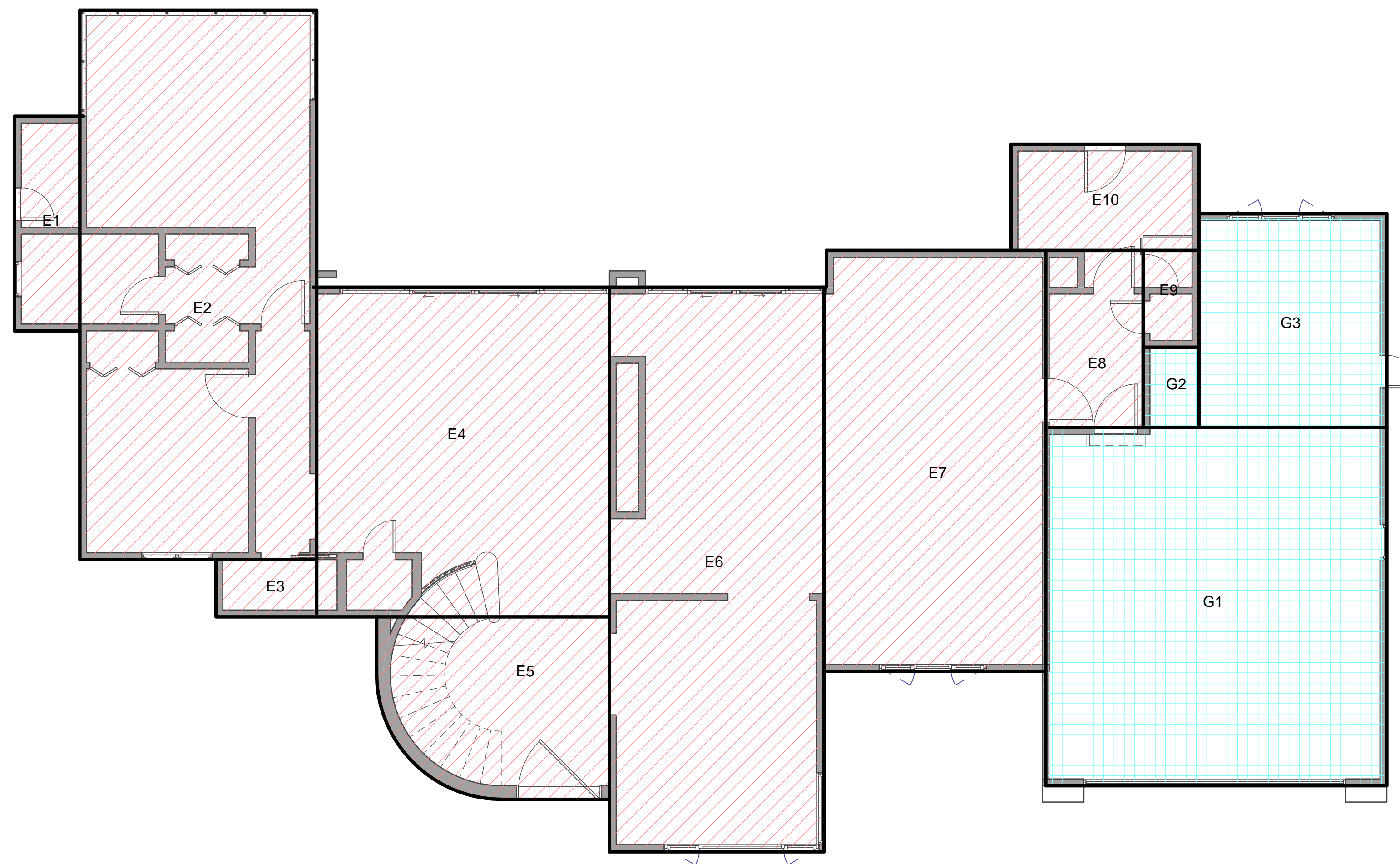
ZACHYSTAL RESIDENCE AT
720 VISTA DRIVE,
REDWOOD CITY, CA 94062

PLANNING PACKAGE

TITLE SHEET

02.13.2020

T0.1



FLOOR AREA DIAGRAMS

- EXISTING 1ST FLOOR TO REMAIN
- GARAGE TO REMAIN

FLOOR AREA CALCULATIONS

NO.	LENGTH	WIDTH	AREA
EXISTING 1ST FLOOR TO REMAIN			
E1	4' - 0"	13' - 2"	52.50 SF
E2	14' - 6"	33' - 8"	488.17 SF
E3	3' - 6"	6' - 2"	21.58 SF
E4	17' - 11"	20' - 2"	361.32 SF
E5			146.51 SF
E6	13' - 1"	34' - 6"	451.38 SF
E7	13' - 5"	25' - 9"	345.48 SF
E8	6' - 7"	11' - 3"	74.06 SF
E9	3' - 0"	5' - 11"	17.75 SF
E10	6' - 6"	11' - 6"	74.75 SF
			2033.50 SF

EXISTING GARAGE TO REMAIN			
G1	21' - 1"	21' - 6"	453.29 SF
G2	11' - 6"	13' - 6"	155.25 SF
G3	3' - 0"	5' - 4"	16.00 SF
			624.54 SF

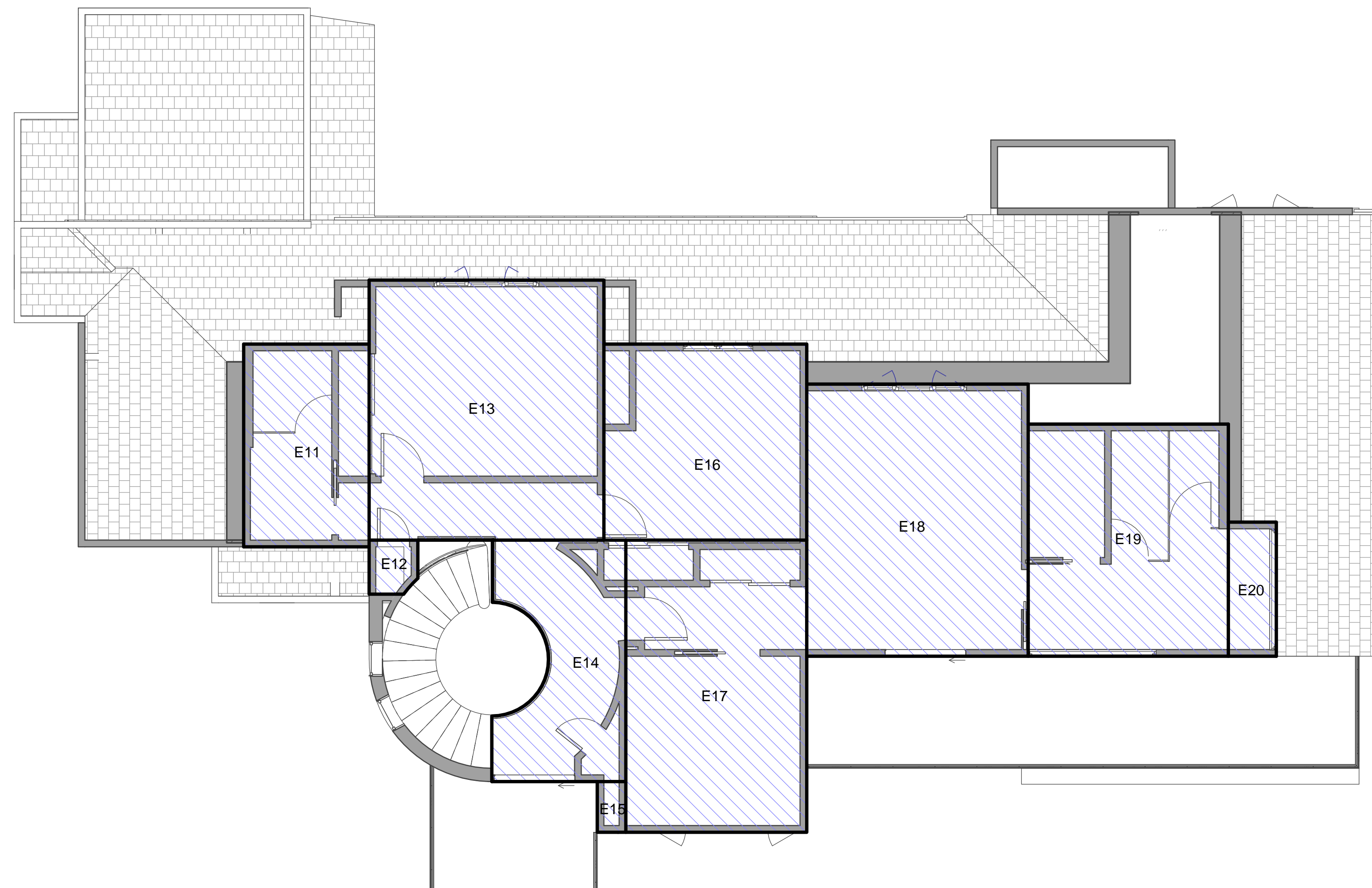
EXISTING 2ND FLOOR TO REMAIN			
E11	7' - 10"	12' - 8"	99.22 SF
E12			10.65 SF
E13	14' - 8"	16' - 3"	238.33 SF
E14	5' - 4"	20' - 2"	106.97 SF
E15	1' - 9"	3' - 2"	5.65 SF
E16	12' - 3"	12' - 8"	155.17 SF
E17	11' - 4"	18' - 3"	206.21 SF
E18	13' - 10"	17' - 0"	235.17 SF
E19	12' - 6"	14' - 6"	181.25 SF
E20	3' - 0"	8' - 5"	25.13 SF
			1263.74 SF

