

# Application for Design Review by the County Coastside Design Review Committee

## Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2017-00440

Other Permit #: \_\_\_\_\_

### 1. Basic Information

#### Applicant:

Name: Casey Leonard

Address: 1921 Devereux Drive

Burlingame, CA Zip: 94010

Phone,W: 775 3790703 H: 775 3790703

Email: clampedup@gmail.com

#### Owner (if different from Applicant):

Name: Bernadette Brogan

Address: 1921 Devereux Drive

Burlingame, CA Zip: 94010

Phone,W: 650 7596997 H: 650 7596997

Email: bernbrogan@gmail.com

#### Architect or Designer (if different from Applicant):

Name: \_\_\_\_\_

Address: \_\_\_\_\_ Zip: 94010

Phone,W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

### 2. Project Site Information

#### Project location:

APN: 036103220

Address: Birch Street, Montara

Zip: 94037

Zoning: R1/S-17/DR/CD

Parcel/lot size: 9375 sq. ft.

#### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### 3. Project Description

#### Project:

- New Single Family Residence: 3123 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

#### Describe Project:

Construction of a new 3123 sq. ft. two-story, single-family residence including an attached 604 sq. ft. garage on an undeveloped 9,375 foot legal parcel in Montara. The project includes removal of numerous eucalyptus trees and minor grading.

#### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	Painted wood (board&batten and lap)	Gray & green	<input type="checkbox"/>
b. Trim	Painted wood	White	<input type="checkbox"/>
c. Windows	Fiberglass or Aluminum	Gray or black	<input type="checkbox"/>
d. Doors	Fiberglass	Mint green	<input type="checkbox"/>
e. Roof	Metal	Dark gray	<input type="checkbox"/>
f. Chimneys	Metal	Steel	<input type="checkbox"/>
g. Decks & railings	Wood	Natural stain	<input type="checkbox"/>
h. Stairs	Wood	Natural stain	<input type="checkbox"/>
i. Retaining walls	Stone	Glacier green boulders	<input type="checkbox"/>
j. Fences	Wood	Natural	<input type="checkbox"/>
k. Accessory buildings	N/A	N/A	<input type="checkbox"/>
l. Garage/Carport	Painted wood	Gray	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

*Bernadette Brogan*  
 \_\_\_\_\_  
 Owner:

*[Signature]*  
 \_\_\_\_\_  
 Applicant:

October 12, 2017  
 \_\_\_\_\_  
 Date:

October 12, 2017  
 \_\_\_\_\_  
 Date:



# Certificate of Exemption or Exclusion from a Coastal Development Permit

Permanent Record  
 Microfilming Required

Permit #: PLN \_\_\_\_\_

Permit #: BLD \_\_\_\_\_

**Owner**

Name: **Bernadette Brogan**

Address: 1921 Devereux Drive

Burlingame, CA

Zip: 94010

Phone, W: 650 7596997 H: 650 7596997

Email Address: **bernbrogan@gmail.com**

**Applicant**

Name: **Casey Leonard**

Address: 1921 Devereux Drive

Burlingame, CA

Zip:

Phone, W: 775 3790703 H: 775 3790703

Email Address: **clampedup@gmail.com**

**Project Description:**

Construction of a new 3123 sq. ft. two-story, single-family residence on an undeveloped 9,375 foot legal parcel in Montara. The project includes removal of numerous eucalyptus trees and minor grading.

