

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: November 19, 2020

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Non-conforming Use Permit and Architectural Review Exemption, pursuant to Section 6133.3.b(2) and 6137 of the County of San Mateo Zoning Regulations and Streets and Highways Code Section 261, to enlarge a non-conforming single-family residence with a 518 sq. ft. second story addition that continues a 9-inch left side yard setback where 10 feet is required, and waive the required two covered parking spaces, on a legal non-conforming 7,500 sq. ft. parcel located at 123 Creek Trail in the unincorporated North Skyline area of San Mateo County. The project includes the removal of two (2) redwood trees.

County File Number: PLN 2019-00480 (Barry/Lim)

PROPOSAL

The applicant is requesting a Non-conforming Use Permit and Architectural Review Exemption to enlarge a non-conforming single-family residence with a 518 square foot second story addition that will relocate one bedroom and add one bathroom to the new upper floor of the existing two-bedroom residence, located at 123 Creek Trail in the unincorporated North Skyline area of San Mateo County. The second story addition would continue a 9-inch left side yard setback, where a 10-foot side yard setback is required, to match the non-conforming left side yard setback of the first floor of an existing non-conforming 1,048 square foot residence on a non-conforming parcel (7,500 sq. ft. where 20,000 sq. ft. is required). The project also involves the removal of two (2) redwood trees (24-inch diameter and 45-inch diameter at breast height (dbh)) in the left side yard to accommodate the proposed addition.

Two (2) covered parking spaces are required in association with the major remodel and addition, as currently none exist. Due to existing development and limited space available at the property, the applicant is seeking a waiver of the two covered parking spaces as part of the Non-conforming Use Permit.

RECOMMENDATION

That the Zoning Hearing Officer approve the Non-conforming Use Permit and Architectural Review Exemption, PLN 2019-00480, by making the required findings and adopting the conditions of approval included in Attachment A.

BACKGROUND

Report Prepared By: Lawrence Truong, Project Planner

Applicant: Aaron Lim

Owner: Bo Galen Barry

Location: 123 Creek Trail, North Skyline

APN: 067-168-300

Size: 7,500 sq. ft.

Existing Zoning: R-1/S-10 (Single-family residential/20,000 sq. ft. lot minimum)

General Plan Designation: Residential, Low Density Residential

Sphere-of-Influence: N/A

Existing Land Use: Two existing legal single-family residences, built in 1924 and 1949

Water Supply: California Water Service – Bear Gulch

Sewage Disposal: Existing on-site septic system

Flood Zone: Flood Zone X (areas of minimal flood hazard), FEMA Community Panel Number 06081C0290E, effective October 16, 2012.

Environmental Evaluation: Categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15301, Class 1, for the residential addition of less than 10,000 sq. ft. in an area where all necessary public services and facilities are available to allow for maximum development permissible in the General Plan. Although the property is located in the Skyline Scenic Corridor, it is not visible from Skyline Blvd.

Setting: The subject parcel is approximately 7,500 sq. ft. in size and is located off Creek Trail, a narrow road in the North Skyline area. There are two existing legal residences on the property. The surrounding area consists of existing single-family residences. The property is located approximately 300 feet to the west of Skyline Boulevard, with mature trees, developed parcels, and varied topography.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

The project conforms with the following applicable General Plan Policies:

- a. Policy 4.22 (*Scenic Corridors*) seeks to protect and enhance the visual quality of scenic corridors by managing the location and appearance of structural development and Policy 4.49 (*Scale*) seeks to design structures which are compatible in size and scale with their building site and surrounding environment, including adjacent man-made or natural features.

The project involves a remodel and addition to the existing one-story single-family residence to include a new non-conforming second story. No expansion of building footprint is proposed. The property is located approximately 300 feet to the west of Skyline Boulevard, with mature trees, developed parcels, and varied topography screening the project parcel from Skyline Boulevard. While there is no distinct design theme for this area of North Skyline, surrounding development includes older one- and two-story residences with a mix of stucco and wood siding, gable-style roofs, and one- and two-car garages. Thus, the proposed improvements would not impact the visual quality of scenic corridors and would be compatible with surrounding homes in the area.

- b. Policy 4.52 (*Colors and Materials*) seeks to use colors and materials which: (1) blend with or complement the surrounding natural environment, (2) do not dominate or overpower the site, (3) are compatible with the size, scale, and architectural style of the structure, and (4) with the exception of greenhouses, are not highly reflective.

The project involves colors and materials that would be the same as or similar to what is existing like stained wood shingle siding. The project would replace existing wood doors and windows with new painted aluminum clad wood doors and windows with wood trim. The color of the windows and trim would be either dark midnight bronze or dark Hartford green. The base of the house would be grey stone. Roofing would be grey asphalt composition shingle roof. The proposed colors and materials blend with the surrounding natural rural environment.

- c. Policy 4.58 (*Tree and Vegetation Removal*) seeks to allow the removal of trees and natural vegetation when done in accordance with existing regulations.

The project involves the removal of two (2) redwood trees (24 -inch and 45 -inch dbh) in the left side yard to accommodate the proposed addition. An arborist report prepared by Bay Arborist, dated January 22, 2020, describes the trees are right next to the existing house and would likely damage the foundation and structure of the house as they continue to grow. In addition, the County Arborist conducted a site visit on March 2, 2020 and concurred with the proposed removal of the two (2) trees. Therefore, the removal of trees would be done in accordance with existing regulations.

2. Conformance with the Zoning Regulations

The project conforms with the following applicable Zoning Regulations:

a. Development Standards

The project parcel is zoned R-1/S-10 (Single-family residential/20,000 sq. ft. lot minimum). The existing one-story single-family residence was built with a non-conforming left side setback of 9 inches where 10 feet is required and no covered parking where two covered parking spaces are required for the existing two-bedroom residence. The following table provides an analysis of the project’s conformance with the zoning development standards for the property:

S-10 Development Standards and Covered Parking Regulations			
	Required	Existing	Proposed Addition
Minimum Lot Width	75 ft.	75 ft.	No change
Minimum Building Area	20,000 sq. ft.	7,500 sq. ft.*	No change*
Minimum Front Yard Setback	20 ft.	13 ft., 1 in.*	41 ft., 7 1/2 in.
Minimum Side Yard Setbacks			0 ft., 9 in.** 51 ft.
Left Side	10 ft.	0 ft., 9 in.*	
Right Side	10 ft.	51 ft.	
Minimum Rear Yard Setback	20 ft.	30 ft., 9 in.	30 ft., 9 in.
Maximum Lot Coverage	25%	28%*	No change*
Maximum Building Height	36 ft.	13 ft., 1 in.	23 ft., 11 in.
Covered Parking	2	None*	None**

S-10 Development Standards and Covered Parking Regulations			
	Required	Existing	Proposed Addition
*Non-conforming. **Non-conforming Use Permit required.			

Pursuant to Section 6133.3.b(2) and 6137 of the County’s Zoning Regulations, a Non-conforming Use Permit is required to enlarge a non-conforming structure on a non-conforming sized parcel where the enlargements will not conform with the current zoning regulations as evidenced above and described below.

Non-conforming Parcel

The proposed project entails enlarging an existing non-conforming residence (i.e., non-conforming front and left side yard setbacks and lot coverage) on an improved non-conforming sized parcel where the proposed enlargements will not conform with the R-1/S-10 development standards; thus requiring a non-conforming use permit. The minimum required parcel size in the “S-10” combining district is 20,000 sq. ft. where the existing legal, developed parcel is only 7,500 sq. ft. in size. There is another existing residence located on the property, but no changes are proposed.

Non-conforming Setbacks

The project proposes a non-conforming left-side yard setback of 9 inches to accommodate a second story, which will match the non-conforming first floor left side yard setback, where 10 feet is required.

Non-conforming Off-street Parking

According to County records, the existing residence is non-conforming for on-site covered parking as the property currently has no covered parking where two spaces are required per Section 6119 of the Zoning Regulations. The project includes a major remodel and addition which requires the non-conforming parking situation be brought into conformance. The project applicant has demonstrated that it would not be possible to provide two covered off-street parking spaces without needing further exceptions for lot coverage or setbacks. However, the property does have ample on-site parking provided by the existing paved driveway. Therefore, in an effort to minimize the number of zoning exceptions needed for the project, the applicant is seeking an exception to waive the required two covered parking spaces as the existing onsite driveway can accommodate two off-street uncovered parking spaces.

b. Use Permit Findings

The following findings, as required by Section 6133.3.b(3) and 6137, and in reference, Section 6503, must be made in order to grant approval of the Non-conforming Use Permit:

(1) That the proposed development is proportioned to the size of the parcel on which it is being built.

The proposed second floor addition is approximately 50 percent of the size of the first floor and positioned above the rear portion of the existing residence, furthest away from the roadway. Furthermore, the project minimizes the footprint of new development on the substandard 7,500 sq. ft. parcel by seeking a waiver for covered parking (which can still be accommodated on-site in the driveway) and proposing no change in lot coverage, which is already non-conforming.

(2) That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

The substandard sized parcel is surrounded by developed substandard sized parcels, therefore, none of the adjacent properties have excess land to offer the project parcel. Additionally, the adjacent parcels are under separate private ownership and not available for purchase.

(3) That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

Given the existing non-conformities on the project site and one-story single-family residence (i.e. parcel size, left side yard setback, and covered parking), the proposed project will allow reasonable addition to an existing residence without introducing any new non-conformities beyond those that already exist. Additionally, in an effort to minimize the number of zoning exceptions needed for the project, the applicant is seeking an exception to waive the required two covered parking spaces as the existing on-site driveway can accommodate two off-street uncovered parking spaces. Therefore, staff believes this project is as nearly in compliance with the current zoning regulations as possible.

(4) That the use permit approval does not constitute a granting of special privileges.

Approval of a non-conforming use permit for the proposed project does not constitute the granting of a special privilege as the Zoning Regulations Non-Conformities Chapter provides the same exception process for similar parcels under the same conditions.

(5) That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

Surrounding development in the neighborhood, a non-coastal area, consists primarily of older one- and two-story single-family residences. The proposed project will continue to utilize the property for single-family residential purpose and proposes a design and finish materials that are compatible with surrounding single-family residential development.

The proposed second floor has been recessed on the front to comply with the minimum 20-foot front yard setback of the "S-10" development standards. Additionally, the proposed second floor addition does not propose any windows along the left side wall and limits this upper floor side wall to less than 22 ft. to minimize development impacts on the nearest neighboring property.

The project involves the removal of two (2) redwood trees (24-inch and 45-inch dbh) in the left side yard to accommodate the proposed addition. An arborist report prepared by Bay Arborist and the County Arborist supports the proposed removal of the two trees.

According to County records, two covered parking spaces have been established for the other legal residence on the property. The project does not include any additional covered parking spaces, where two covered parking spaces are required for the proposed project. The applicant has demonstrated on plans that it would not be possible to provide two covered off-street parking spaces without encroaching upon the front half of the lot per Section 6411(b) in Chapter 22 of the San Mateo County Zoning Regulations, but two uncovered parking spaces can be maintained on the existing driveway. Given the constraints of existing development on the parcel with regard to locating new covered parking in conformance with zoning standards, staff finds that the applicant's proposal to continue utilizing the existing improved driveway will minimize the amount of new development in a

more rural setting while avoiding parking impacts to the area. Therefore, as proposed, staff believes the project will not generate any significant adverse impacts or be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

3. Architectural Review Exemption

The County's Architectural Standards for Skyline Boulevard allows exemption from architectural review for proposed structures that would not be visible from the Skyline Boulevard roadway. Staff conducted a site visit on March 2, 2020 and found that due to the parcel's distance from Skyline Boulevard and intervening vegetation and topography, the proposed addition will not be visible from Skyline Boulevard. The property is located on the west side of Skyline Boulevard, approximately 300 feet from Skyline Boulevard, with mature trees, developed parcels, and varied topography screening the project parcel from Skyline Boulevard. Furthermore, see Section A.1 above for discussion on how the project complements its natural surrounding rural setting.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15301, Class 1, for the residential addition of less than 10,000 sq. ft. in an area where all necessary public services and facilities are available to allow for maximum development permissible in the General Plan. Although the property is located in the Skyline Scenic Corridor, as described above, the proposed development will not be visible from Skyline Blvd.

C. REVIEWING AGENCIES

Building Inspection Section
Drainage Section
Environmental Health Services
San Mateo County Fire Department

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2019-00480 Hearing Date: November 19, 2020

Prepared By: Lawrence Truong,
Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15301, Class 1, for the residential addition of less than 10,000 sq. ft. in an area where all necessary public services and facilities are available to allow for maximum development permissible in the General Plan. Although the property is located in the Skyline Scenic Corridor, as described above, the proposed development will not be visible from Skyline Blvd.

For the Non-conforming Use Permit, Find:

2. That the proposed development is proportioned to the size of the parcel on which it is being built as the second-floor addition is approximately half the size of the first floor and positioned furthest away from the roadway. Furthermore, the project minimizes the footprint of development on the substandard sized 7,500 sq. ft. parcel by seeking a waiver for covered parking and no change in lot coverage.
3. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible as the parcel is surrounded by similarly developed substandard sized parcels under separate private ownership which do not have excess land to offer and are not available for purchase.
4. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible since the project does not introduce any new non-conformities beyond those already in existence (i.e., parcel size, left side yard setback, and covered parking).
5. That the use permit approval does not constitute a granting of special privileges as the Zoning Regulations Non-Conformities Chapter provides the same exception process for similar parcels under the same conditions.

6. That the establishment, maintenance and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the neighborhood as the project site is not located in the coastal zone and the proposed second floor has been recessed on the front to comply with the minimum 20-foot front yard setbacks of the "S-10" development standards. Even though the project involves the removal of two (2) redwood trees (24 -inch and 45 -inch dbh) in the left side yard to accommodate the proposed addition, the second-floor addition has been designed to minimize impacts to the nearest neighboring property. Given the constraints of existing development on the parcel, the applicant's proposal for two uncovered parking spaces in the driveway is as nearly in conformance with covered parking requirements as reasonably possible. Furthermore, the proposed design and finish materials are compatible with surrounding residential development in the neighborhood.

For the Architectural Review Exemption, Find:

7. That the project is exempt from the requirement for Architectural Review. A field inspection of the property by Planning staff confirmed that the proposed project is over 300 feet away from Skyline Boulevard and screened with mature trees, developed parcels, and varied topography and therefore is not visible from Skyline Boulevard.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and materials approved by the Zoning Hearing Officer on November 19, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.
2. This Non-conforming Use Permit is valid for one (1) year from the date of final approval in which time a valid building permit shall be issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable fees sixty (60) days prior to expiration.
3. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section and the County Fire Protection District. Additionally, construction shall not commence until a valid building permit is issued.

4. To reduce the impact of any construction-related activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the Creek Trail right-of-way. All construction vehicles shall be parked on-site outside public right-of-ways or in public locations which do not impede safe access on Creek Trail. There shall be no storage of construction vehicles in the public right-of-way.
5. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site by:
 - a. Protecting areas not to be disturbed using a vegetative buffer strip or fence/barrier.
 - b. Covering construction materials stored on-site with a tarp or other waterproof material when not in use.
 - c. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - d. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
6. Noise levels produced by the proposed construction activity shall not exceed the 80-dBA level at any one moment. Construction activities shall be limited to the hours from 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction operations are prohibited on Sunday and any national holiday.
7. This approval authorizes the removal of two redwood trees 24-inch dbh and 45-inch dbh). No additional trees are authorized for removal without prior approval from the Planning Department under a separate tree removal permit or amendment to this approval.

8. The applicant shall submit the proposed colors and materials to the Planning Department for review and approval prior to the issuance of a building permit. Photo verification shall be submitted to the Current Planning Section confirming the approved colors and materials have been implemented prior to final Planning approval of the building permit for this project.
9. All exterior lighting for the residence shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. Proposed exterior lighting shall be reviewed and approved by the Planning Department during the building permit process to verify compliance with this condition. Field verification of exterior lighting shall be conducted by the Planning Department prior to final Planning approval of the building permit for this project.
10. All new utility installations shall be installed underground.
11. As part of the building permit submittal, the applicant shall include a Tree Protection Plan. The Tree Protection Plan shall at a minimum conform with the tree protection standards set forth in Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance

Building Inspection Section

12. A valid building permit shall be issued prior to the commencement of any work.

Drainage Section

13. At the time of building permit submittal, the site plan shall be updated to include all existing and proposed drainage features (including roof gutter downspouts), to show slopes in the project vicinity, and any mechanisms required to prevent stormwater flows from crossing the neighboring property. All new roof gutter downspouts adjacent to landscaping shall have splash blocks installed to promote dispersion.

Environmental Health Services

14. At the time of building permit submittal:
 - a. Details of the onsite wastewater treatment system (OWT) e.g. septic tank, diversion valve, dispersal trench lengths, and reserve trench/es will need to be delineated onto the site plan, grading/drainage plan, etc. Note: OWTS may need to be located by an OWTS professional and field verified by Environmental Health Services.
 - b. The septic tank will need to be pumped/evaluated and dispersal field water tested by a San Mateo County certified pumper. A report shall be provided to Environmental Health for review.