TOTAL FLOOR AREA 3921.78 SF
 MAXIMUM ALLOWED FLOOR AREA: 4,017.90 SF

FIRST FLOOR AREA DIAGRAM



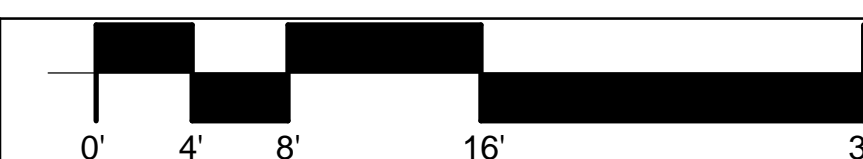
SCALE: 3/16" = 1'-0" 1



FLOOR AREA DIAGRAMS

- EXISTING 2ND FLOOR TO REMAIN

SECOND FLOOR DIAGRAM



SCALE: 3/16" = 1'-0" 2

CALCULATIONS

3

Description Date

M-DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-625-7869

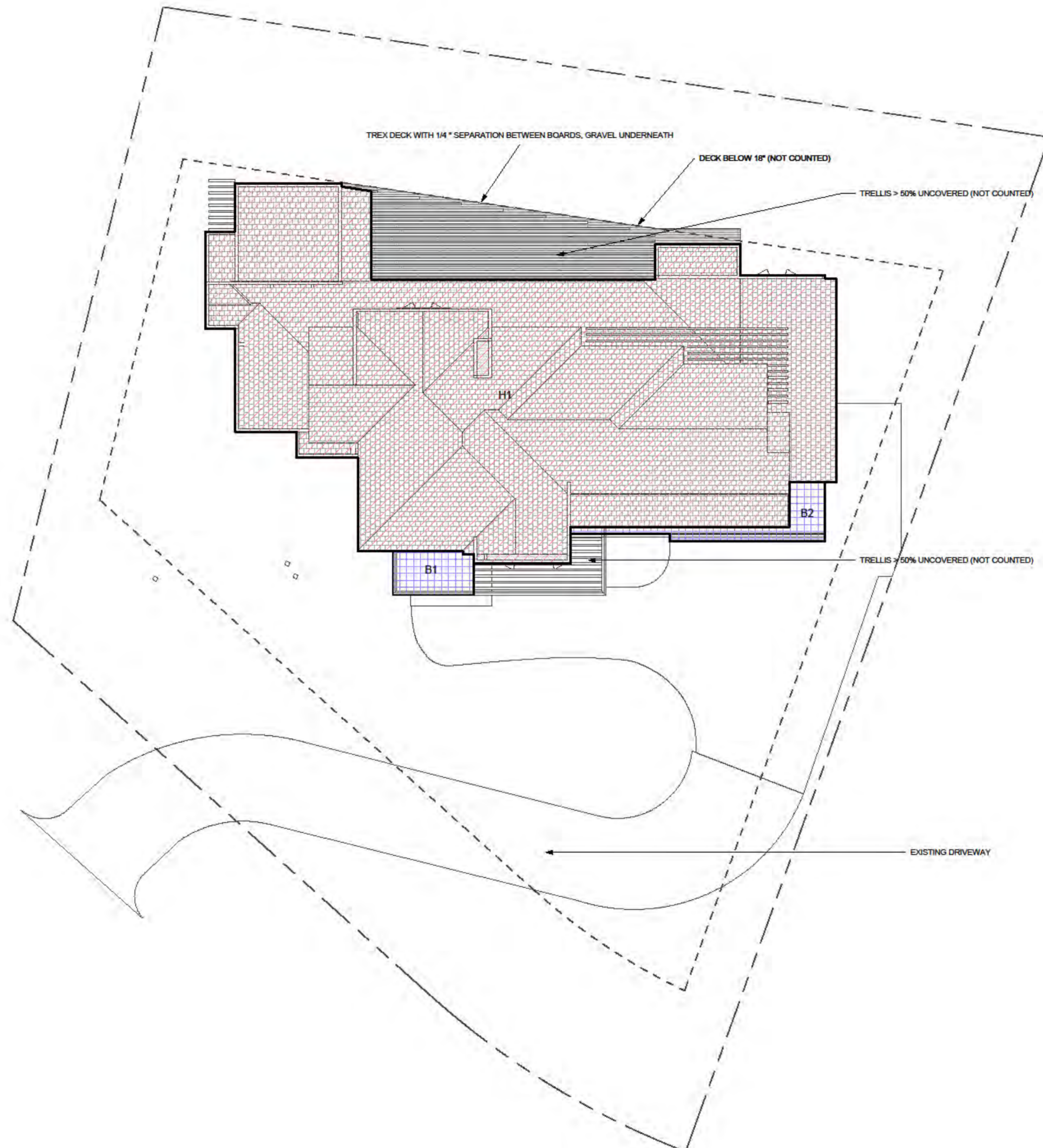
ZACHYSTAL RESIDENCE AT
 720 VISTA DRIVE,
 REDWOOD CITY, CA 94062

PLANNING PACKAGE

FLOOR AREA DIAGRAMS

02.13.2020

T1.1



Description	Date

M·DESIGNS ARCHITECTS

M·DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE
 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9038
 Fax: 650-625-7889

ZACHYSTAL RESIDENCE AT
 720 VISTA DRIVE,
 REDWOOD CITY, CA 94062

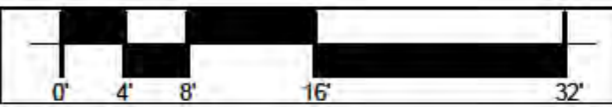
PLANNING PACKAGE

LOT COVERAGE

02.13.2020

T1.2

LOT COVERAGE



SCALE: 1/8" = 1'-0"

1

2/18/2020 10:46:51 AM

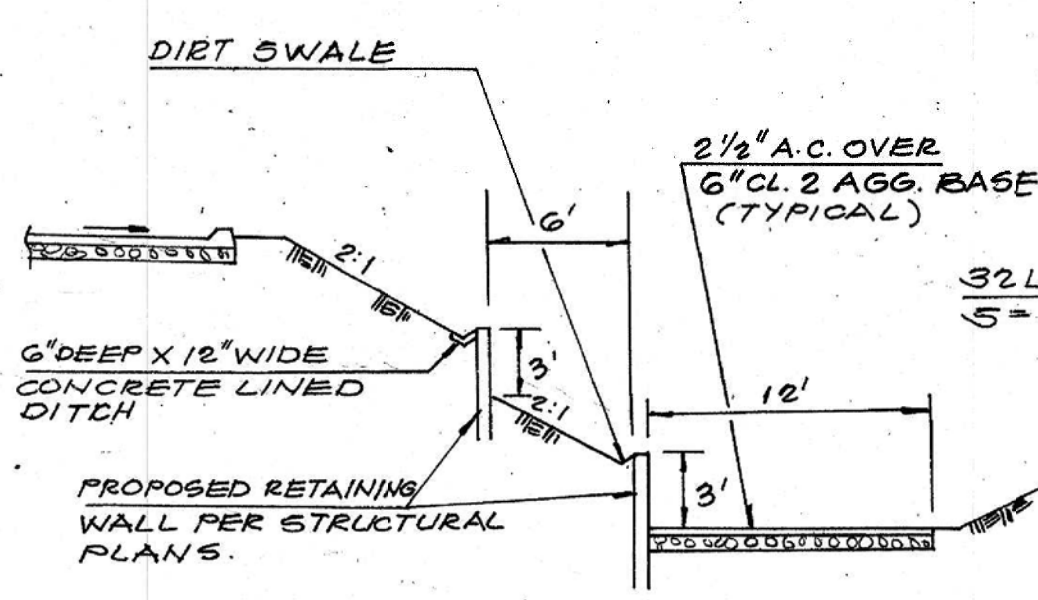
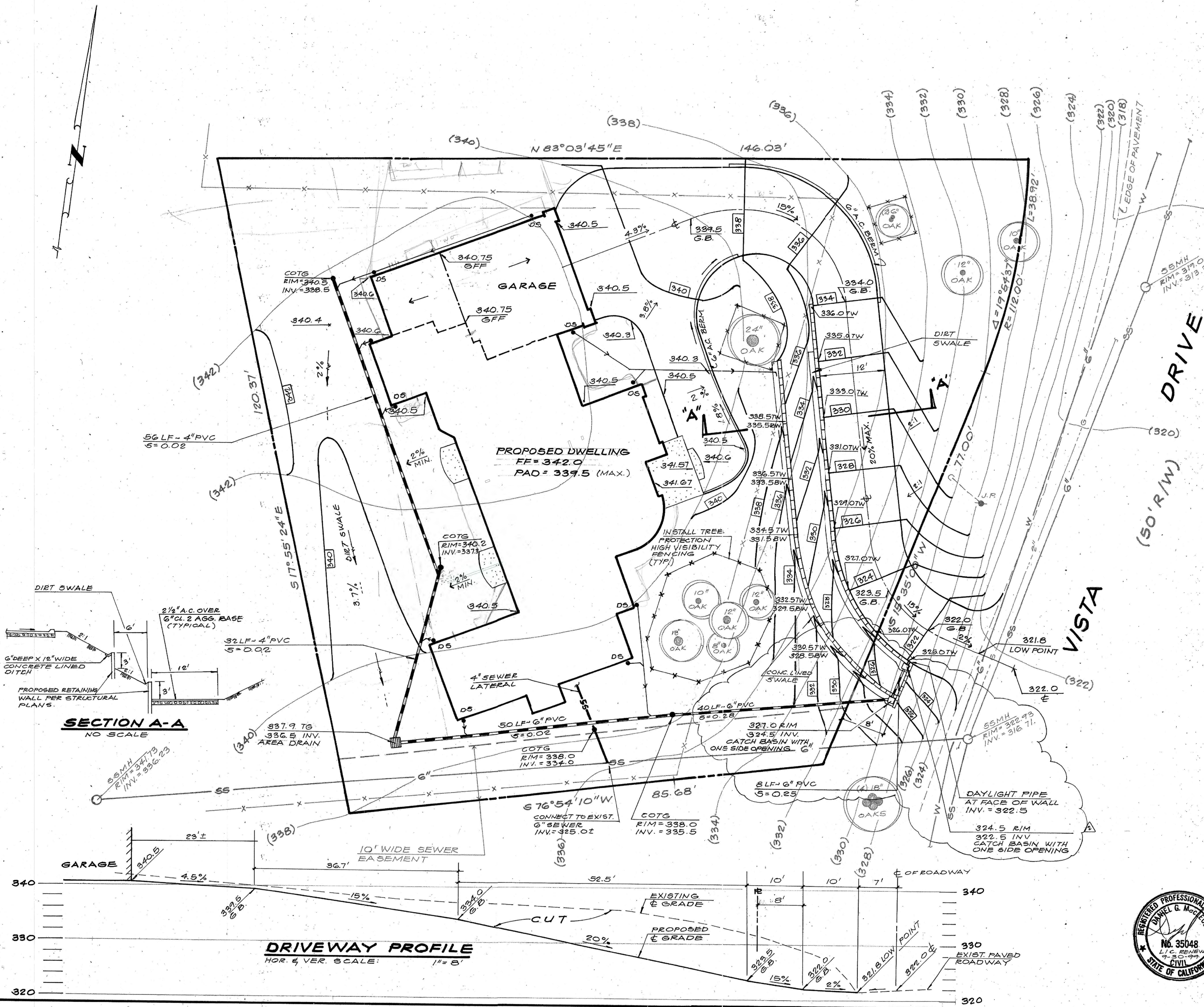
LEGEND:

- FF FINISH FLOOR
- G.F.F. GARAGE FINISH FLOOR
- G.B. GRADE BREAK
- T.W. TOP OF WALL
- CL CENTERLINE
- R.P. PROPERTY LINE
- R/W RIGHT-OF-WAY
- PROPOSED CONTOUR
- B.W. BOTTOM OF WALL
- T.G. TOP OF GRATE
- INV. INVERT
- COTG CLEANOUT TO FINISHED GRADE

Handwritten signature and initials

- NOTES:
- THE SOILS REPORT PREPARED BY ROMIG CONSULTING ENGINEERS, REPORT NO. 269-1, DATED SEPTEMBER 30, 1997, IS HEREBY MADE A PART OF THIS PLAN.
 - ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
 - WHEN APPLICABLE, ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE ORDINANCES, SPECIFICATIONS AND STANDARDS OF THE COUNTY OF SAN MATEO, UNLESS OTHERWISE NOTED.
 - STORM DRAIN PIPES SHALL BE P.V.C. PER ASTM D-3034 SDR35 WITH BELL AND SPIGOT RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SPECIFIED, ALL CATCH BASINS AND JUNCTION BOXES SHALL BE 16" X 16" PRECAST CONCRETE, CHRISTY TYPE "V64" OR APPROVED EQUAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING OR HAULING ANY EXCESS MATERIAL OR SUPPLYING MATERIAL FOR DEFICIENCIES TO BRING DRIVEWAY, AND BUILDING PADS TO REQUIRED GRADE.
 - THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, GRADING, ETC., AND TO AVOID ABRUPT OR APPARENT CHANGES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
 - THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY OF SAN MATEO (DEPARTMENT OF PUBLIC WORKS) PRIOR TO START OF ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - RAIN WATER LEADERS SHALL BE CONNECTED TO UNDERGROUND STORM DRAIN SYSTEM AS SHOWN. REFER TO ARCHITECTURAL PLAN FOR ACCURATE ROOF DRAIN LOCATIONS.
 - FOUNDATION EXCAVATION, EARTHWORK, AND SITE SURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG CONSULTING ENGINEERS, DATED SEPTEMBER 30, 1998. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST 48 HOURS PRIOR TO FOOTING EXCAVATION OR EARTHWORK AND SHOULD APPROVE FOUNDATION EXCAVATIONS PRIOR TO PLACEMENT OF REINFORCING STEEL.

GRADING QUANTITIES:
 CUT = 680 CY ± (IN PLACE)
 FILL = 15 CY ± (IN PLACE)



DRIVEWAY PROFILE
 HOR. & VER. SCALE: 1" = 8'



REV.	DESCRIPTION	BY	DATE
1	PER COUNTY OF SAN MATEO COMMENTS	VPG	3-15-99
2	PER GEOTECHNICAL COMMENTS	VPG	3-2-99

GRADING & DRAINAGE PLAN
 720 VISTA DRIVE
 SAN MATEO COUNTY, CALIFORNIA
 PREPARED FOR: DESZO KATICS

MacLEOD AND ASSOCIATES, INC.
 CIVIL ENGINEERING • LAND SURVEYING
 930 TANKLAGE RD. • SAN CARLOS • CA 94070 • (650) 593-8580

DRAWN BY: VPG	SCALE: 1" = 8'	DRAWING NO.
CHECKED BY: DSM	DATE: 12-18-98	1330-98
TRACED BY:	APP'D:	SHEET 1 OF 1

--- (E) WALL TO BE DEMOLISHED

Description	Date



M-DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE
 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-965-9036
 Fax: 949-625-7889

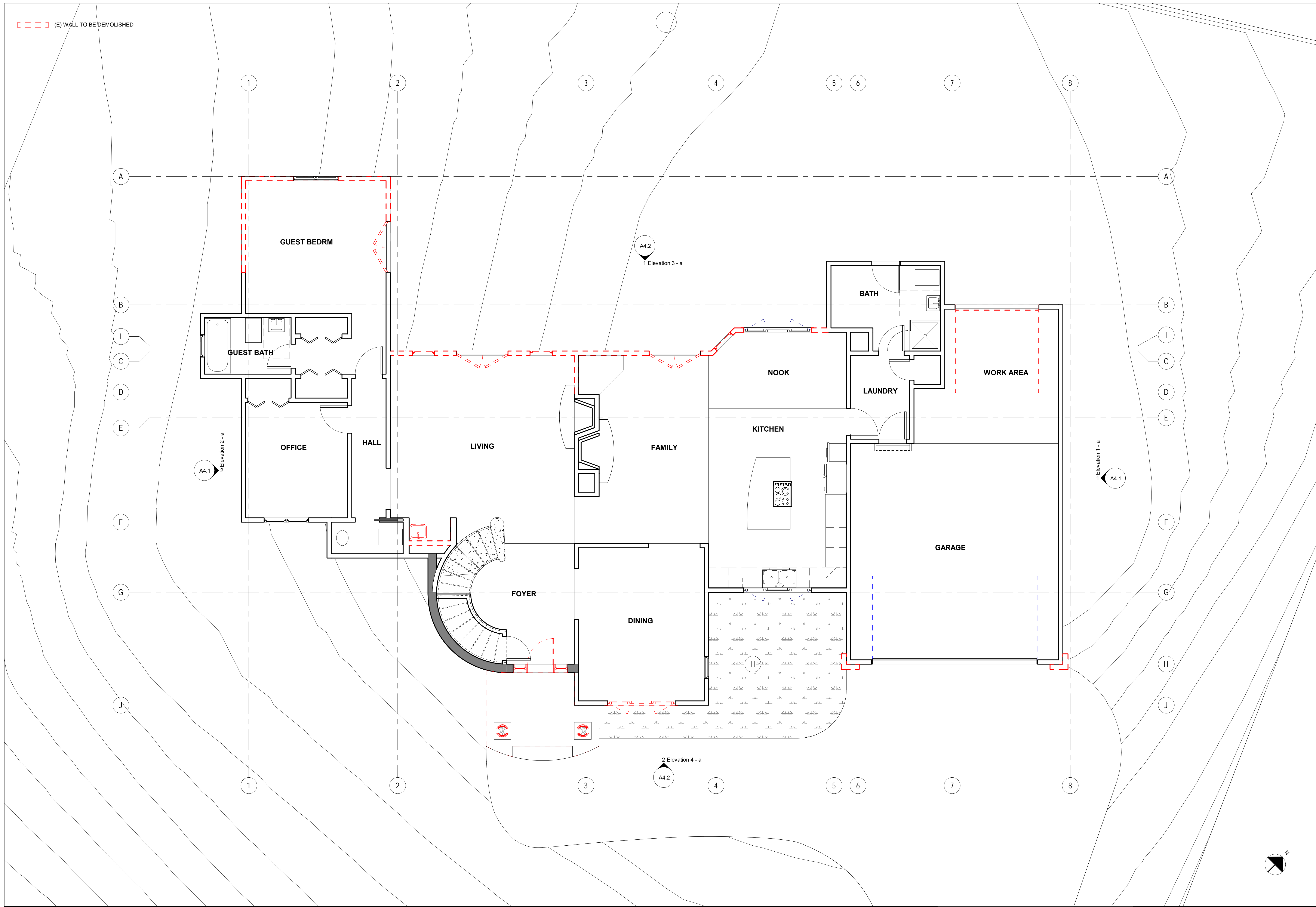
Tom & Lindsay Zachystal
 Remodel 720 Vista Drive, Redwood
 City, CA