**Assessor's Parcel Number(s):**

036 — 103 — 220

**Existing water source:**

- Utility connection \_\_\_\_\_
- Well \_\_\_\_\_

**Proposed water source:**

- Utility connection MWSD
- Well \_\_\_\_\_

**Staking of well location and property lines are required.**

- Provide site plan depicting location and all trees.
- Will this require any grading or vegetation/tree removal? Yes  No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Bernadette Brogan 10/16/2017  
 Owner Date

\_\_\_\_\_ 10/16/2017  
 Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

# Staff Use Only

## 4. BASIS OF EXEMPTION OR EXCLUSION

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

### Initial

- |  |  |
|--|--|
| <p><input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]</p> <p><input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]</p> <p><input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]</p> <p><input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]</p> <p><input type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]</p> | <p><input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</p> <p><input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</p> <p><input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</p> <p><input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</p> <p><input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]</p> <p><input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(j)]</p> |
|--|--|

## 5. WELLHEAD PROTECTION / ALL COASTAL ZONE AREAS

- Required                       Not Required

Inspection made by: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

### Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

## 6. APPROVAL

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

**Exemption/Exclusion is approved.**

Planning Department

Date

Project is subject to the following condition(s) of approval:

## 7. PROCESSING

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
1. Applicant/Owner.
  2. Planning Department Exemption Binder.

3. Any relevant Planning or Building Inspection files.
  4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit\*Plan Case Screen and Activities

# Environmental Information Disclosure Form

Planning and Building Department

PLN 2017-00405  
BLD \_\_\_\_\_

Project Address: Birch Street, Montara  
94037

Assessor's Parcel No.: 036 — 103 — 220

Zoning District: R1/S-17/DR/CD

Name of Owner: Bernadette Brogan

Address: 1921 Devereux Drive  
Burlingame, CA Phone: 650 7596997

Name of Applicant: Casey Leonard

Address: 1921 Devereux Drive  
Burlingame, CA Phone: 775 379-070

## Existing Site Conditions

Parcel size: 9,375

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). \_\_\_\_\_

Easement for sewer and water per book 181, page 118 of Deeds.

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>23</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>480.5</u> c.y. Fill: <u>95.16</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

d. Removal of non-native eucalyptus.

e. Excavation of basement and to set house below grade.

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

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## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: *Bernadette Brogan*

Date: October 12, 2017

(Applicant may sign)