San Mateo County Fire Department

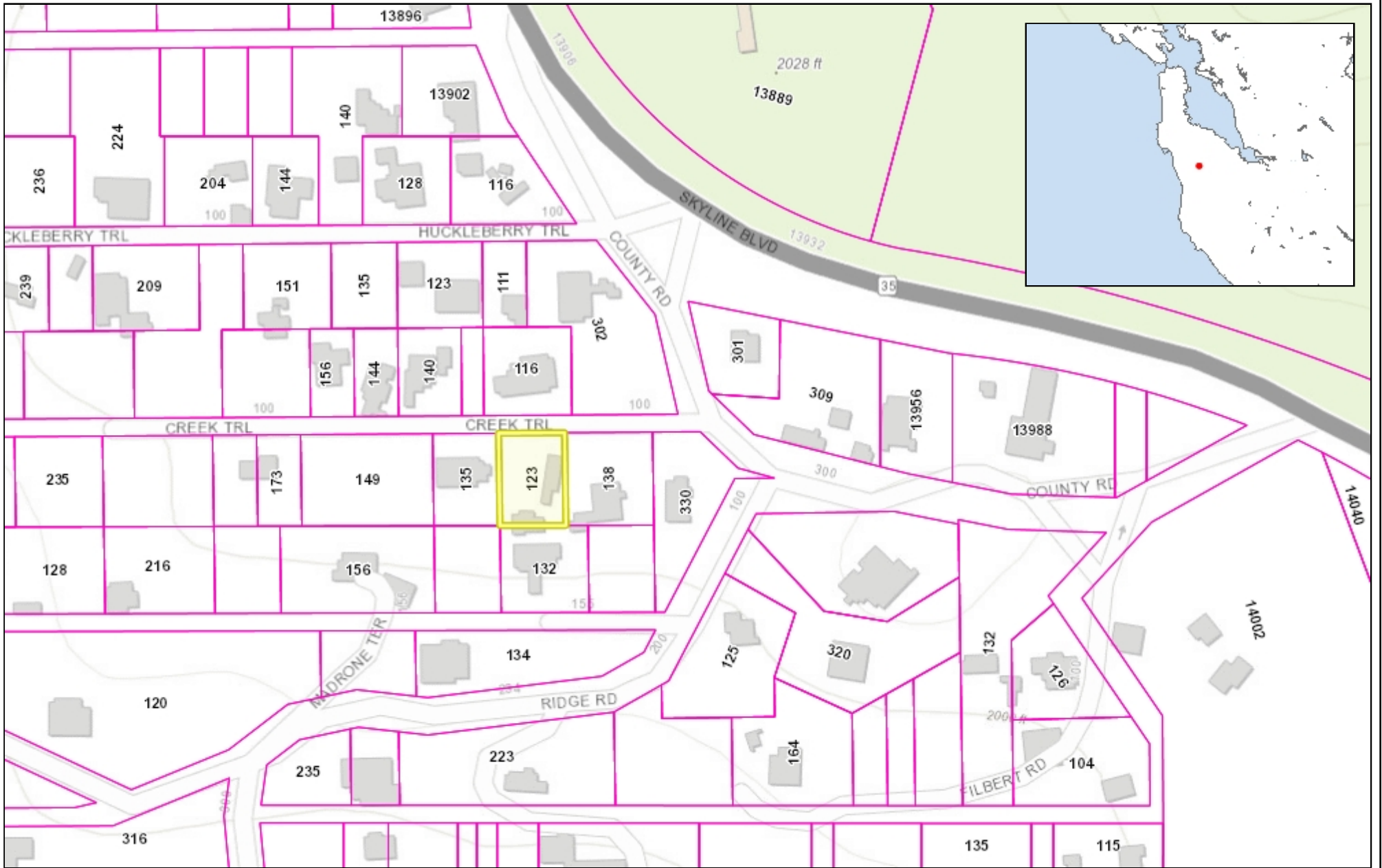
15. This project is located in a State Responsibility Area for wildfire protection. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection shall meet CRC R337 requirements. Add this note to plans submitted for building permit.
16. Address numbers assigned by the Planning and Building Department shall be posted on all dwelling units. Address numbers shall be a minimum of 4-inches in height, 1/2-inch stroke, on a contrasting background. Address numbers and directional signs may be required at the entrance to the driveway/access road, road forks, and intersections. When located on the street the numbers shall be visible from each direction of travel. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.
17. The residence will require an NFPA 13D automatic fire sprinkler system. Add this note to the plans submitted for building permit.
18. Add note to the title page of plans submitted for building permit that the building will be protected by an automatic fire sprinkler system.
19. Provide fire flow report from water purveyor for hydrant. Hydrant is to flow 1000 gpm at 20 psi. If there is not a hydrant within 500 feet with the required flow, one will have to be installed at the applicant's expense.
20. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

ABBREVIATIONS

AB. ANCHOR BOLT	JAN. JANITOR
ABV. ABOVE	J.BOX JOINTION BOX
A.C. AIR CONDITIONING	J.H. JOIST HANGER
AD. AREA DRAIN	JNT. JOINT
ADJ. ADJUSTABLE	JST. JOIST
A.F.F. ABOVE FINISHED FLOOR	K.D. KILN DRIED
AGGR. AGGREGATE	KIT. KITCHEN
ALT. ALTERNATE	L. LONGLENGTH
ALUM. ALUMINUM	LAM. LAMINATE
ANOD. ANODIZED	LAV. LAVATORY
AP. ACCESS PANEL	LB. POUND
APPROX. APPROXIMATE	LCQ. LACQUER
ARCH. ARCHITECTURAL	LP. LOW POINT
BD. BOARD	LT. LIGHT
BITUM. BITUMINOUS	LTG. LIGHTING
BLDG. BUILDING	MACH. MACHINE
BLK. BLOCK	MAT. MATERIAL
BLKG. BLOCKING	MAX. MAXIMUM
BLV. BELOW	MECH. MECHANICAL
BM. BEAM	MEMB. MEMBRANE
BOT. BOTTOM	MEZZ. MEZZANINE
BRKT. BRACKET	MFR. MANUFACTURER
BTWN. BETWEEN	MID. MIDDLE
B.U.R. BUILT UP ROOFING	MIN. MINIMUM/MINUTE
C/C CENTER TO CENTER	MIRR. MIRROR
C.B. CATCH BASIN	MISC. MISCELLANEOUS
CEM. CEMENT	M.O. MASONRY OPENING
CER. CERAMIC	M.P. METAL PANEL
C.J. CONTROL JOINT	M.S. MOTION SENSOR
CLG. CEILING	MTD. MOUNTED
CLG. CAULKING	MTG. MOUNTING
CLR. CLEAR	MTL. METAL
C.M.U. CONCRETE MASONRY UNIT	MULL. MULLION
COL. COLUMN	MW. MICROWAVE
COMB. COMBINATION	(N) NEW
CONC. CONCRETE	N NORTH
CONN. CONNECTION	N.I.C. NOT IN CONTRACT
CONSTR. CONSTRUCTION	NO. NUMBER
CONT. CONTINUOUS	NOM. NOMINAL
CONTR. CONTRACTOR	N.T.S. NOT TO SCALE
CPT. CARPET	O OVER
C.T. CERAMIC TILE	O.C. OVERALL
CTR. CENTER	ON CENTER
CW. COLD WATER	O.D. OUTSIDE DIMENSION
D DEEP/DEPTH	OH. OVERHEAD
DBL. DOUBLE	OPG. OPENING
DEG. DEGREE	OPP. OPPOSITE
DEMO. DEMOTTION	PCT. PRE-CAST
DEPT. DEPARTMENT	PERF. PERFORATED
DET/DTL. DETAIL	PERP. PERPENDICULAR
D. DIAGONAL	P.L. PROPERTY LINE
DIA. DIAMETER	P.LAM. PLASTIC LAMINATE
DIM. DIMENSION	PLAS. PLASTER
DN. DOWN	PLYWD. PLYWOOD
DR. DOOR	PNT. PAINT
DS. DOWNSPOUT	PTD. PAINTED
DW. DISHWASHER	PR. PAIR
DWG. DRAWING	PT. POINT/PRESSURE TREATED
DWR. DRAWER	PWR. POWER
(E) EXISTING	Q.T. QUARRY TILE
E. EAST	QTY. QUANTITY
EA. EACH	(R) REMODELED
E.A. EXPANSION BOLT	R. RISER
E.J. EXPANSION JOINT	R. RAD. RADIUS
EL. ELEVATION	R.B. RUBBER BASE
ELEC. ELECTRICAL	ROP. REFLECTED CEILING PLAN
EV. ELEVATOR	R.D. ROOF DRAIN
EMER. EMERGENCY	RECEP. RECEPTACLE
ENCL. ENCLOSURE	RECT. RECTANGULAR
ENGR. ENGINEER	REF. REFERENCE
E.P.B. ELECTRICAL PANEL BOARD	REFR. REFRIGERATOR
EQ. EQUAL	REINF. REINFORCED
EQUIP. EQUIPMENT	REQD. REQUIRED
EW. EACH WAY	RESIL. RESILIENT
EQ. EXPANSION EXPOSED	RETO. RETAINING
EXT. EXTERIOR	REV. REVISION
(F) FUTURE	RM. ROOM
F.A. FIRE ALARM	RND. ROUND
FABR. FABRICATE	R.O. ROUGH OPENING
F.R. FLOOR AREA RATIO	RWL. RAINWATER LEADER
F.A. FLAT BAR	S. SOUTH
F.D. FLOOR DRAIN	S.C. SOLID CORE
F.D.A. FIRE DEPARTMENT CONNECTION	S.C.D. SEE CIVIL DRAWINGS
FDNFND. FOUNDATION	SCHED. SCHEDULE
F.E. FIRE EXTINGUISHER	SCR. SCREEN
F.E.C. FIRE EXTINGUISHER CABINET	SCWD. SOLID CORE WOOD DOOR
F.F. FINISH FLOOR	SECT. SECTION
F.F.E. FINISH FLOOR ELEVATION	S.F. SQUARE FOOT
F.G. FINISH GRADE	SHT. SHEET
F.H. FULL HEIGHT	SHTHG. SHEATHING
F.H.C. FIRE HOSE CABINET	SHWR. SHOWER
F.H.M.S. FLAT HEAD MACHINE SCREW	SIM. SIMILAR
F.H.W.S. FLAT HEAD WOOD SCREW	SKYLT. SKYLIGHT
FIN. FINISH	S.L.D. SEE LANDSCAPE DRAWINGS
FIXT. FIXTURE	S.M.D. SEE MECHANICAL DRAWINGS
FL. FLOW LINE	SMS. SHEET METAL SCREW
FLASH. FLASHING	S.M.W.P. SHEET MEMBRANE WATERPROOFING
FLR. FLOOR	SPEC. SPECIFICATION
FLUOR. FLUORESCENT	S.R. SUPPLY REGISTER
F.O. FINISHED OPENING	SQ. SQUARE
F.O.B. FACE OF BRICK	SST. STAINLESS STEEL
F.O.C. FACE OF CONCRETE	S.S.D. SEE STRUCTURAL DRAWINGS
F.O.F. FACE OF FINISH	STD. STANDARD
F.O.M. FACE OF MASONRY	STL. STEEL
F.O.S. FACE OF STUD	STOR. STORAGE
FRPF. FIREPROOFING	STRUC. STRUCTURAL
FT. FOOT OR FEET	SURF. SURFACE
FTG. FOOTING	SUSP. SUSPENDED
FURR. FURRING	SVC. SERVICE
G. GAS	SVY. SURVEY
GA. GAUGE	SYM. SYMMETRICAL
GALV. GALVANIZED	TR. TREAD
G.B. GRAB BAR	T&B. TOP AND BOTTOM
G.C. GENERAL CONTRACTOR	T&G. TONGUE AND GROOVE
GD. GARBAGE DISPOSAL	T.A. TOWEL BAR
GEN. GENERAL	T.B. TRASH CAN
GFCI. GROUND FAULT CIRCUIT INTERRUPTED	T.C. TRENCH DRAIN
GL. GLASS	T. TEMP. TEMPERED
GLAZ. GLAZED	TER. TERRAZZO
GLB. GLUE LAM BEAM	TG. TEMPERED GLAZING
GND. GROUND	THK. THICK
GR. GRADE	THRES. THRESHOLD
GSM. GALVANIZED SHEET METAL	T.O.C. TOP OF CONCRETE
GYP. GYPSUM	T.O.P. TOP OF PAVEMENT
GYP BD. GYPSUM BOARD	TOPO. TOPOGRAPHY
H. HIGH	T.O.S. TOP OF STEEL
H.B. HOSE BIB	T.O.W. TOP OF WALL
H/C. HANDICAPPED	T.P. THERMOPLASTIC OLEFIN
H.C. HOLLOW CORE	TYP. TYPICAL
HCWD. HOLLOW CORE WOOD DOOR	UNF. UNFINISHED
HDWD. HARDWOOD	UON. UNLESS OTHERWISE NOTED
HW. HARDWARE	VCT. VINYL COMPOSITION TILE
H.M. HOLLOW METAL	VER. VERIFY
HORIZ. HORIZONTAL	VERT. VERTICAL
HP. HIGH POINT	VEST. VESTIBULE
HR. HOUR	VG. VERTICAL GRAIN
HT. HEIGHT	V.I.F. VERIFY IN FIELD
HVAC. HEATING VENTILATION AIR CONDITIONING	W. WITH
HW. HOT WATER	W.C. WATER CLOSET
I.D. INSIDE DIAMETER	WD. WOOD
IN. INCH	W.H. WATER HEATER
INCAD. INCANDESCENT	WN. WINDOW
INFO. INFORMATION	W/O. WITHOUT
INSUL. INSULATION	WP. WATERPROOFING
INT. INTERIOR	WR. WATER RESISTANT
	WT. WEIGHT
	W.V. WOOD VENEER

EXISTING PHOTOGRAPHS (SEE SITE PLAN FOR PHOTO LOCATIONS)