PLANNING PACKAGE
 (E) FIRST FLOOR PLAN

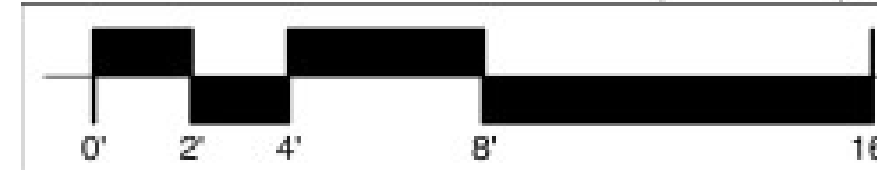
01.28.2020

A2.1

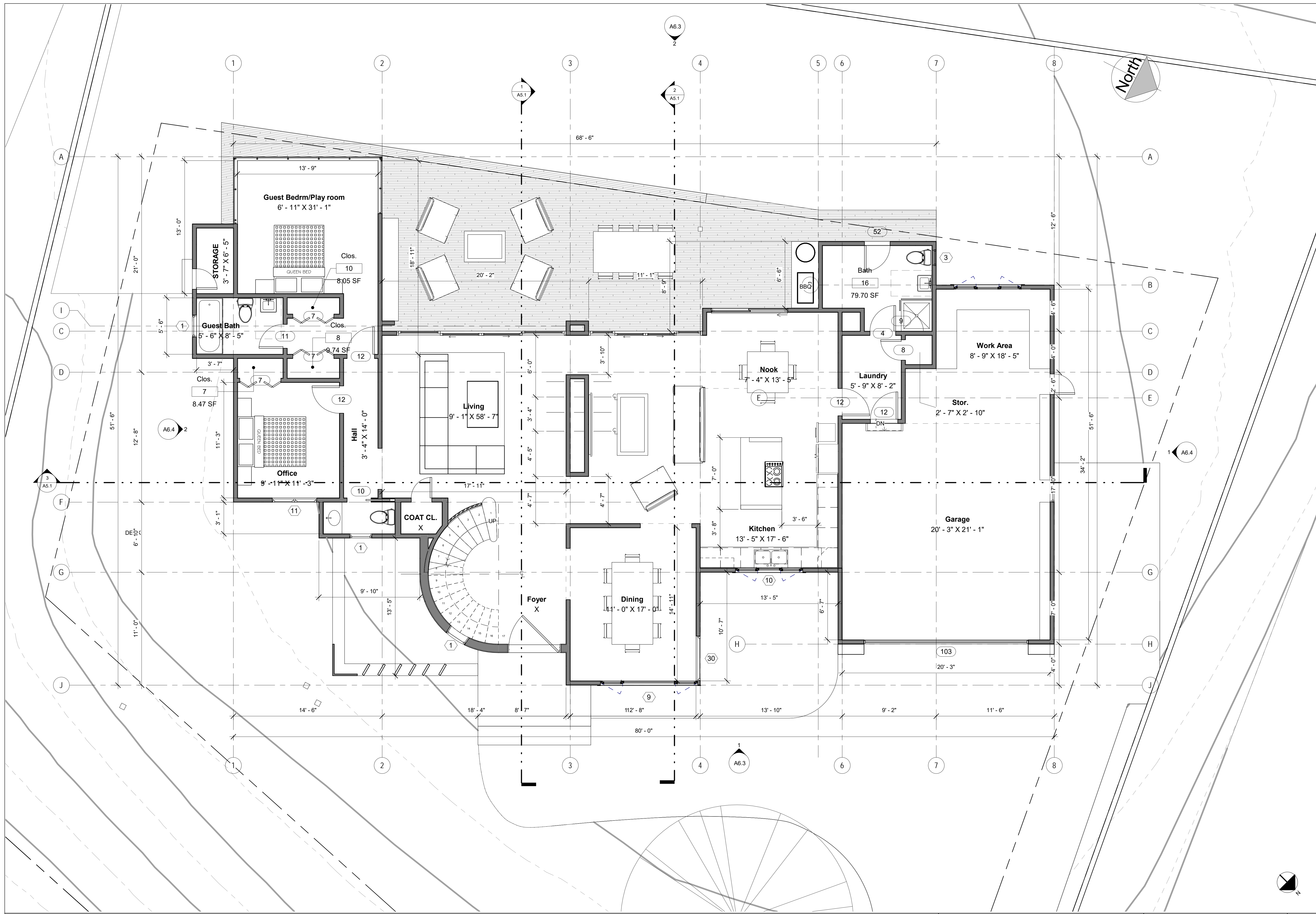
2/19/2020 11:19:19 AM



(E) 1ST FLOOR & DEMOLITION PLAN



SCALE: 1/4"=1'-0"



Description	Date



M-DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE
 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-565-7869

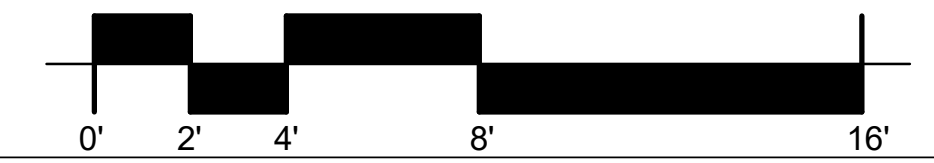
ZACHYSTAL RESIDENCE AT
 720 VISTA DRIVE,
 REDWOOD CITY, CA 94062

PLANNING PACKAGE
 PROPOSED 1ST FLOOR PLAN

02.13.2020

A2.3

PROPOSED FIRST FLOOR



SCALE: 1/4" = 1'-0" 1

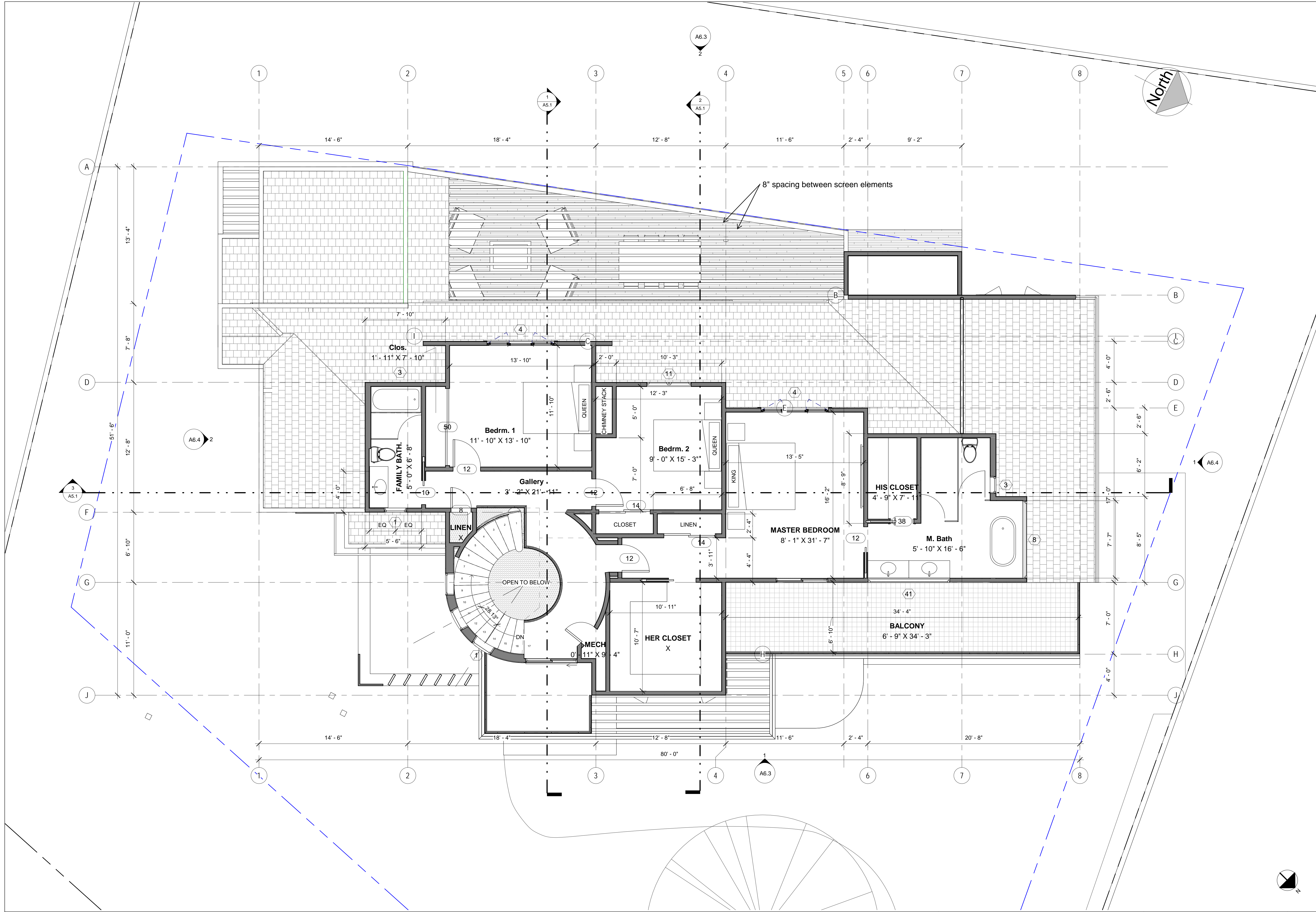
2/19/2020 11:22:53 AM

**ZACHYSTAL RESIDENCE AT
720 VISTA DRIVE,
REDWOOD CITY, CA 94062**

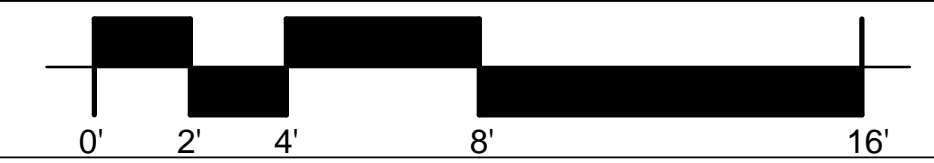
**PLANNING PACKAGE
PROPOSED 2ND FLOOR PLAN**