Project Summary

Birch Street, Montara 036-130-220

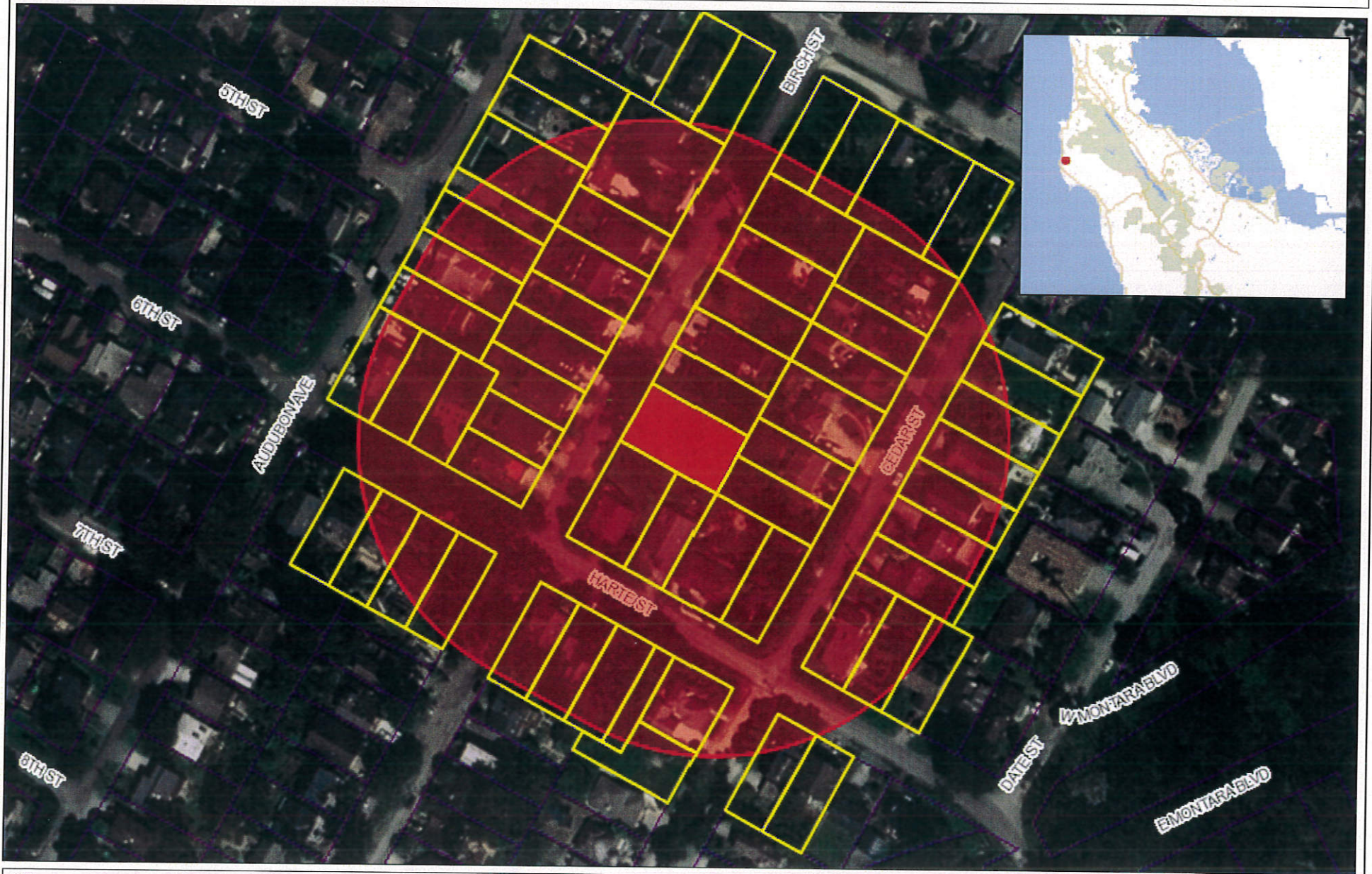
Our home is designed with it's own individual character that creates interest and is complementary to the rural character of Montara. The exterior is a combination of stained wood, neutral and earth-toned paint colors so it complements the neighboring houses and natural environment. Our home will be situated in the center of the property and set below the natural grade so it appears balanced, minimizes unused space below house, and blends with the natural environment. The apparent mass of the home is minimized by incorporating interesting architectural features, including a porch, a broken facade and a variety of exterior materials, and by the organic nature of the landscape. Neighborhood privacy is respected by locating the house well within the side setbacks and including privacy screening plants along the property lines. The landscape incorporates native and drought-tolerant plants, and retaining walls are designed to blend with their surroundings. The design of our home, which makes it appear interesting and less massive, in combination with the landscape, make our property fit within the community and complement the neighborhood.

**RECEIVED**

FEB 16 2018

San Mateo County  
Planning Division





0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1: 2,256



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



# Storyboard, APN 036-103-220

## Chimney

Metal, Galvanized steel

## Roof

Standing seam, Stainless Steel  
Gray

## Siding #1

Board & Batten, Fiber cement  
HardiePanel Vertical Siding &  
HardieTrim Batten Boards  
Sherwin-Williams, Acier

## Garage Lights

Recessed LED

## Garage Door

Painted Aluminum, Traditional  
Sherwin-Williams, Acier

## Columns

Square, painted wood  
Sherwin-Williams, Eider White

## Landscape Lights

FXLuminaire LED path lights  
Copper / LED

## Gutters & Downspouts

Aluminum  
Sherwin-Williams, Acier

## Siding #2

Cove lap siding, painted wood  
Sherwin-Williams, Olive Grove

## Windows

Wood clad, double hung  
Farmhouse style  
Black

## Porch Lights

Recessed LED

## Porch Siding #3

Tongue and groove siding  
Western Red Cedar, stained

## Front Door

Fiberglass  
Sherwin-Williams, Retro Mint

## Trim

Painted wood  
Sherwin-Williams, Eider White



## Front Door

Fiberglass

Sherwin-Williams, Retro Mint

203114641

Store SKU #266976

Store SO SKU #476575



### Masonite

36 in. x 80 in. Craftsman 6-Lite  
Right-Hand Inswing Primed White  
Smooth Fiberglass Prehung Front  
Door with Brickmold