PHOTO A: PARTIAL WEST ELEVATION @ FRONT

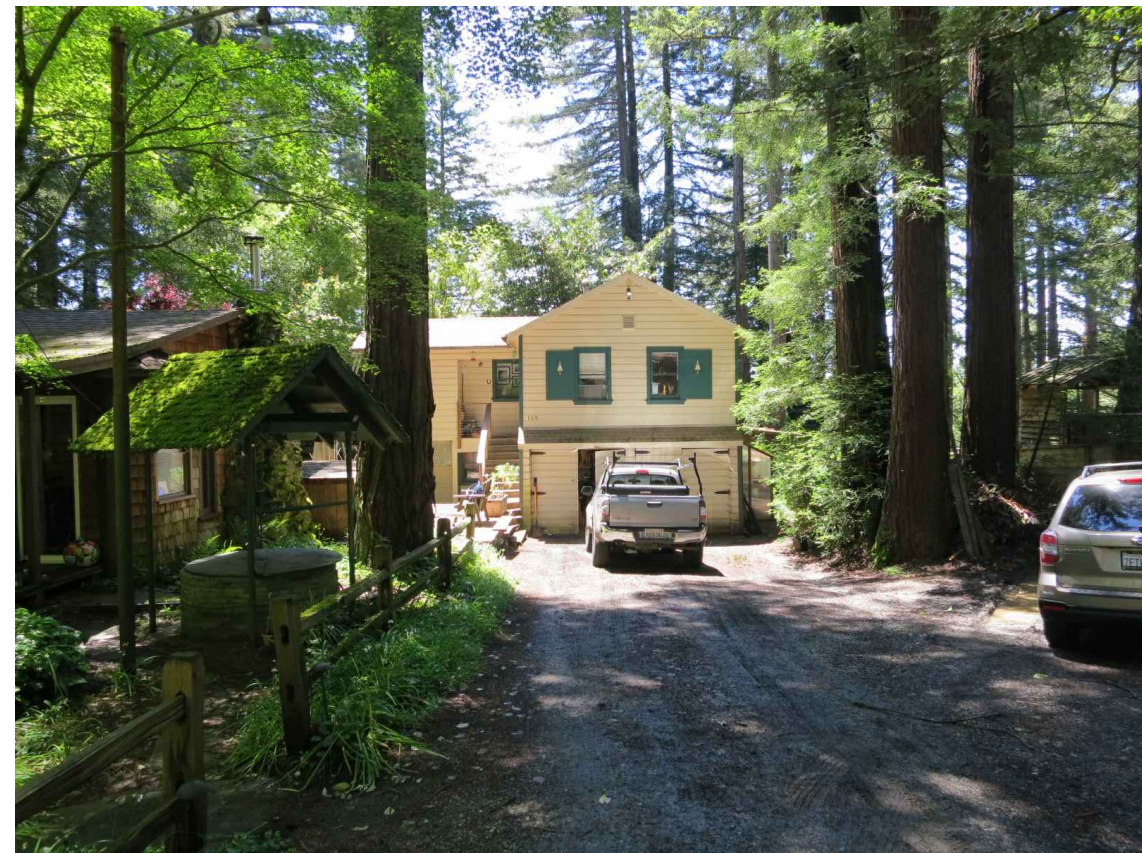


PHOTO B: VIEW FROM DRIVEWAY @ FRONT



PHOTO C: PARTIAL WEST ELEVATION



PHOTO D: PARTIAL WEST ELEVATION

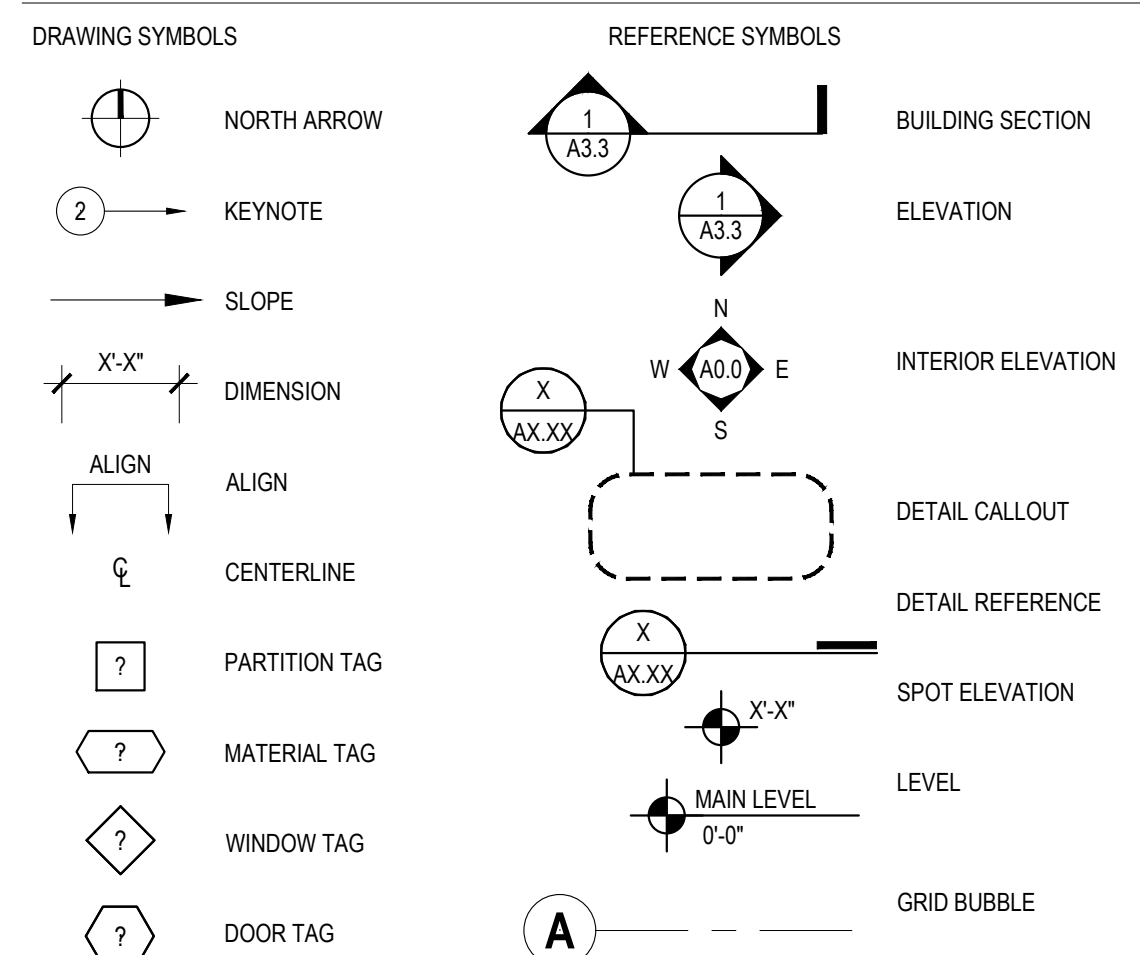


PHOTO E: PARTIAL NORTH ELEVATION



PHOTO F: PARTIAL REAR ELEVATION

ARCHITECTURAL SYMBOLS



APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ENERGY CODE (TITLE-24)
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA GREEN CODE
 ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
 IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

PROJECT SCOPE

NON-CONFORMING USE PERMIT: ADD SECOND FLOOR TO (E) DWELLING UNIT AT 123 CREEK TRAIL. NO EXPANSION OF BUILDING FOOTPRINT. RELOCATE BEDROOM TO UPPER FLOOR & ADD BATHROOM. INTERIOR REMODEL THROUGHOUT. NEW EXTERIOR WINDOWS, DOORS, & SKYLIGHTS, MECHANICAL, ELECTRICAL, & PLUMBING AS REQ'D. FOR WORK.

REMOVE (2) EXISTING REDWOOD TREES AT ADJACENT NEIGHBOR'S PROPERTY PER ARBORISTS REPORT & NEIGHBOR LETTER.

PROJECT INFORMATION

ADDRESS:	123 CREEK TRAIL WOODSIDE, CA 94062		
APN:	67168300		
PLANNING DISTRICT:	WOODSIDE (UNINCORPORATED, NORTH SKYLINE)		
OCCUPANCY:	R-3, RESIDENTIAL		
ZONING:	R-1, S-10		
CONSTRUCTION TYPE:	V-B		
PERMITTED USE:	SINGLE FAMILY RESIDENCE		
EXISTING USE:	SINGLE FAMILY RESIDENCE CONVERTED TO (2) TWO UNITS		
PROPOSED USE:	SINGLE FAMILY RESIDENCE CONVERTED TO (2) TWO UNITS		
LOT AREA:	7,500 SF (SUBSTANDARD PARCEL, MIN. 20,000 SF PER DWELLING UNIT)		
LOT DIMENSIONS:	75'-0" x 100'-0"		
MAX. LOT COVERAGE:	1,875 sf (25% OF LOT AREA)		
LOT COVERAGE:	EXISTING	PROPOSED	MAXIMUM
	2,118 sf	2,110 sf	1,875 sf (25% MAX.)
SQUARE FOOTAGE:	EXISTING	PROPOSED	NET ADDITION
FIRST FLOOR:	1,048 sf	1,040 sf	-8 sf
SECOND FLOOR:	N/A	518 sf	518 sf
TOTAL:	1,048 sf	1,558 sf	510 sf
BASEMENTS:	NONE		
STORIES & HEIGHT:	EXISTING	PROPOSED	MAXIMUM
STORIES:	1	2	3
HEIGHT:	13'-1"	23'-11" 2	36'-0"
SETBACKS:	EXISTING	PROPOSED	REQUIRED
FRONT:	13'-1"	13'-1"	20'-0" 2
REAR:	30'-9"	30'-9"	20'-0" 2
SIDE:	9'	9'	10'-0"
FIRE SPRINKLERS:	EXISTING	PROPOSED	
	NO	YES	

YES: THE RESIDENCE WILL REQUIRE AN NFPA 13D AUTOMATIC FIRE SPRINKLERS SYSTEM. BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.

PROJECT DIRECTORY

OWNER/BUILDER
BO BARRY
123 CREEK TRAIL
WOODSIDE, CA 94062
PHONE: (650) 575-677
EMAIL: barryconst@comcast.net

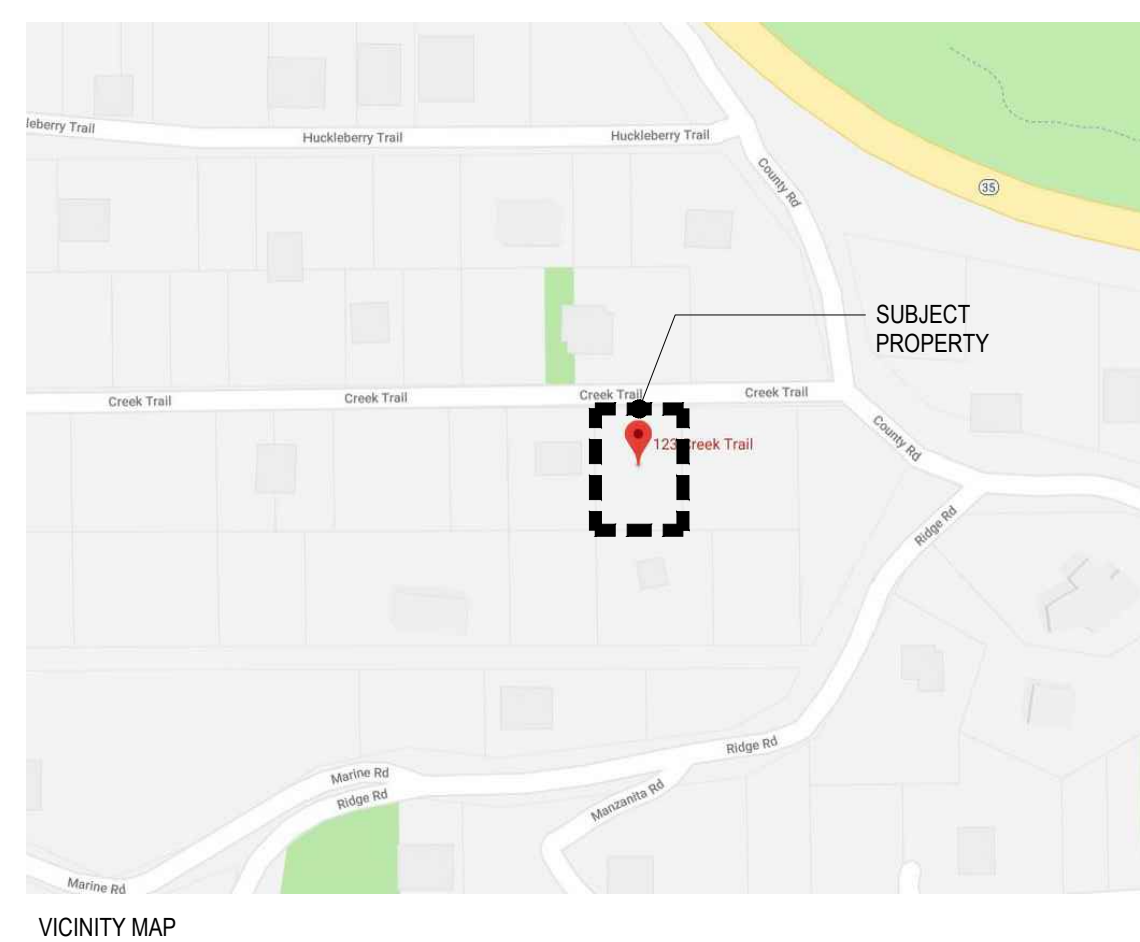
STRUCTURAL ENGINEER
tbd

ARCHITECT
AARON LIM
AARON LIM DESIGN
PHONE: (917) 856-4341
EMAIL: aaronlim.design@gmail.com

SAN MATEO COUNTY FIRE / CAL FIRE
WILDFIRE PROTECTION NOTES

- ROOFING, ATTIC VENTILATION, EXTERIOR WALLS, WINDOWS, EXTERIOR DOORS, DECKING, FLOORS, AND UNDERFLOOR PROTECTION TO MEET CRC R337 REQUIREMENTS.
-

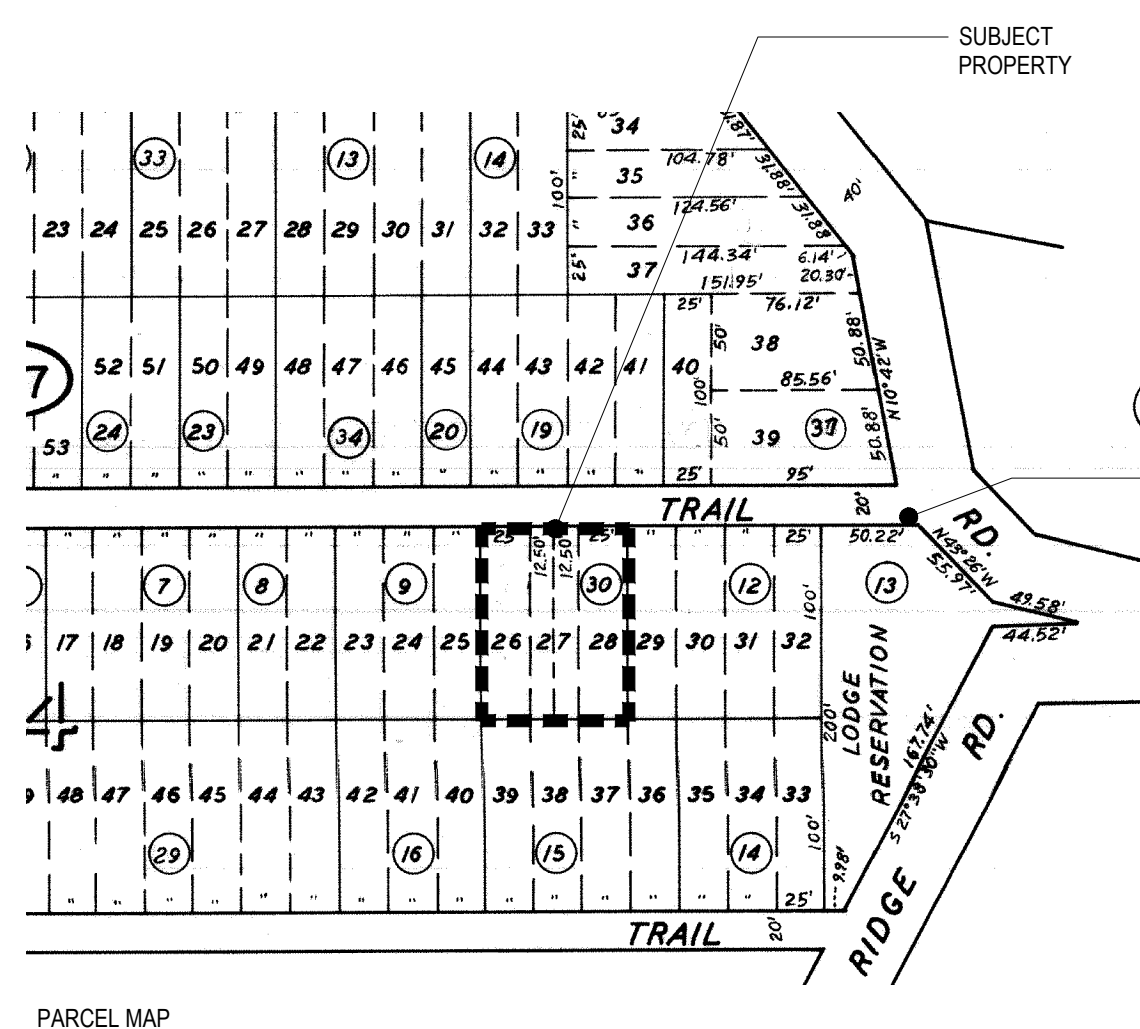
VICINITY / NEIGHBORHOOD MAPS



SHEET INDEX

GENERAL	PROJECT INFO
G0.0	SURVEY
G1.0	
ARCHITECTURAL	SITE PLANS & LOT COVERAGE DIAGRAMS
A1.0	FLOOR PLANS
A1.1	FLOOR & ROOF PLANS
A1.2	FLOOR AREA DIAGRAMS
A1.3	EXTERIOR ELEVATIONS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS

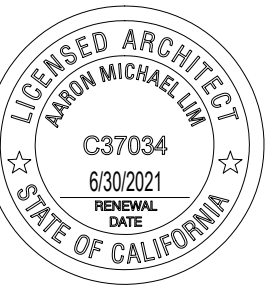
VICINITY MAP



PARCEL MAP

Aaron Lim
Design

Aaron Lim, Architect
917.856.4341
aaronlim.design@gmail.com



123 CREEK TRAIL –
INTERIOR REMODEL
& ADDITION

123 CREEK TRAIL
WOODSIDE, CA 94062

APN: 067-168-300

Current Release Date

July 28, 2020

Current Release

PLANNING PERMIT
SUBMITTAL REV. 2

Description	Date
Planning Permit Submittal	11/14/19
Planning Permit Rev. 1	2/12/20

Drawn By AL

Checked By

Job No. 19-008

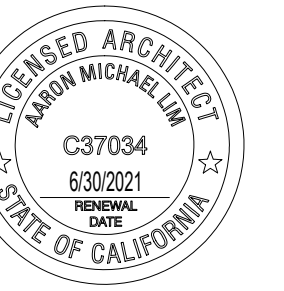
Print Date 11.14.2019

Scale AS NOTED

North

PROJECT INFO

GO.0



**123 CREEK TRAIL –
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& ADDITION**

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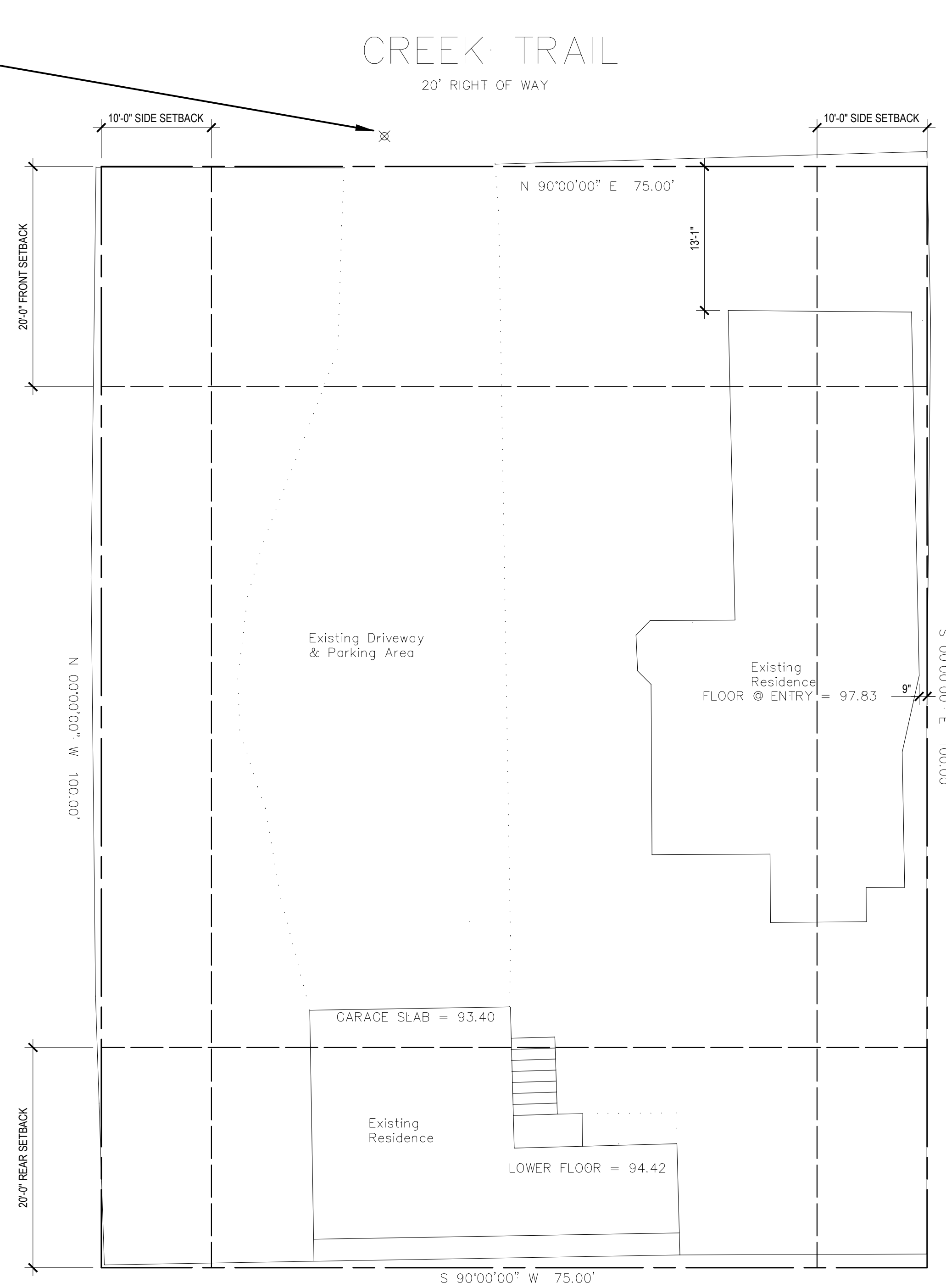
**PLANNING PERMIT
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Checked By
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Scale 1/8" = 1'-0"
North