02.13.2020

A2.4

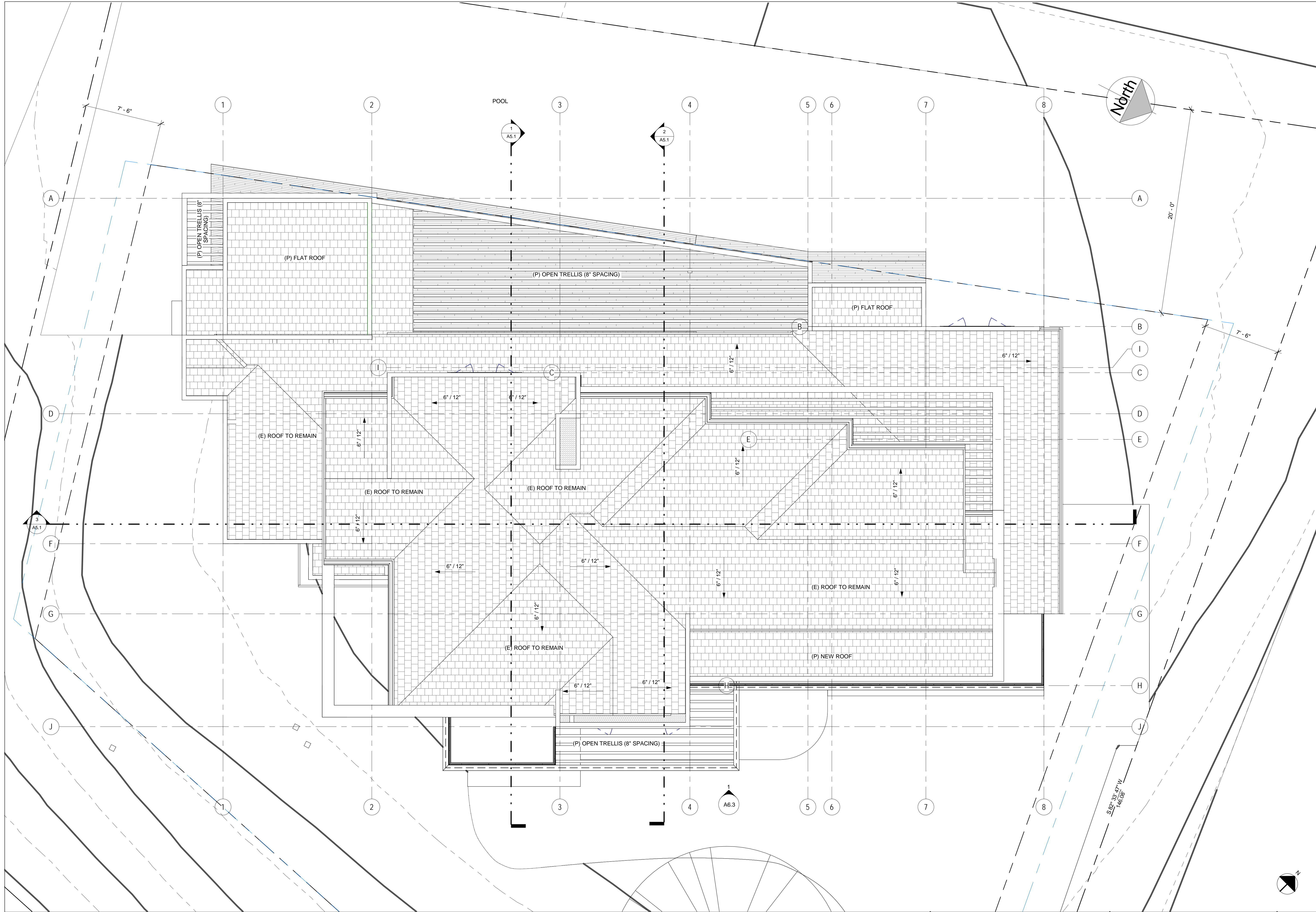


PROPOSED SECOND FLOOR



SCALE: 1/4" = 1'-0" 1

2/13/2020 6:10:18 PM



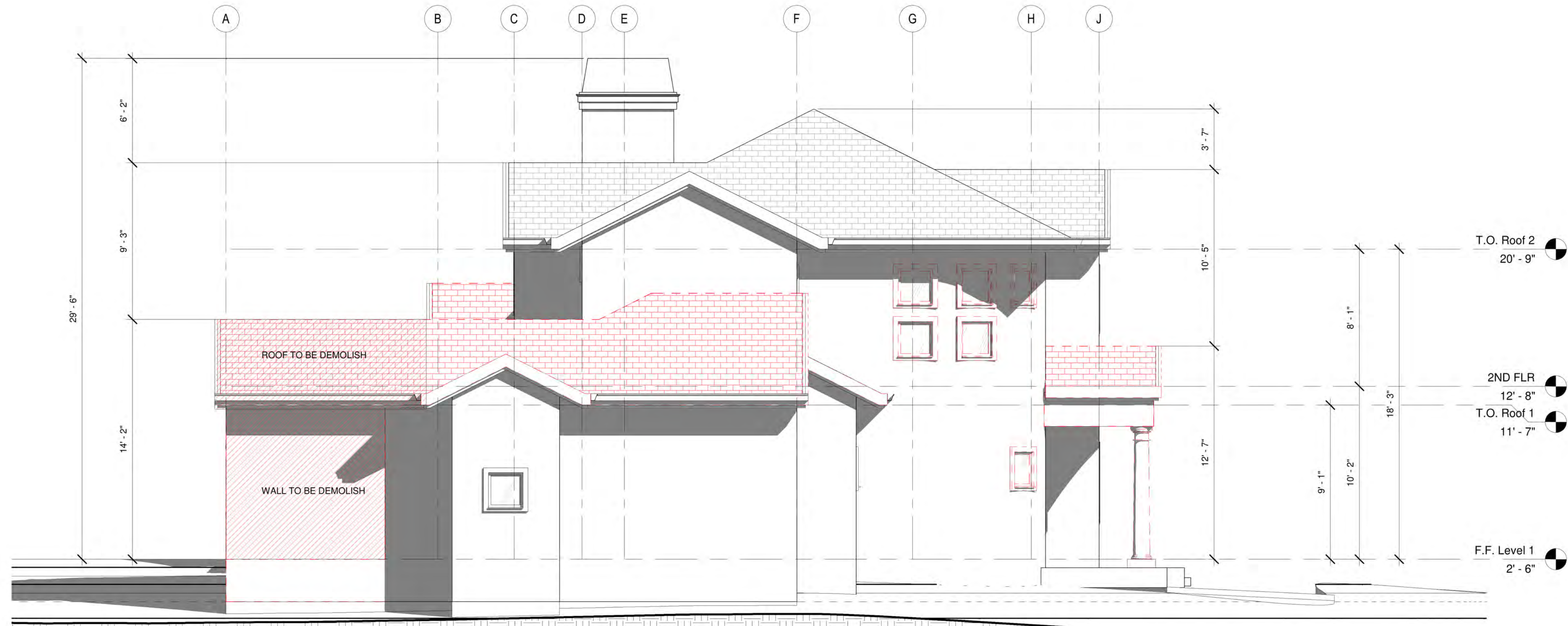
ZACHYSTAL RESIDENCE AT
720 VISTA DRIVE,
REDWOOD CITY, CA 94062

PLANNING PACKAGE
PROPOSED ROOF PLAN

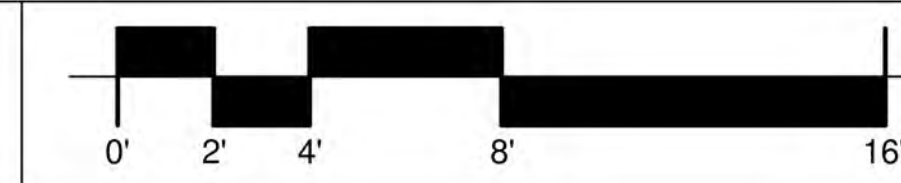
02.13.2020

A4.1

--- (E) WALL TO BE DEMOLISHED

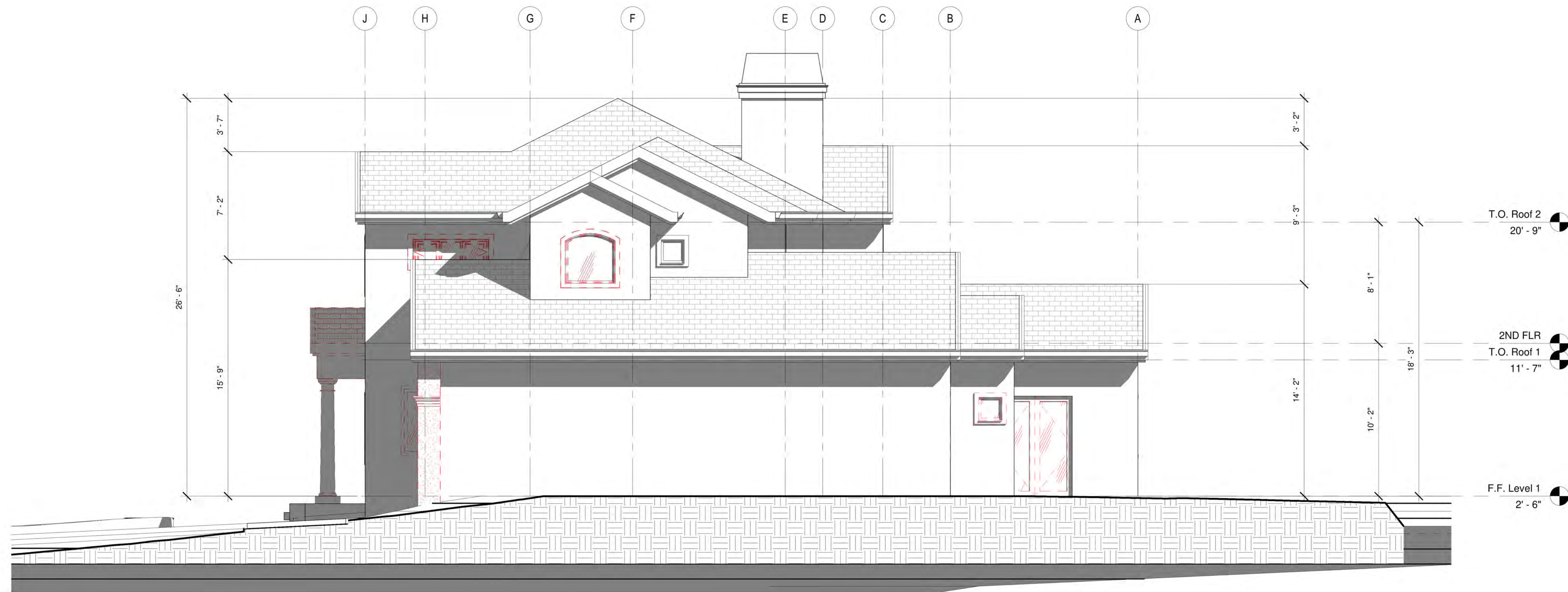


PROPOSED WEST ELEVATION

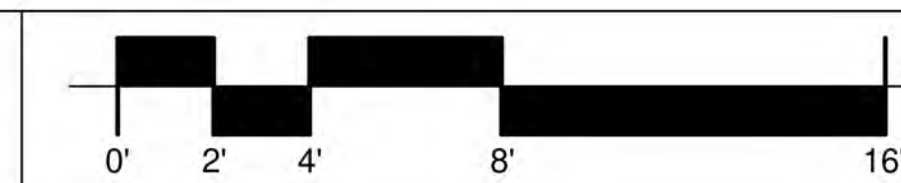


SCALE: 1/4"=1'-0"

1



PROPOSED EAST ELEVATION



SCALE: 1/4"=1'-0"

2

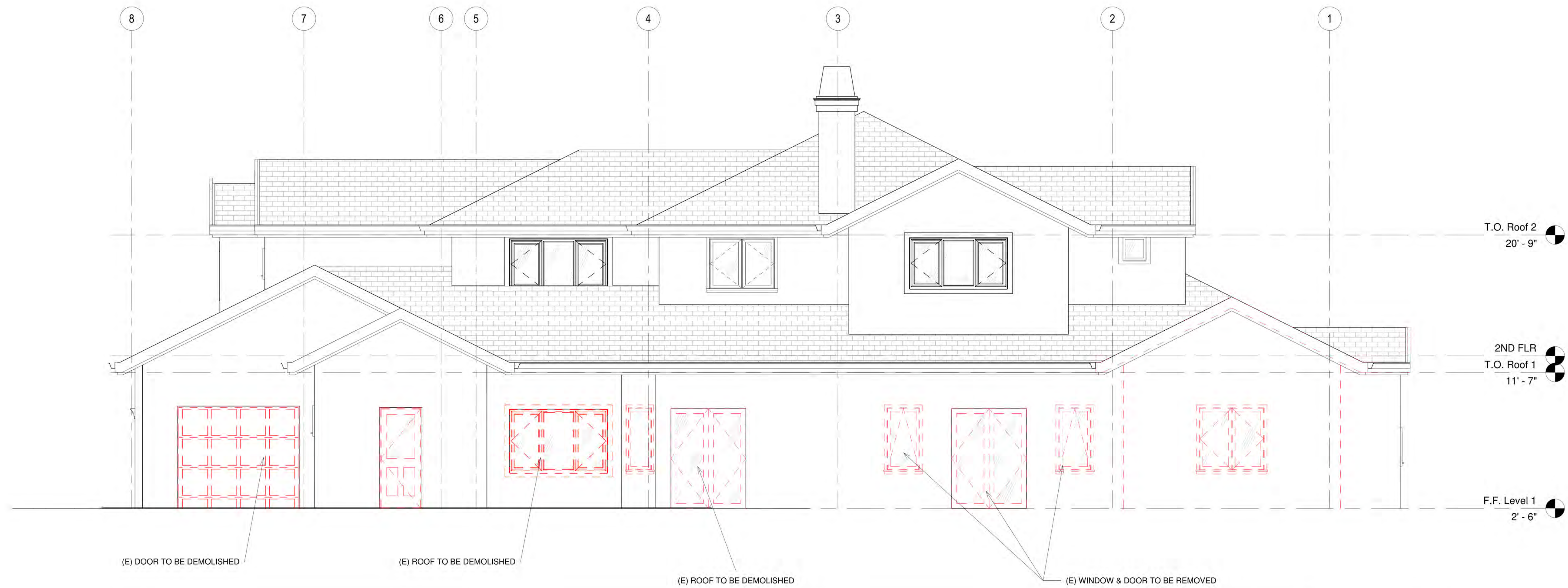
M-DESIGNS ARCHITECTS
 M-DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE
 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-565-7869

Tom & Lindsay Zachystal
 Remodel 720 Vista Drive, Redwood
 City, CA

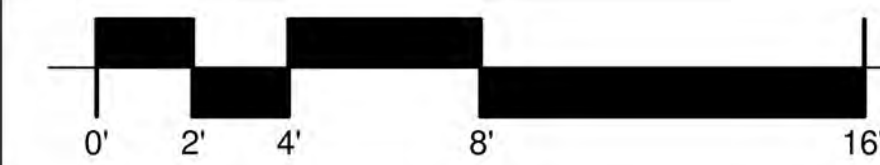
PLANNING PACKAGE
 (E) WEST & EAST ELEVATIONS

01.28.2020

A4.1

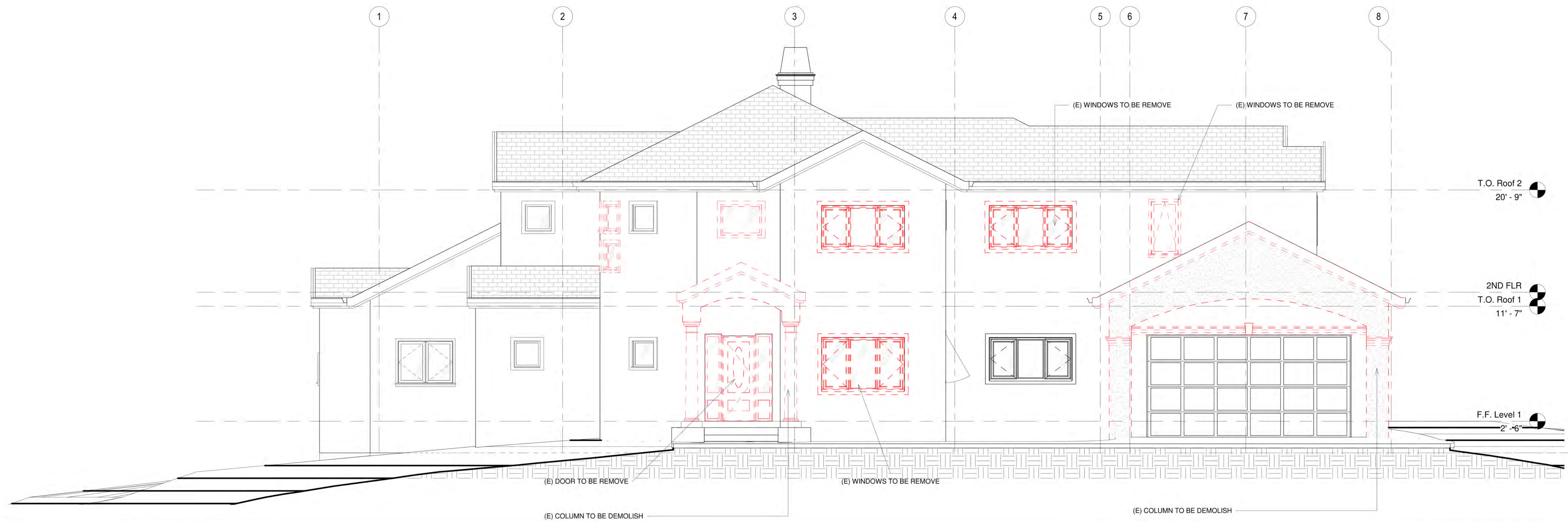


PROPOSED NORTH ELEVATION

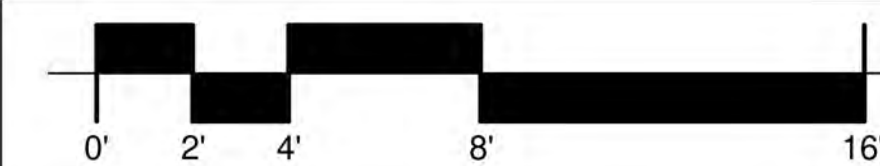


SCALE: 1/4"=1'-0"