SURVEY

BENCH MARK:
A Mag Nail set in the pavement was used as the Datum Point for this Survey.
Elevation = 100.00 (Assumed Datum)



LEGEND

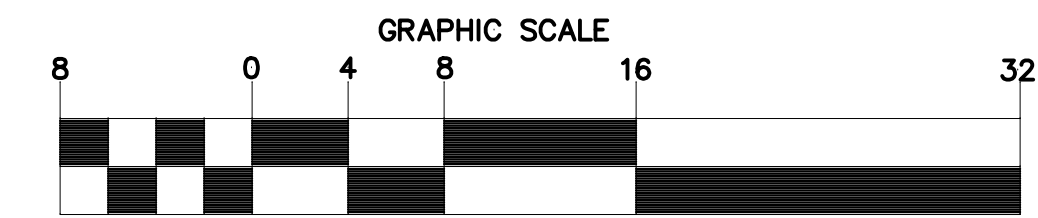
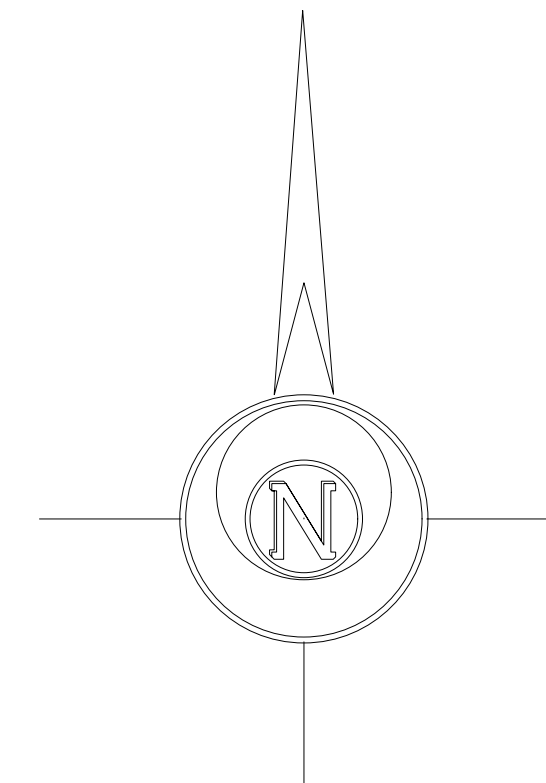
- Fence
- Traveled Way
- Property Line

SURVEY FOR:
Bo Barry

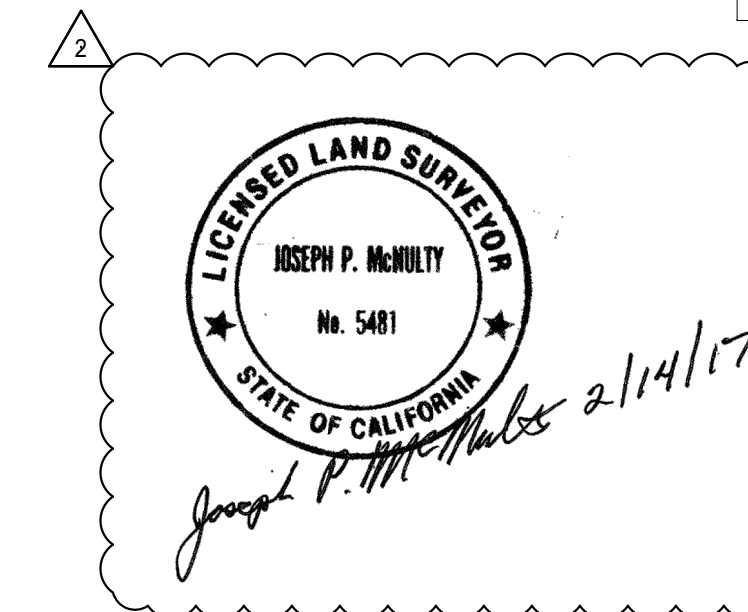
SURVEY OF:
Lots 26,27 & 28 Block 4 of R.S.M. Book 6 of Maps pg. 46B
SITE ADDRESS: 119 & 123 Creek Trail, Woodside
A.P.N. 067-168-300
Area = 7,500 sq. ft. +/-

NOTES:

- 1.) Survey shows existing site conditions at the time of the survey. Any Site Plan or Grading Plan has been done by others.
- 2.) The Elevations shown are based upon an Assumed Datum.



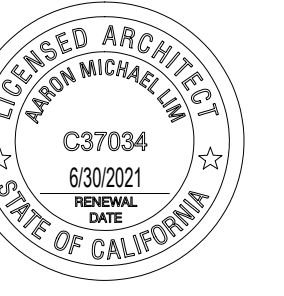
(IN FEET)
1 INCH = 8 FT.



BOUNDARY & TOPOGRAPHY MAP

Prepared By:
Pat McNulty
Professional Land Surveyor
1604 Francis Avenue
Belmont, California 94002
650-654-6460

DATE: FEBRUARY 2017 JOB NO.: 24-16



123 CREEK TRAIL – INTERIOR REMODEL & ADDITION

123 CREEK TRAIL
WOODSIDE, CA 94062

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Scale AS NOTED
North

SITE PLANS, IMPERVIOUS SURFACE AREA, & LOT COVERAGE DIAGRAMS

A1.0

LEGEND

- PROPERTY LINE
- - - SETBACK
- ▬ BUILDING FOOTPRINT
- ▨ PERVIOUS LANDSCAPING
- ▨ DECK OR PATIO
- IMPERVIOUS ROOF SURFACE
- ▨ PERVIOUS PAVING

SITE PLAN GENERAL NOTES

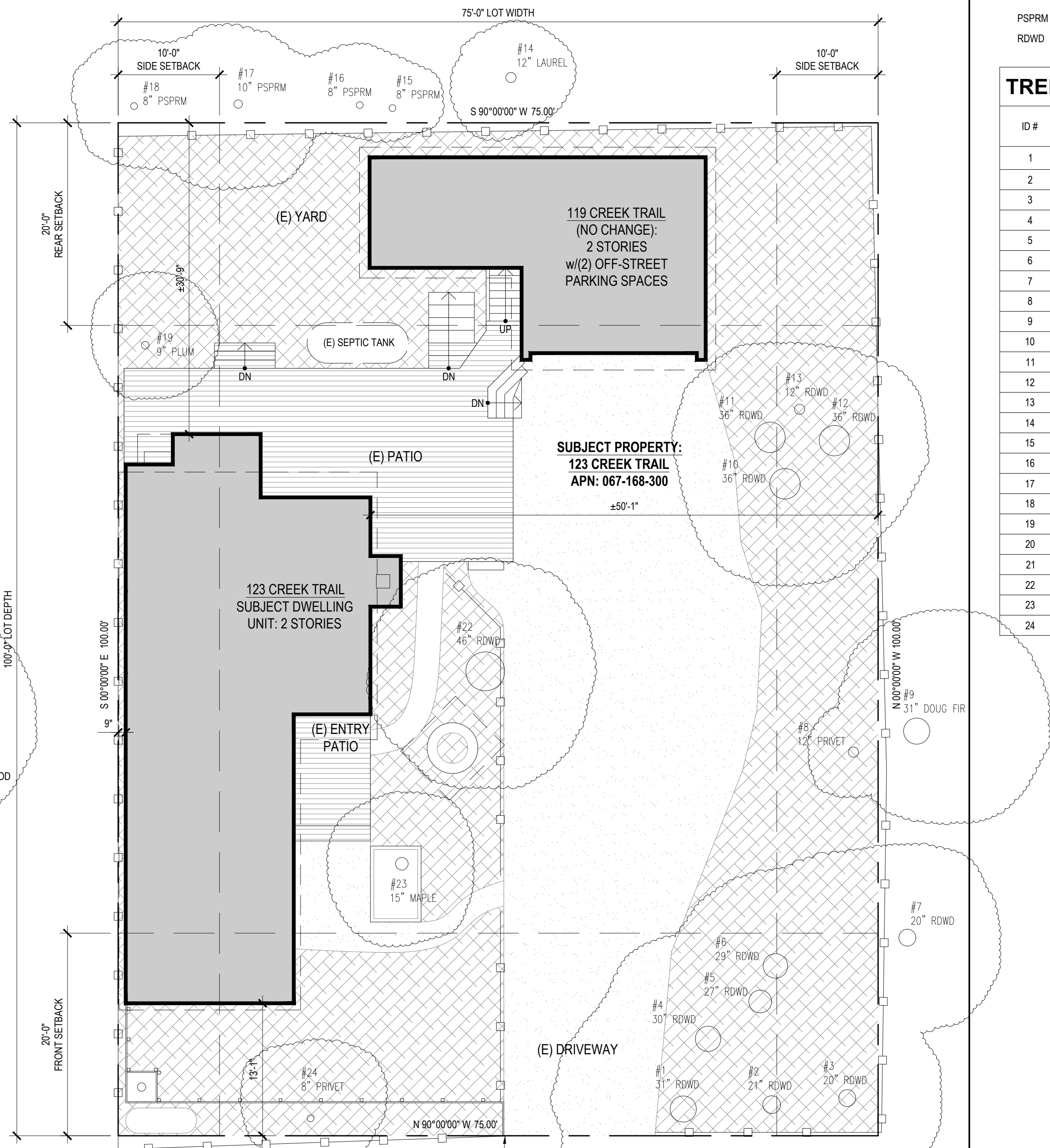
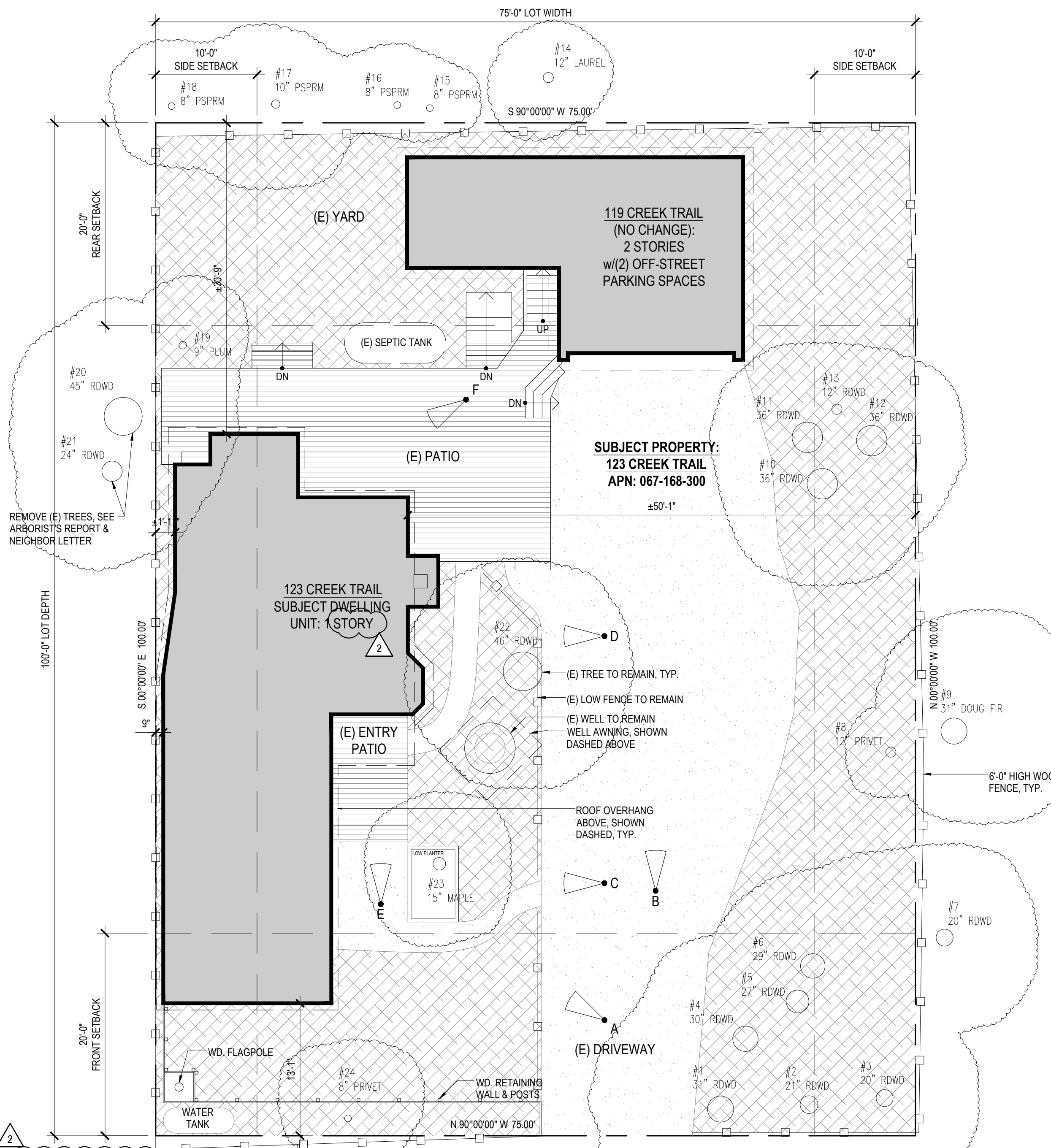
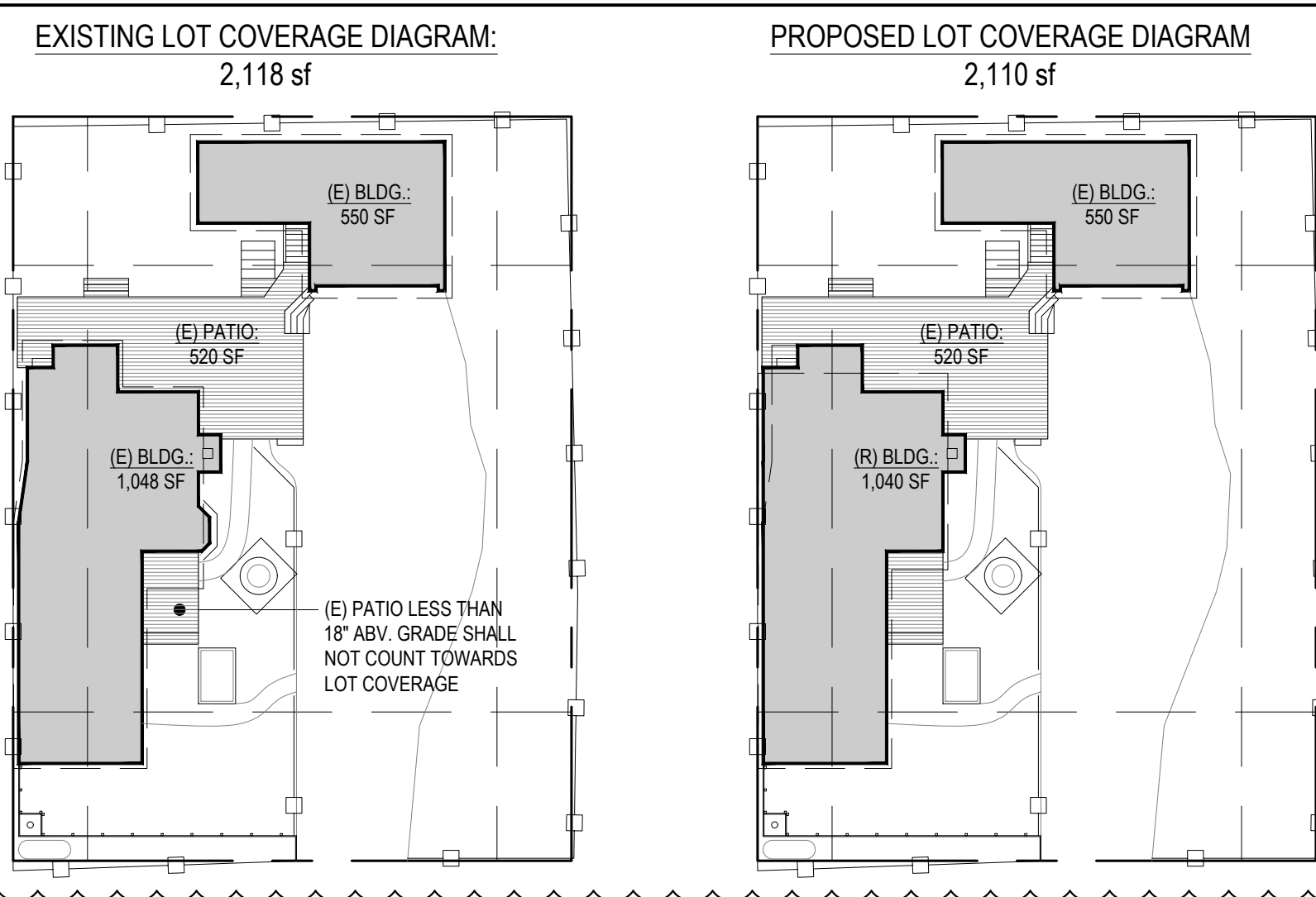
1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD, TYP.
2. ALL DIMENSIONS TO FACE OF FRAMING U.O.N.
3. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO EXECUTION OF WORK.
4. (N) ADDRESS NUMBERS FOR ALL DWELLING UNITS SHALL BE PROVIDED AT THE STREET AND LOCATED SUCH THAT THEY ARE VISIBLE FROM EACH DIRECTION OF TRAVEL. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS / LETTERS SIMILAR TO "HY-KO 911" OR EQUIVALENT.