1



PROPOSED SOUTH ELEVATION



SCALE: 1/4"=1'-0"

2

M-DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-565-7869

Tom & Lindsay Zachystal
 Remodel 720 Vista Drive, Redwood
 City, CA

PLANNING PACKAGE
 (E) NORTH & SOUTH
 ELEVATIONS

01.28.2020

A4.2

1/28/2020 2:44:32 PM

Description	Date



M-DESIGNS ARCHITECTS
 4131 WEST EL CAMINO REAL, SUITE
 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-565-7869

ZACHYSTAL RESIDENCE AT
 720 VISTA DRIVE,
 REDWOOD CITY, CA 94062

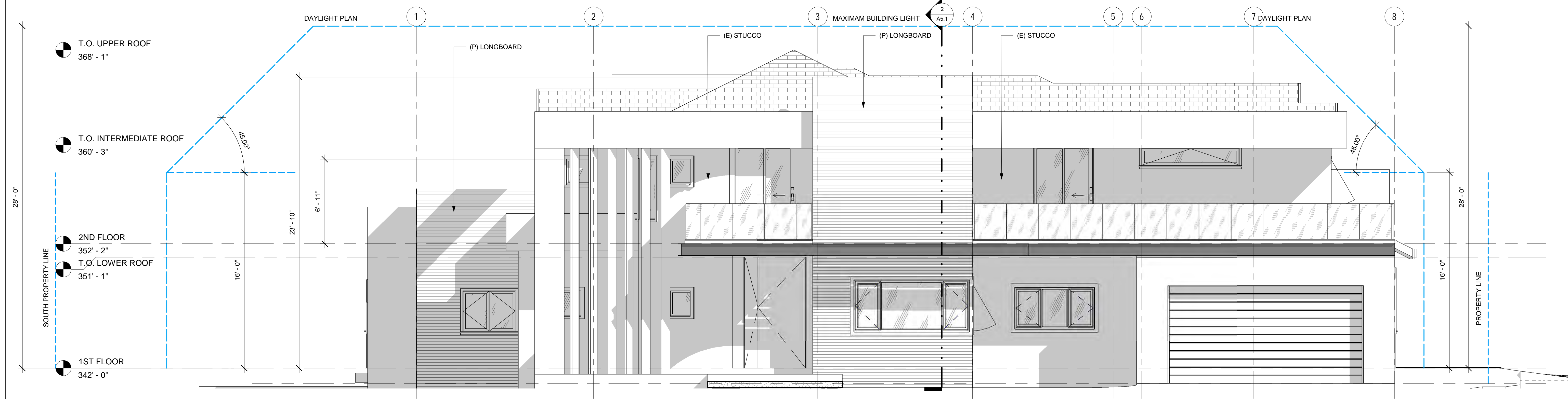
PLANNING PACKAGE

PROPOSED EAST & WEST
 ELEVATIONS

02.13.2020

A6.3

2/13/2020 6:19:58 PM

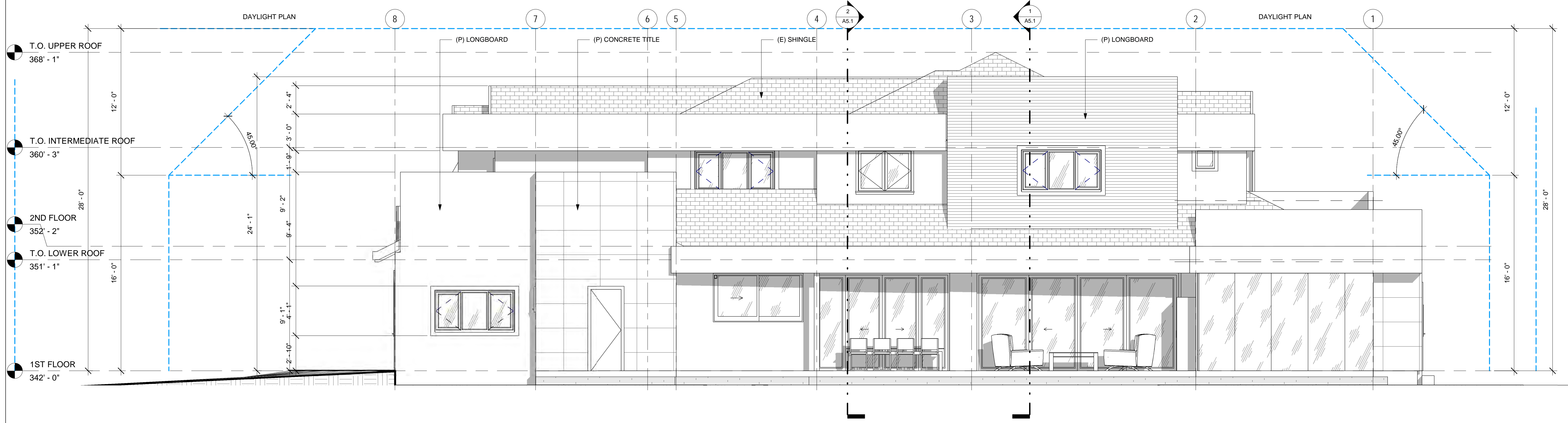


PROPOSED EAST ELEVATION



SCALE: 1/4"=1'-0"

1

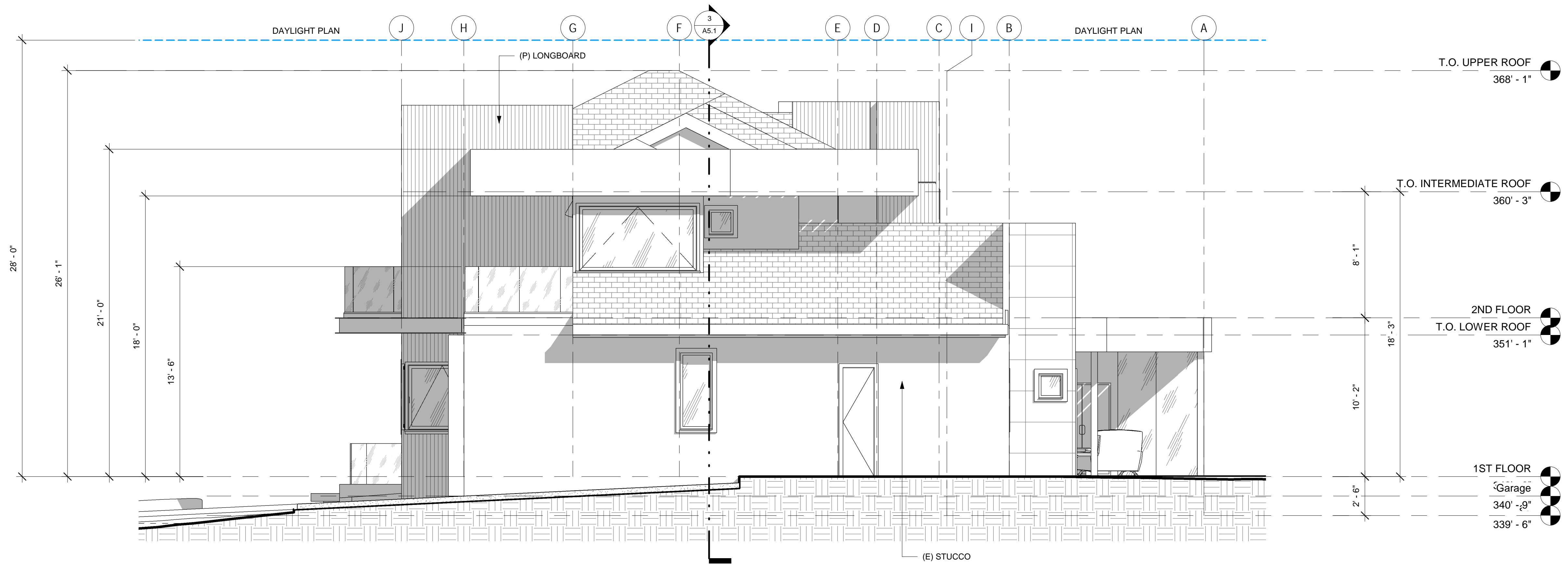


PROPOSED WEST ELEVATION



SCALE: 1/4"=1'-0"

1

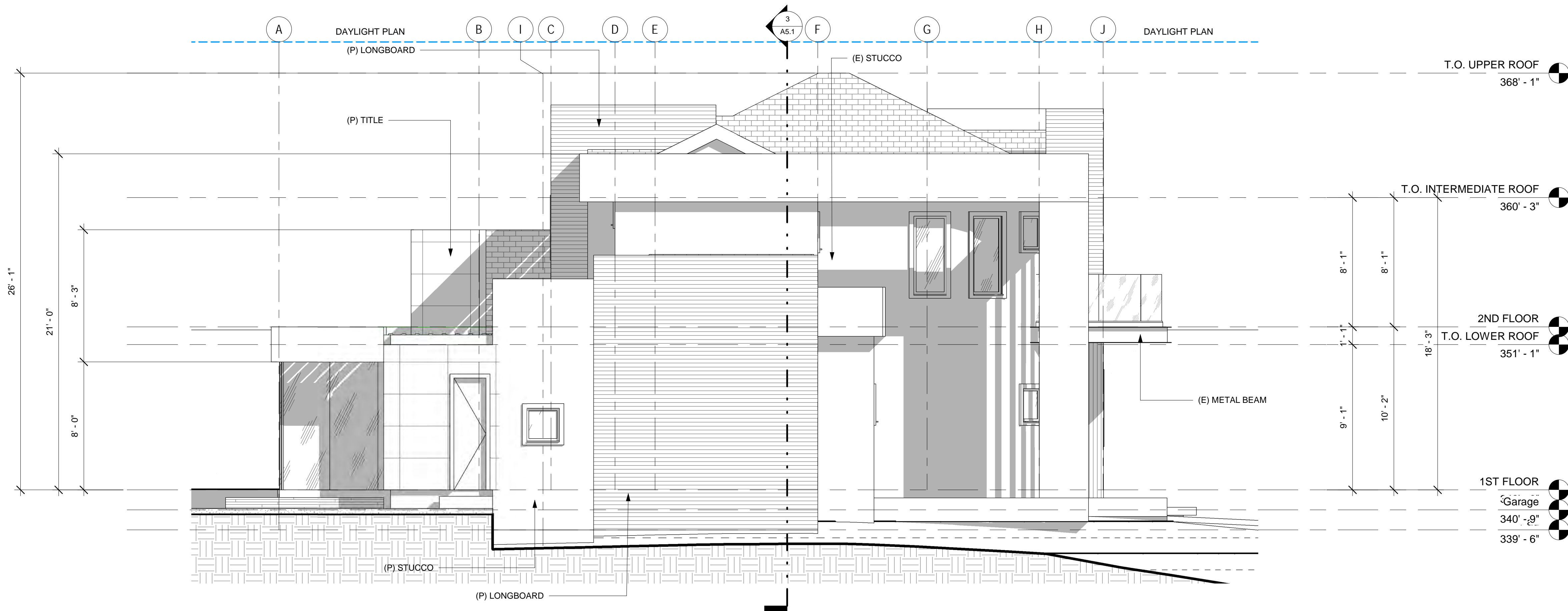


PROPOSED NORTH ELEVATION



SCALE: 1/4"=1'-0"

1



PROPOSED SOUTH ELEVATION



SCALE: 1/4"=1'-0"

1

M-DESIGNS ARCHITECTS

M-DESIGNS ARCHITECTS
4131 WEST EL CAMINO REAL, SUITE
200, PALO ALTO CA 94306
www.mdesignsarchitects.com
Email: info@mdesignsarchitects.com
Phone: 650-565-9036
Fax: 650-625-7869

ZACHYSTAL RESIDENCE AT
720 VISTA DRIVE,
REDWOOD CITY, CA 94062

PLANNING PACKAGE
PROPOSED NORTH & SOUTH
ELEVATIONS

02.13.2020

A6.4

2/13/2020 6:20:08 PM



ARBORIST REPORT



WE 1714-A
Eddie Farquharson
264 Sylvan Way
Emerald Hills, Ca. 940

Report date: Report date: 1 / 24 / 2020

Inspection date: 1 / 23 / 20

Page 1 of 3

Mr. Zachystal
720 Vista Drive
Emerald Hills, Ca. 94062

RE: Proposed new construction area located at 720 Vista Drive, Emerald Hills Ca. 94062

Dear Mr. Zachystal:

The following is a report requested by you regarding any tree with a dripline that overhangs the proposed new construction area, located in the front left side of your residence. There is a grove of five Coastal Live Oak located inside of the proposed construction area. (Exhibit A, B, C)

OBSERVATIONS:

Tree # 1 - Coastal Live Oak (*Quercus agrifolia*) with a d.b.h. of 16" measured at 54" above natural grade. The tree is approximately 40' tall. Foliage color appears normal, foliage density appears normal. The drip irrigation requires repair and is saturating the base of the tree. (Exhibit A)

Tree # 2 - Coastal Live Oak with a d.b.h. of 13" and approximately 30' tall. Foliage color appears fair with excessive dieback, foliage density appears sparse. (Exhibit D)

Tree # 3 - Coastal Live Oak with a d.b.h. of 13" and approximately 30' tall. The tree is a co-dominant structure @ 6'. One main stem the foliage color appears chlorotic with excessive dieback. The second main stem, foliage color appears normal and foliage density appears normal. (Exhibit E)

Tree # 4 - Coastal Live Oak with a d.b.h. of 18" and approximately 30' tall. Foliage color appears fair and foliage density appears sparse. (Exhibit F)

Tree # 5 - Coastal Live Oak with a d.b.h. of 13" and approximately 30' tall. Foliage color appears normal, foliage density appears fair. (Exhibit G)

Page 2 of 3

Continued

CONCLUSION:

New construction can be executed in this area with minimal impact to the five existing Coastal Live Oak trees if a tree protection plan is implemented and if the tree protection guidelines are followed throughout the entire construction process.

RECOMMENDATIONS:

Trees 1, 2, 3, 4, 5

Remove leaf debris from the base of each tree to a minimum distance of 24".

Excavate soil from the base of each tree to expose the natural grade and root flare to minimize the potential for disease.

Leaf litter should be kept to a maximum depth of approximately 4" to promote oxygen exchange in the existing soil.

Irrigation should not contact the main stem of any tree. Supplemental irrigation in dry weather should be located within the dripline area of the tree canopy.

A Tree Protection Zone (TPZ) SHALL be installed before any construction begins and remain in place until final inspection.

The Tree Protection Zone SHALL consist of 6' steel stakes driven into the soil with 4' Horesco plastic fencing attached.

WARNING signs SHALL be predominantly displayed on each fence @ 10' intervals with a size minimum of 8.5" X 11" clearly stating "WARNING TREE PROTECTION ZONE"

Page 3 of 3

Continued

Tree Protection Fencing SHALL be installed at or beyond the canopy drip line where practical and completely enclose the grove of five Coastal Live Oak before any construction begins and remain in place until final inspection.

Any work to be done inside the TPZ (SHALL) be done with hand tools to minimize soil compaction and tearing of roots.

Any roots severed 1" or greater SHALL be cut squarely with a sharp tool and immediately covered with burlap and kept moist until backfilled.

NO storage of soil or debris shall be placed within the Tree Protection Zone.

Driveway clearance for material delivery can be achieved by removal of one lower limb from a Coastal Live Oak. (Exhibit H)

If you have any questions, please call me at (510) 366-5801

Thank you,

Eddie Farquharson

Visit us at TheNeckOfTheWoods.com Lifetime Member

EXHIBIT A,B



EXHIBIT H



EXHIBIT C



EXHIBIT D



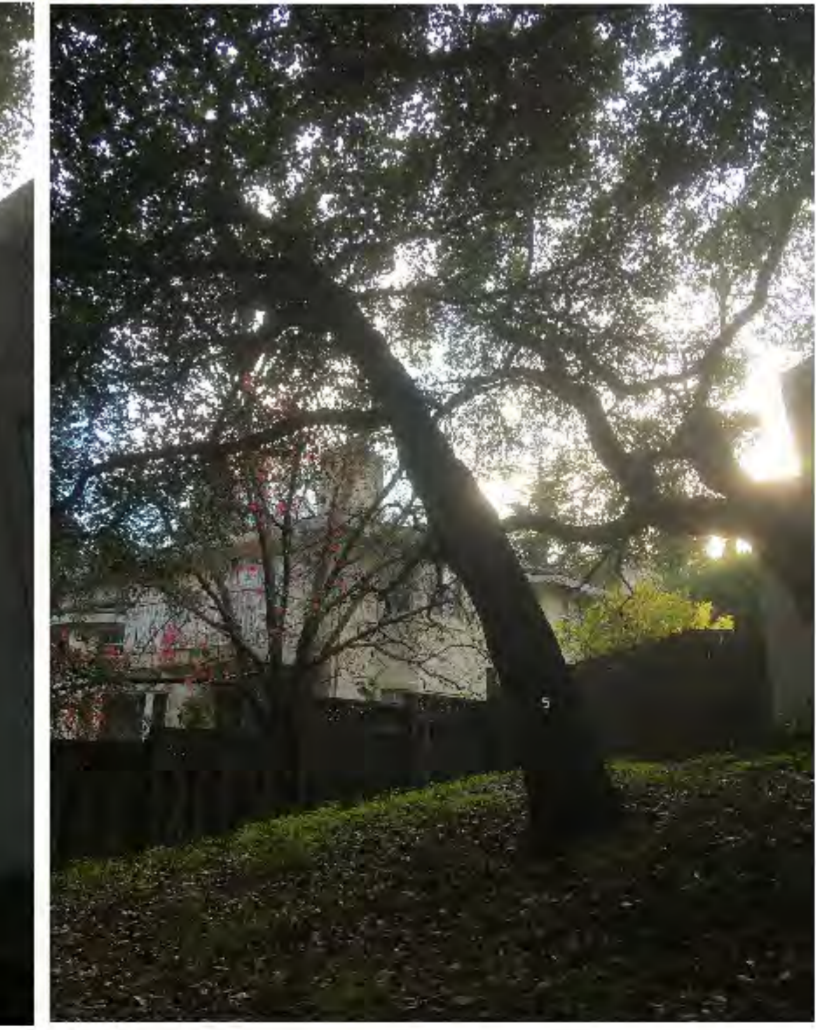
EXHIBIT E



EXHIBIT F



EXHIBIT G



Description	Date

M·DESIGNS ARCHITECTS

M·DESIGNS ARCHITECTS
4131 WEST EL CAMINO REAL, SUITE 200, PALO ALTO CA 94306
www.mdesignsarchitects.com
Email: info@mdesignsarchitects.com
Phone: 650-565-9039
Fax: 650-565-7889

ZACHYSTAL RESIDENCE AT
720 VISTA DRIVE,
REDWOOD CITY, CA 94062

PLANNING PACKAGE
ARBORIST REPORT

02.13.2020

AR-1.0

2/19/2020 11:18:13 PM