TREE ABBREVIATIONS

- PSPRM PITTSPOURUM
- RDWD REDWOOD

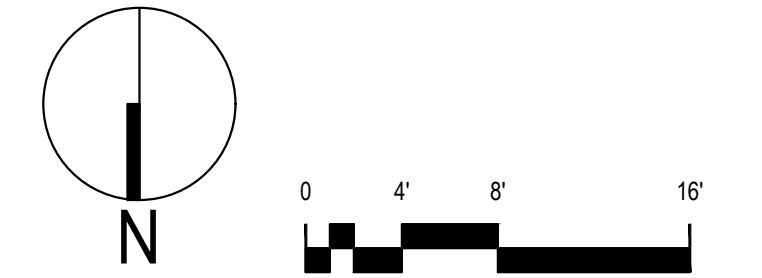
TREE SCHEDULE

ID #	TYPE	REMOVE (Y/N)	DIAMETER (IN.)
1	RDWD	N	31"
2	RDWD	N	21"
3	RDWD	N	20"
4	RDWD	N	30"
5	RDWD	N	27"
6	RDWD	N	29"
7	RDWD	N	20"
8	PRIVET	N	12"
9	DOUG FIR	N	31"
10	RDWD	N	36"
11	RDWD	N	36"
12	RDWD	N	36"
13	RDWD	N	12"
14	LAUREL	N	12"
15	PSPRM	N	8"
16	PSPRM	N	8"
17	PSPRM	N	10"
18	PSPRM	N	8"
19	PLUM	N	9"
20	RDWD	Y	45"
21	RDWD	Y	24"
22	RDWD	N	46"
23	MAPLE	N	15"
24	PRIVET	N	8"



(E) FIRE HYDRANT IS LOCATED APPROX. 200' DOWN THE ROAD AT THE INTERSECTION OF CREEK TRAIL & COUNTY ROAD

PROVIDE ADDRESS NUMBERS AT DRIVEWAY ENTRANCE. SIGNAGE SHALL CONSIST OF A 6"x18" GREEN REFLECTIVE METAL SIGN w/3" REFLECTIVE NUMBERS/LETTERS SIMILAR TO "HY-KO 911" OR EQUIVALENT.



1 EXISTING SITE PLAN
1/8" = 1'-0"

2 PROPOSED SITE PLAN
1/8" = 1'-0"



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Job No. 19-008
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Scale 1/4" = 1'-0"
North

FLOOR PLANS

A1.1

FLOOR PLAN GENERAL NOTES

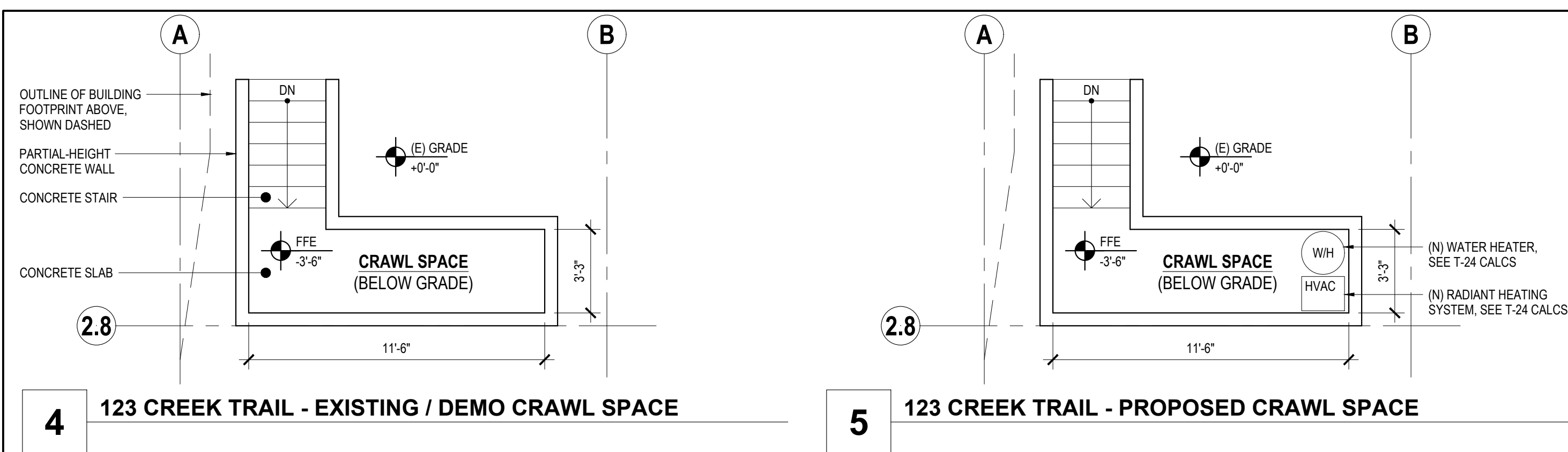
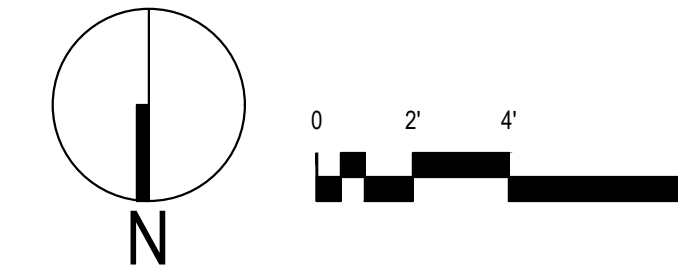
1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD, TYP.
2. ALL DIMENSIONS TO FACE OF FRAMING U.O.N.
3. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO EXECUTION OF WORK.

DEMOLITION PLAN GENERAL NOTES

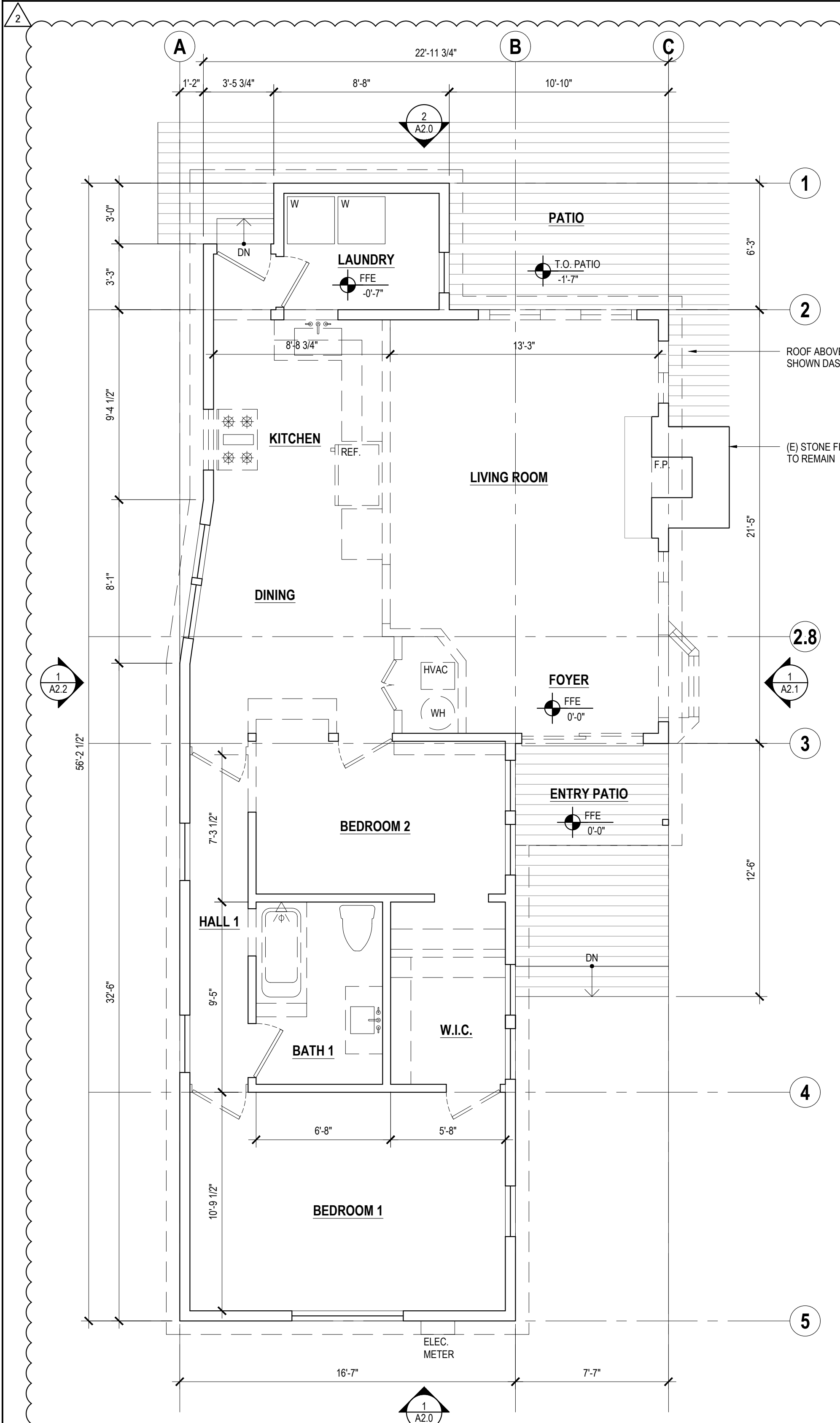
1. REMOVE (E) FLOOR FINISHES THROUGHOUT.
2. REMOVE (E) PLUMBING FIXTURES, CASEWORK, & LIGHTING AS REQ'D. FOR NEW WORK.
3. REMOVE (E) SOFFITS AS REQ'D. FOR NEW WORK. VERIFY w/OWNER OR ARCHITECT IN FIELD.

LEGEND

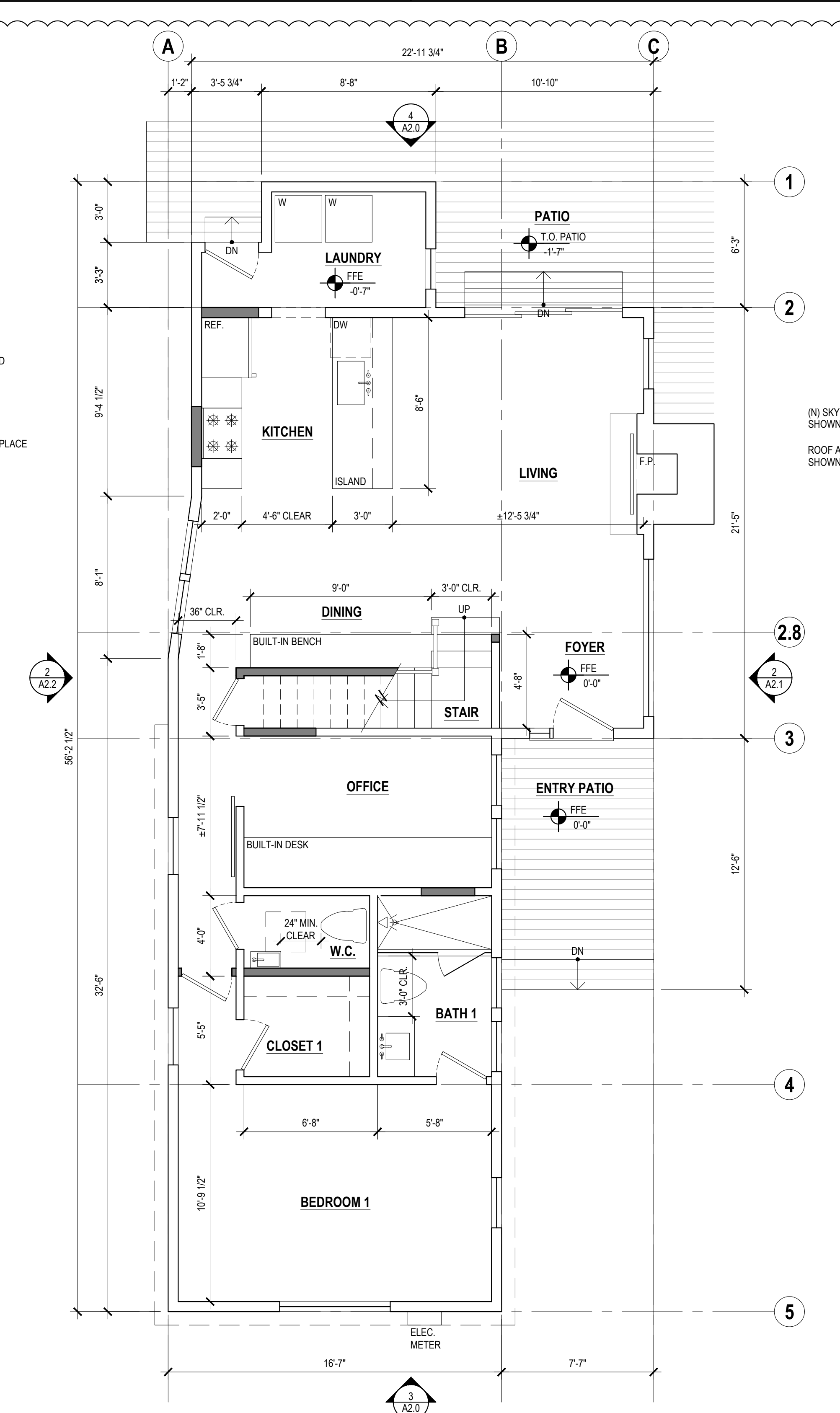
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL TO BE DEMOLISHED
- REMOVE (E) DOOR & FRAME, TYP. U.O.N.



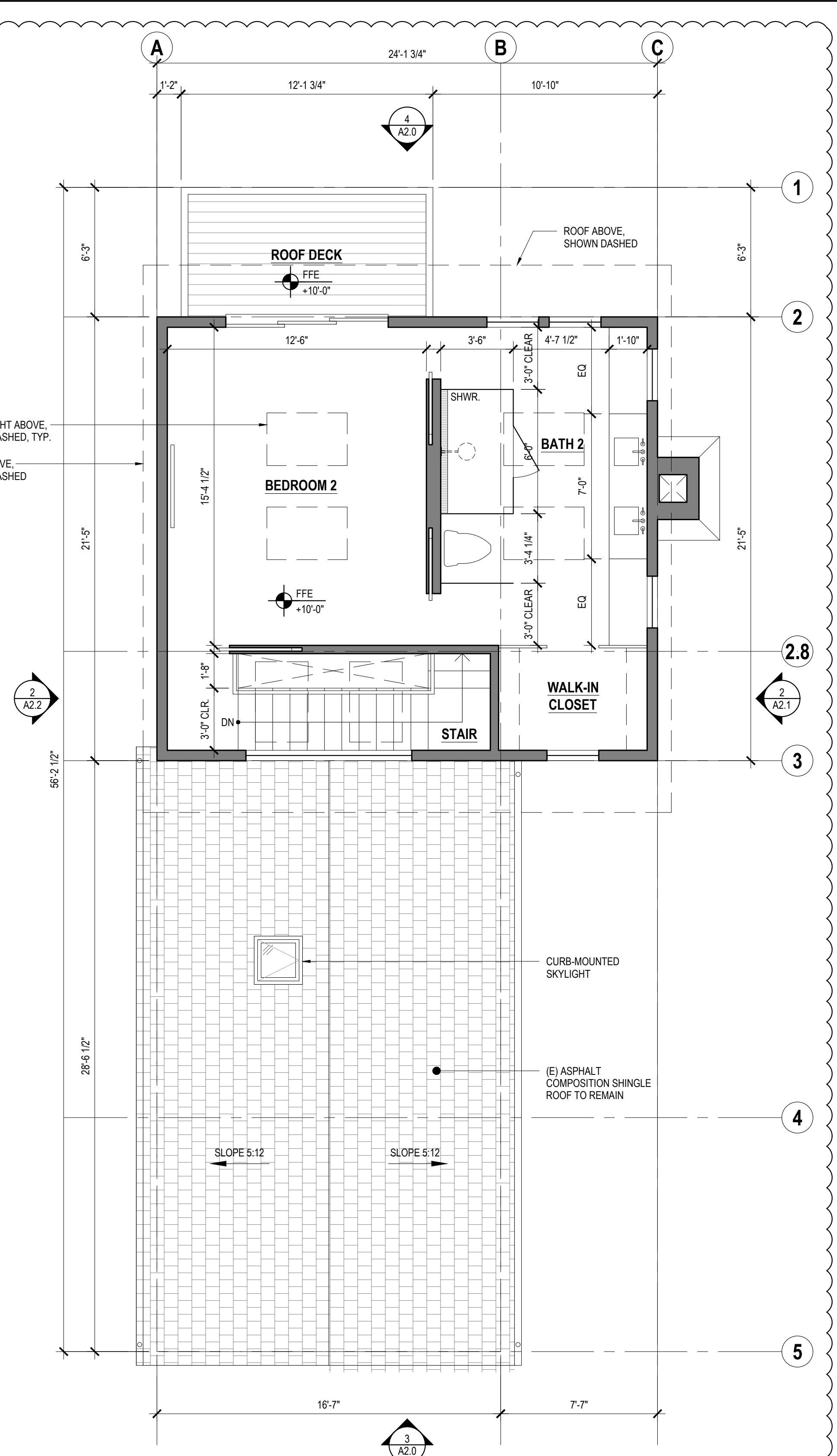
4 123 CREEK TRAIL - EXISTING / DEMO CRAWL SPACE 5 123 CREEK TRAIL - PROPOSED CRAWL SPACE



1 123 CREEK TRAIL - EXISTING / DEMO 1ST FLOOR PLAN (1,048 sf)



2 123 CREEK TRAIL - PROPOSED 1ST FLOOR PLAN (1,040 sf)



3 123 CREEK TRAIL - PROPOSED 2ND FLOOR PLAN (518 sf)



123 CREEK TRAIL -
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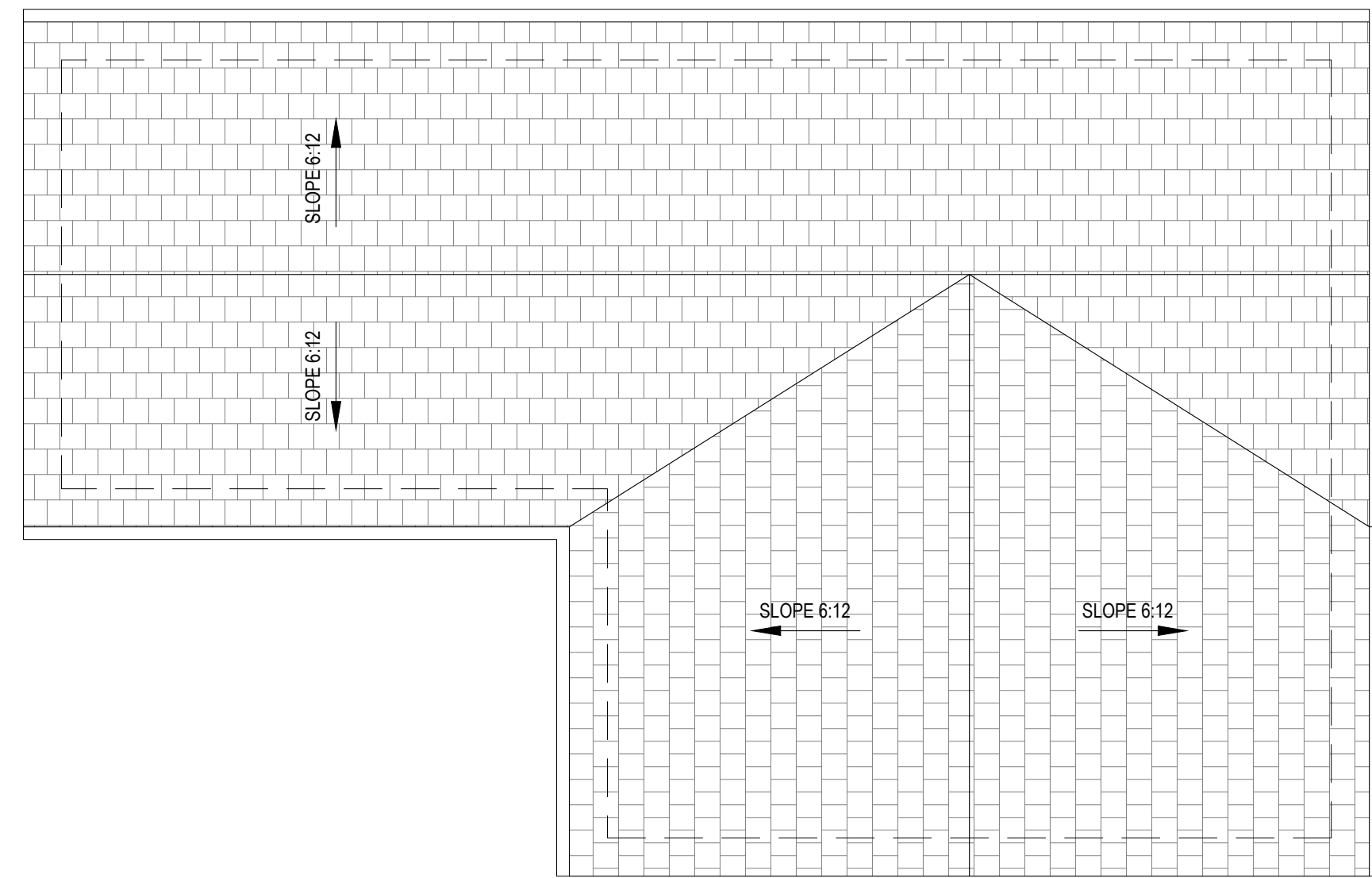
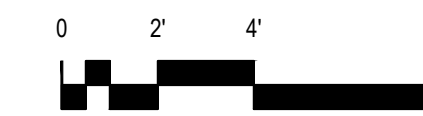
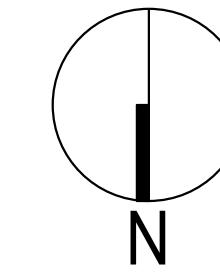
FLOOR & ROOF
PLANS

ROOF PLAN GENERAL NOTES

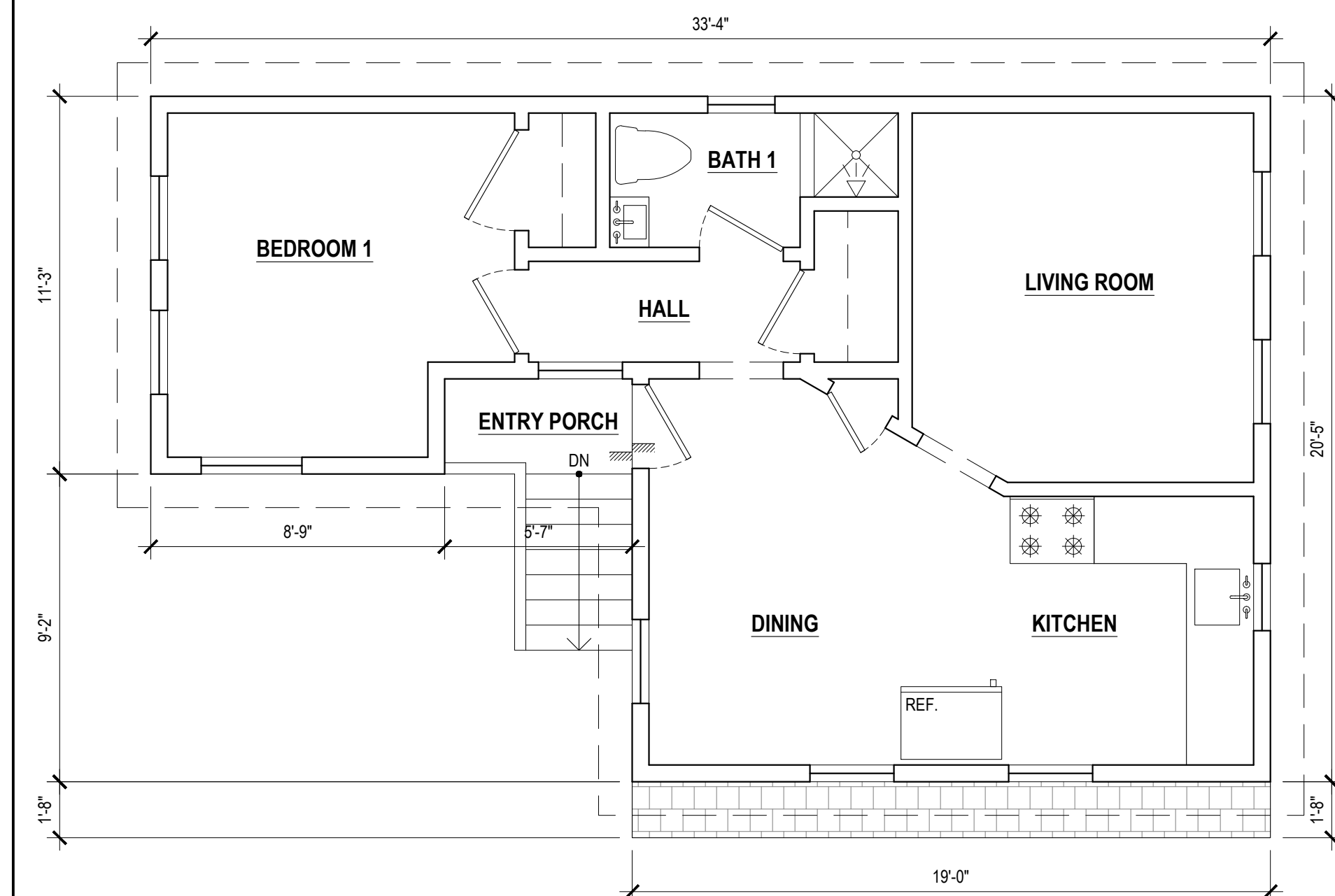
1. ALL NEW ROOF GUTTER DOWNSPOUTS ADJACENT TO LANDSCAPING SHALL HAVE SPLASH BLOCKS INSTALLED TO PREVENT DISPERSION.
- 2.

LEGEND

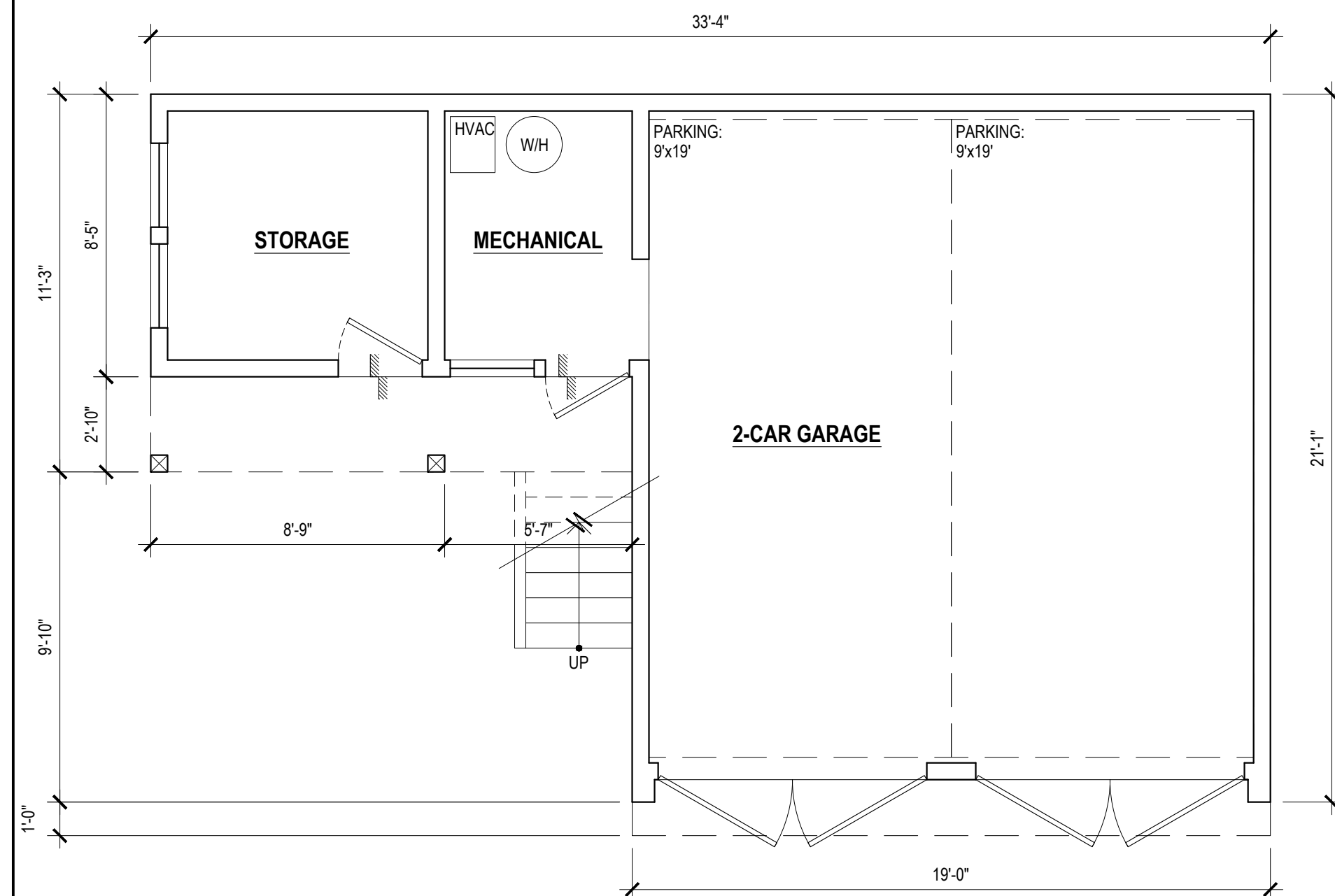
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL TO BE DEMOLISHED
- REMOVE (E) DOOR & FRAME, TYP. U.O.N.



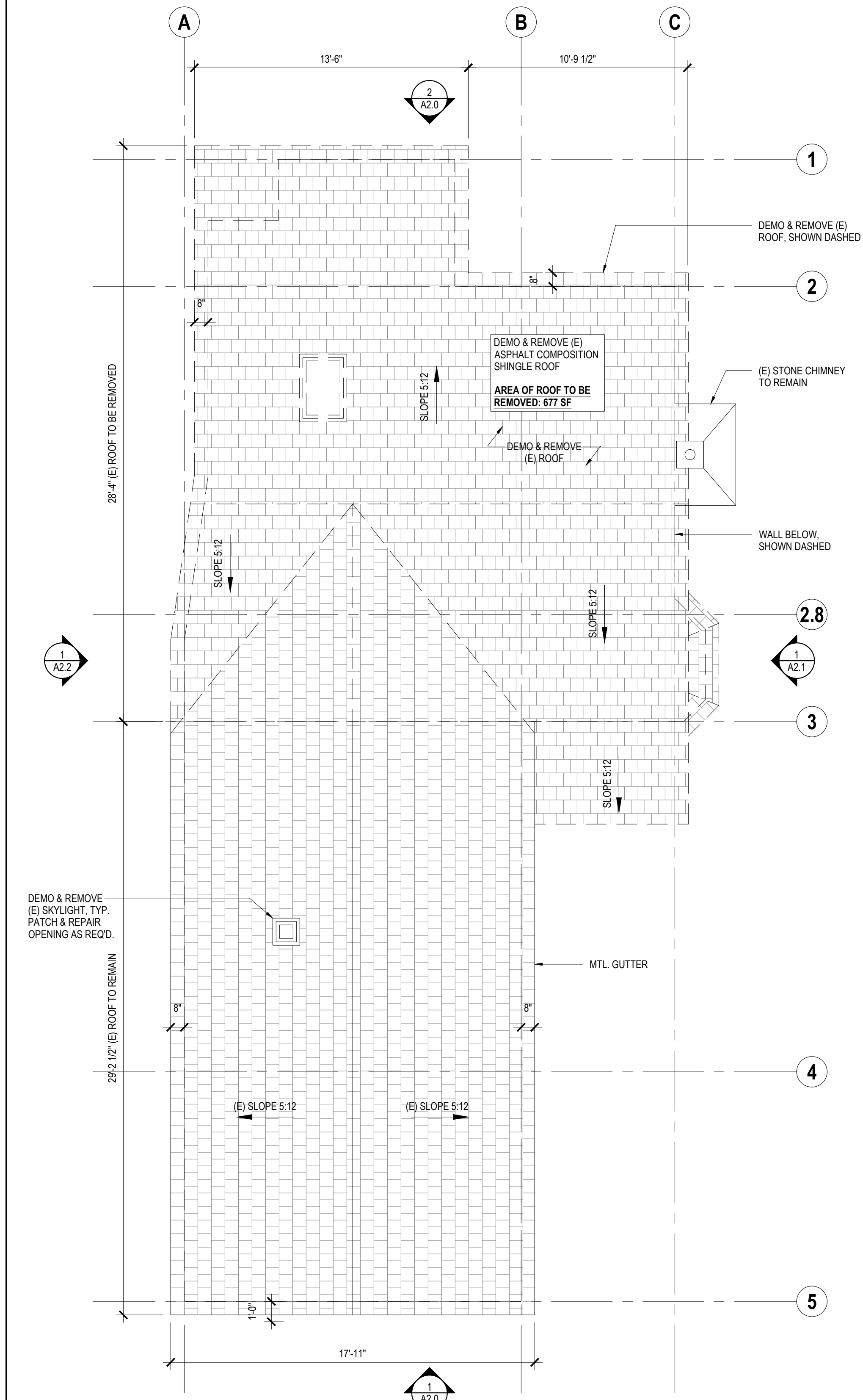
5 119 CREEK TRAIL - EXISTING ROOF PLAN (FOR REFERENCE ONLY)



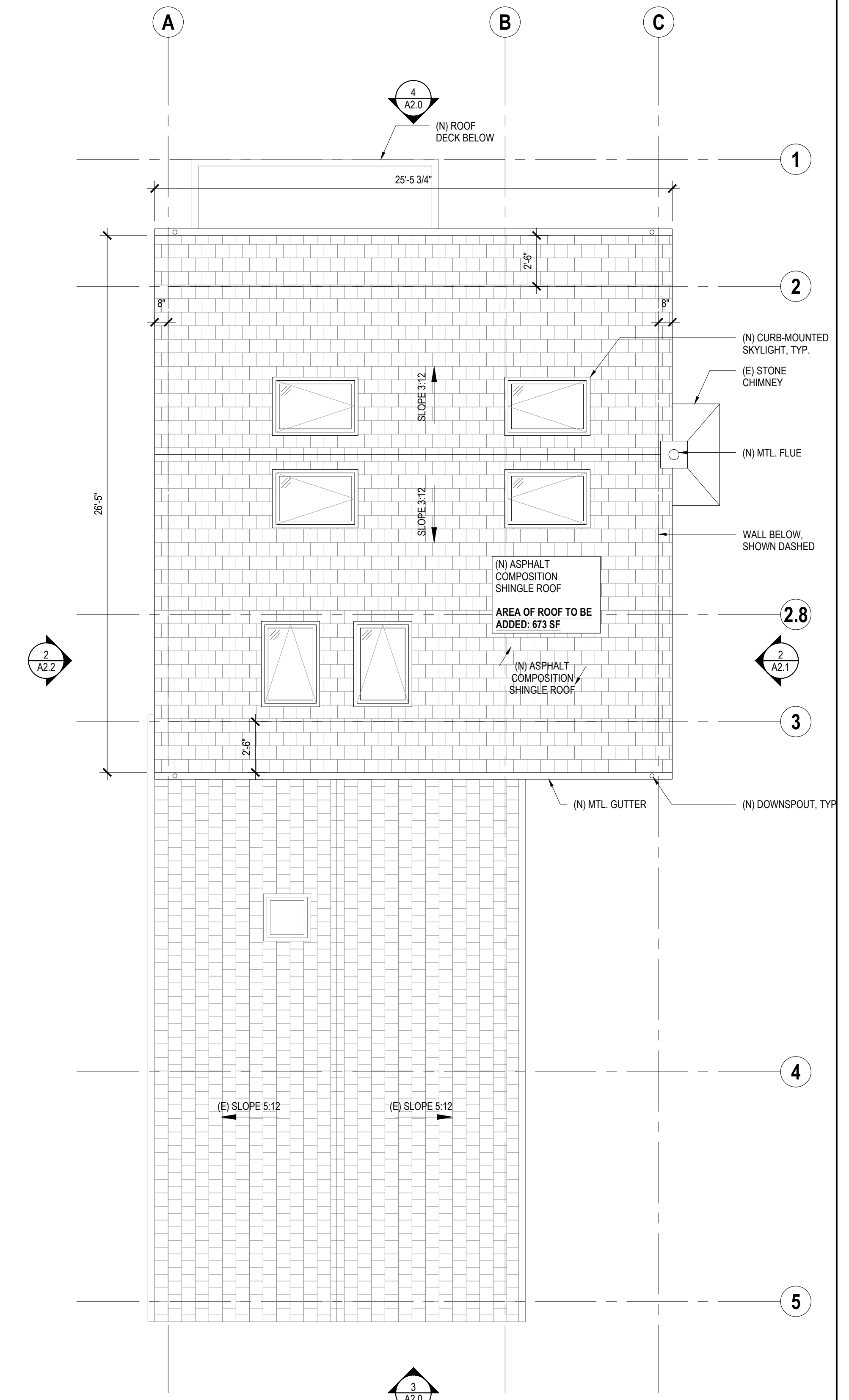
4 119 CREEK TRAIL - EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY)



3 119 CREEK TRAIL - EXISTING FIRST FLOOR PLAN (FOR REFERENCE ONLY)

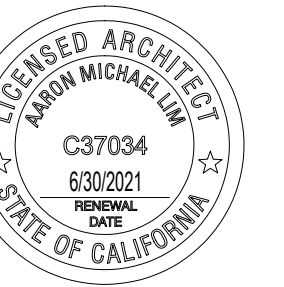


1 123 CREEK TRAIL - EXISTING ROOF PLAN



2 123 CREEK TRAIL - PROPOSED ROOF PLAN

FLOOR AREA CALCS		
ID	DIMENSIONS	AREA
A	7'-7" x 3'-11"	30 SF
B	23'-0" x 17'-6"	402 SF
C	8'-8" x 6'-3"	54 SF
D	3'-6" x 3'-3"	11.3 SF
E	1'-2" x 8'-1"	4.7 SF
F	16'-7" x 32'-5"	538 SF
G	24'-2" x 21'-5"	518 SF
TOTAL FLOOR AREA		1,558 SF



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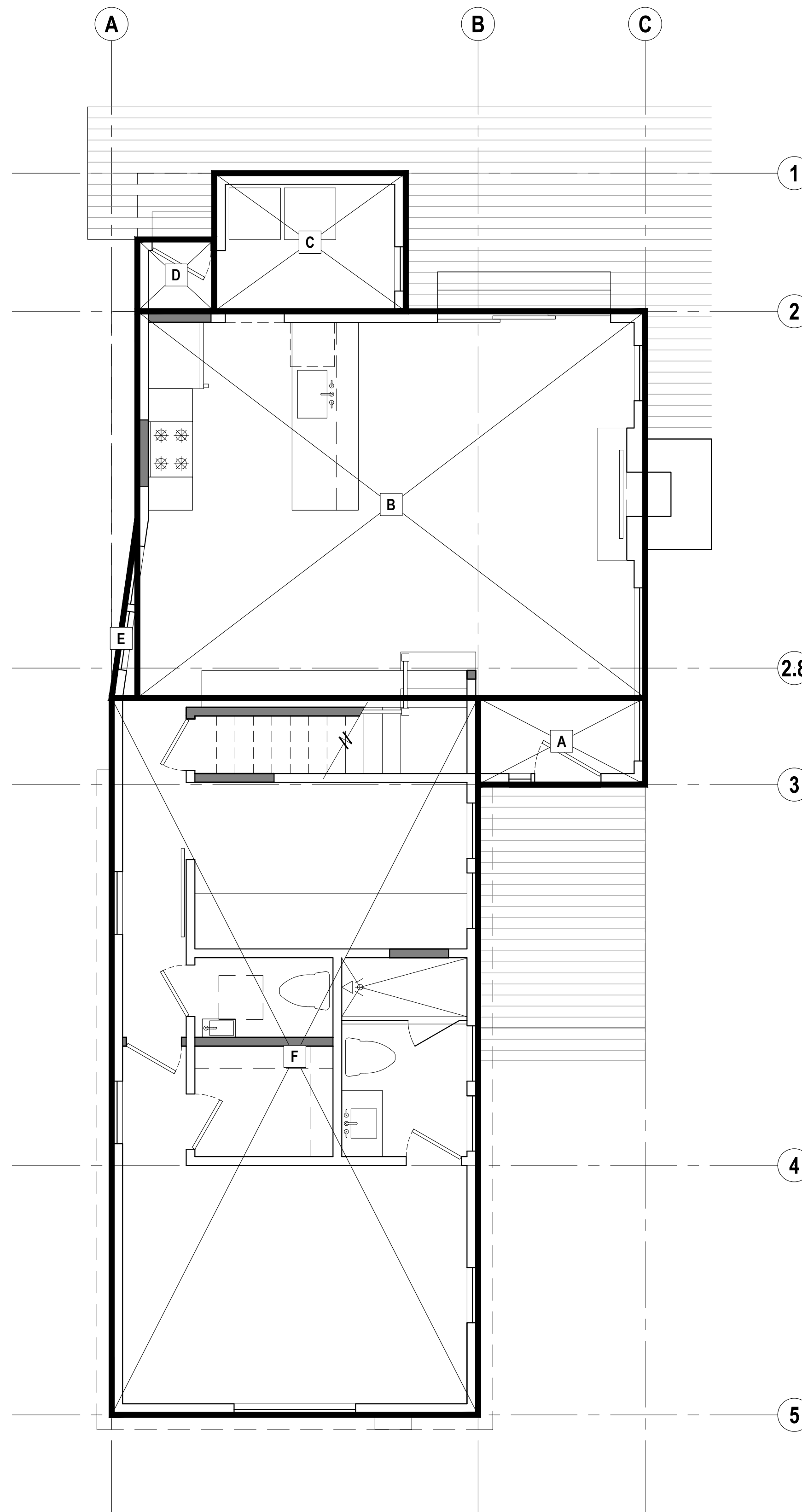
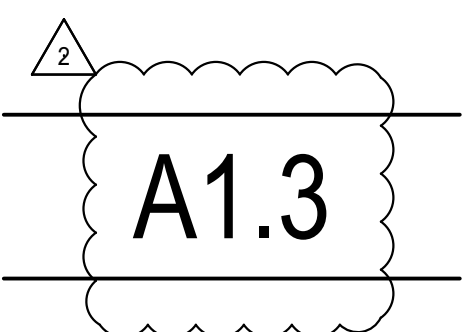
Current Release

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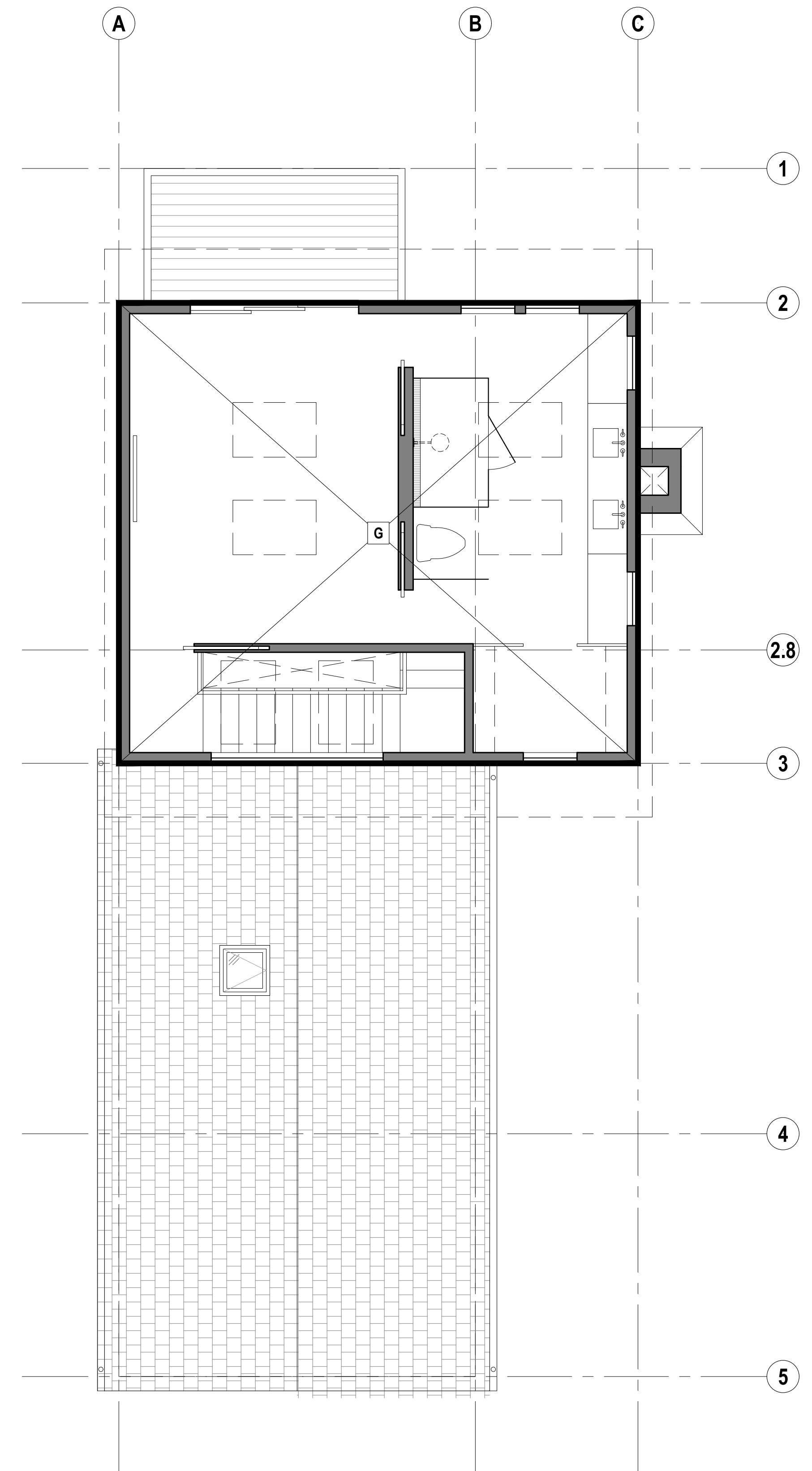
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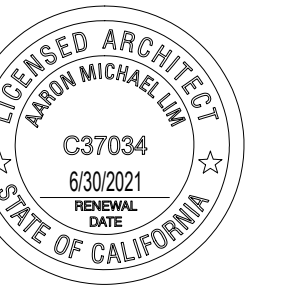
FLOOR AREA
DIAGRAMS



1 123 CREEK TRAIL - PROPOSED 1ST FLOOR FLOOR AREA DIAGRAM



2 123 CREEK TRAIL - PROPOSED 2ND FLOOR FLOOR AREA DIAGRAM



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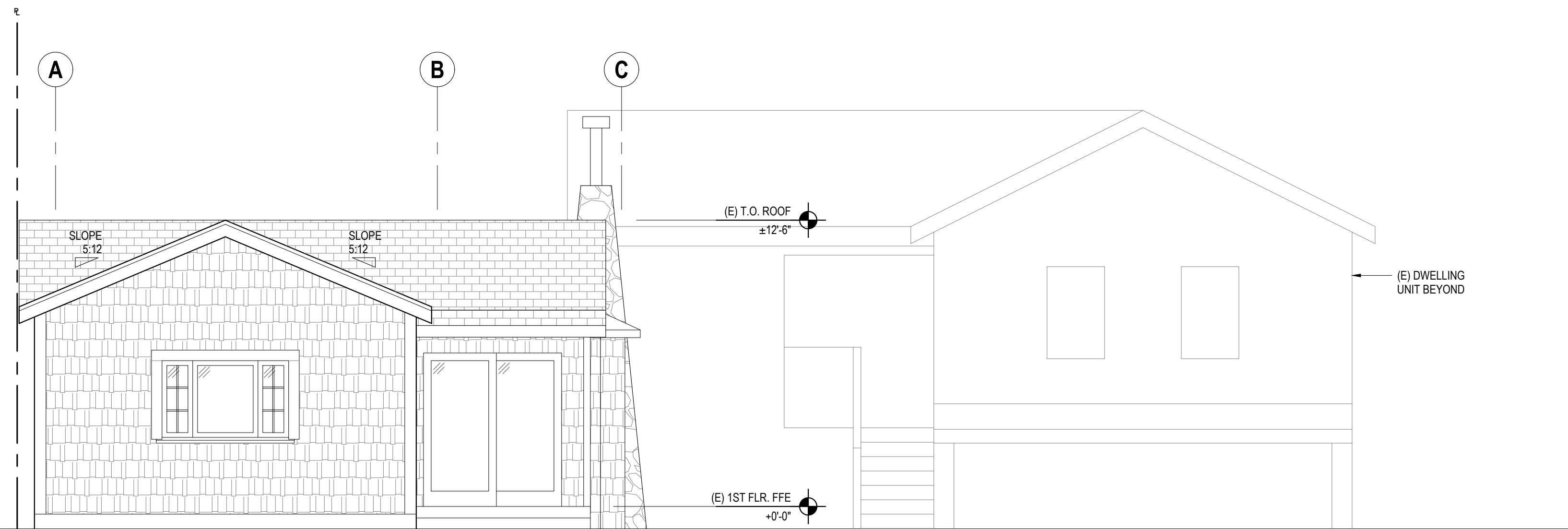
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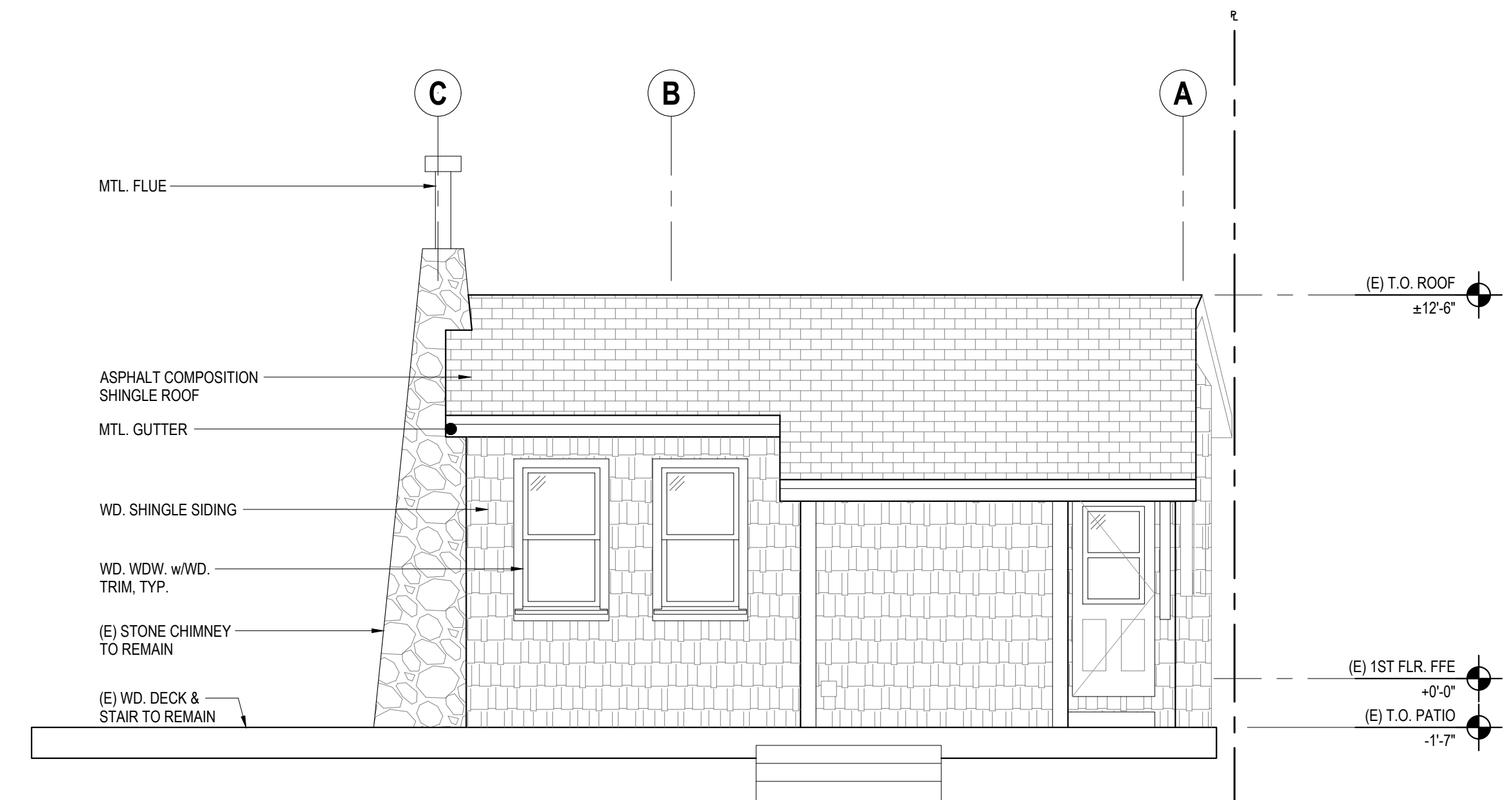
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EXTERIOR
ELEVATIONS

A2.0



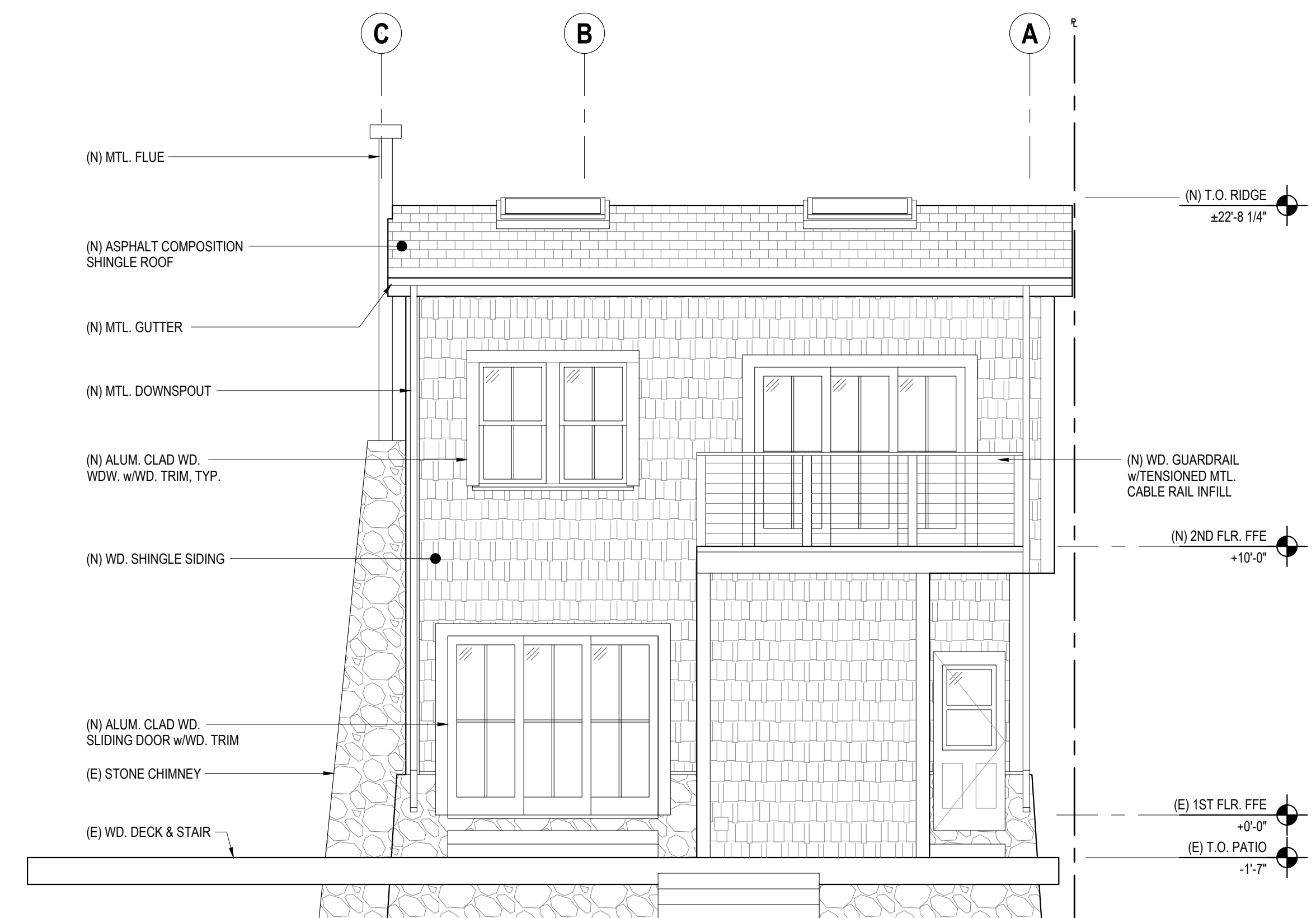
1 EXISTING NORTH (FRONT) ELEVATION



2 EXISTING SOUTH (REAR) ELEVATION



3 PROPOSED NORTH (FRONT) ELEVATION



4 PROPOSED SOUTH (REAR) ELEVATION



123 CREEK TRAIL –
INTERIOR REMODEL
& ADDITION

123 CREEK TRAIL
WOODSIDE, CA 94062

APN: 067-168-300

Current Release Date

July 28, 2020

Current Release

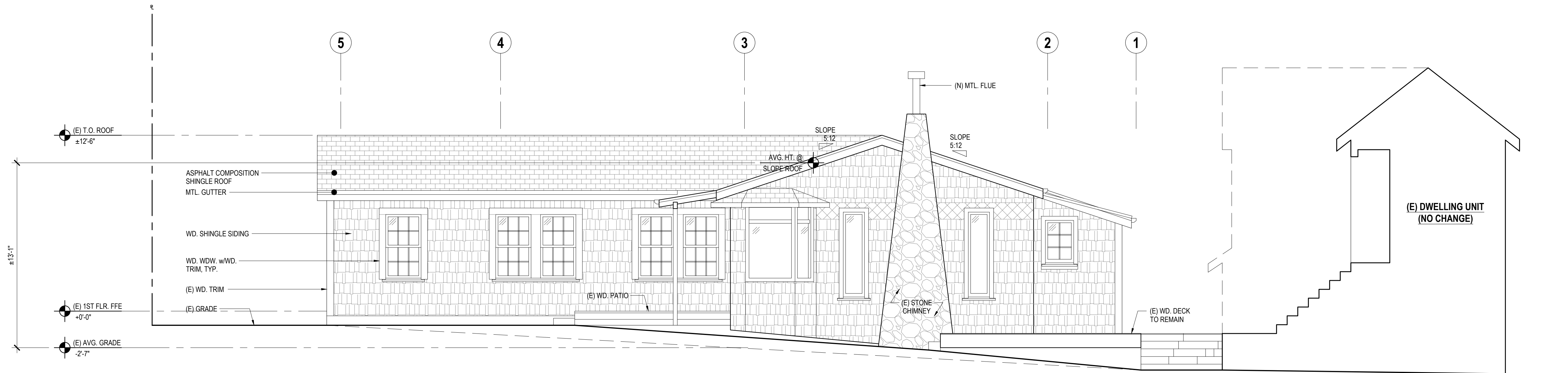
PLANNING PERMIT
SUBMITTAL REV. 2

Description	Date
Planning Permit Submittal	11/14/19
Planning Permit Rev. 1	2/12/20

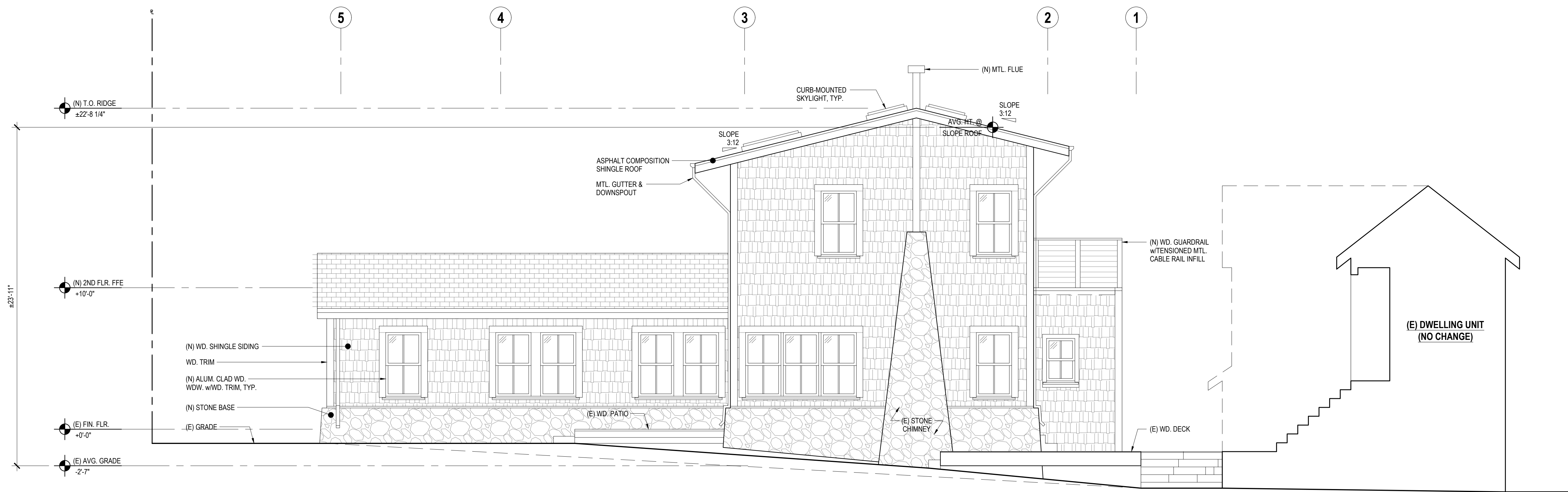
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Checked By
Job No. 19-008
Print Date 11.14.2019
Scale 1/4" = 1'-0"
North

EXTERIOR
ELEVATIONS

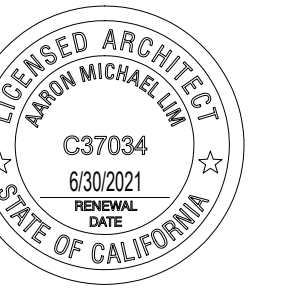
A2.1



1 EXISTING WEST ELEVATION



2 PROPOSED WEST ELEVATION



123 CREEK TRAIL –
INTERIOR REMODEL
& ADDITION

123 CREEK TRAIL
WOODSIDE, CA 94062

APN: 067-168-300

Current Release Date

July 28, 2020

Current Release

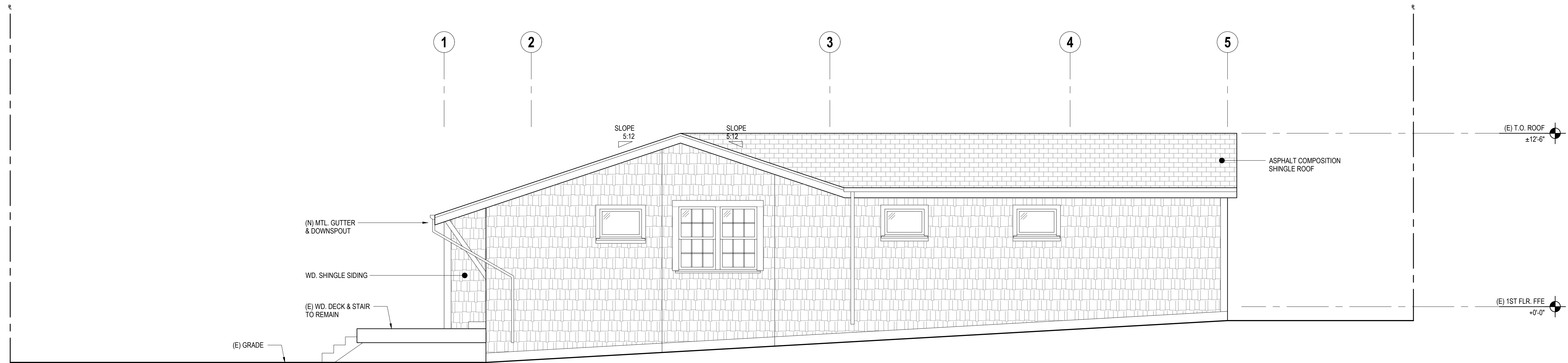
PLANNING PERMIT
SUBMITTAL REV. 2

Description	Date
Planning Permit Submittal	11/14/19
Planning Permit Rev. 1	2/12/20

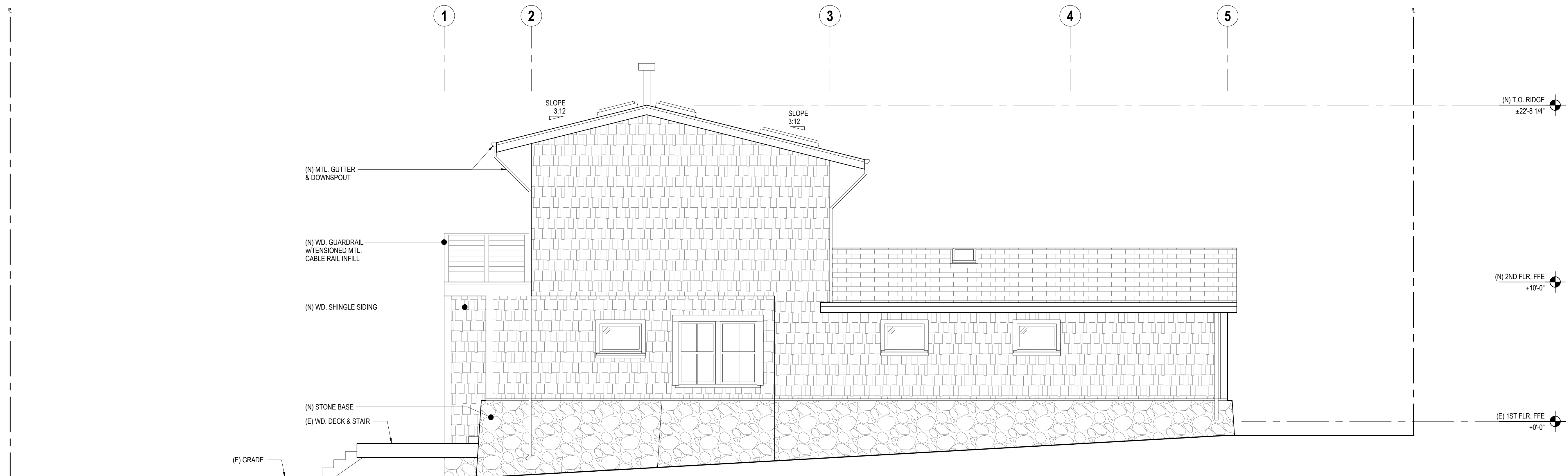
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Checked By
Job No. 19-008
Print Date 11.14.2019
Scale 1/4" = 1'-0"
North

EXTERIOR
ELEVATIONS

A2.2



1 EXISTING EAST ELEVATION



2 PROPOSED EAST ELEVATION