★★★★★ (21) ✓

[Write a Review](#)

[Questions & Answers \(47\)](#)

- Expertly engineered not to rust, crack, split or dent
- Five times more energy efficient than wood
- Clear glass insert creates a modern look to your home's exterior

### Choose Your Options

#### Primed White





## Garage Door

Painted Aluminum, Traditional  
Sherwin-Williams, Acier

# Pella Traditional 192-in x 84-in Insulated White Double Garage Door with Windows

Item # 368894 Model # 123461

★★★★☆ (5 Reviews)



## Product Information

### Description

- Reduce noise and save energy with vinyl-backed, polystyrene insulation
- Windows let in light to brighten your garage interior
- The perfect low maintenance choice for your two-car garage
- Enjoy increased peace of mind with Pella's SafeShield patented hardware
- Five-layer paint system provides durable, long-lasting color
- Heavy-duty 14-gauge hardware and premium nylon rollers come standard with every Pella door
- Manufactured in the USA from recycled steel

### Specifications

Actual Height (Inches)	84	Construction Type	Vinyl-back construction
Actual Width (Inches)	192	Decorative Hardware Included	X
Thickness (Inches)	2	Hardware Finish	N/A
Insulated	✓	Hardware Included	✓
Windows	✓	Window Material	N/A
Type	Double	Tracks Included	✓
Series	Traditional	Spring Type	Torsion
Material	Steel	Manufacturer Color/Finish	White
Carriage House	X	Color/Finish Family	White
High Impact	X	R Value	6.64
Warranty	25-year		

## Exterior Lights, porch, garage, rear deck

Recessed LED

/ Recessed Lighting Kits

Store SKU #1002455089



**Commercial Electric**

### Easy Up 6 in. Soft White Integrated LED Recessed Baffle Kit

★★★★★ (3) [Write a Review](#) [Questions & Answers \(4\)](#)

**\$19<sup>97</sup>** /each

#### Overview

Commercial Electric 6 in. Baffle EASY-UP LED lights are the most innovative LED recessed ceiling products on the market for residential, commercial, new construction or remodel applications. They are an integrated LED recessed trim with a built-in J-box that accepts flexible conduit and Romex wiring without pre-installing a recessed housing - no cans. Simply pull down the wiring through the hole in the ceiling and connect it directly to the fixture. The spring loaded clips clamp the fixture to the finished ceiling. These recessed ceiling lights use 80% less electricity to produce the same amount of light as incandescent light and, you don't have to get replace light bulbs ever. These LED lights are wet location rated, can be used in ceilings with or without insulation, and they are compatible with most LED rated dimmers. Each ceiling light is airtight rated to prevent losses of air conditioning and heat, saving you even more. These lights are Energy Star listed and backed by a 5 year warranty. Watch the installation videos below to see how Easy Up is changing the way that electricians and electrical contractors are installing recessed Downlight.

## Product Overview

Commercial Electric 6 in. Baffle EASY-UP LED lights are the most innovative LED recessed ceiling products on the market for residential, commercial, new construction or remodel applications. They are an integrated LED recessed trim with a built-in J-box that accepts flexible conduit and Romex wiring without pre-installing a recessed housing - no cans. Simply pull down the wiring through the hole in the ceiling and connect it directly to the fixture. The spring loaded clips clamp the fixture to the finished ceiling. These recessed ceiling lights use 80% less electricity to produce the same amount of light as incandescent light and, you don't have to get replace light bulbs ever. These LED lights are wet location rated, can be used in ceilings with or without insulation, and they are compatible with most LED rated dimmers. Each ceiling light is airtight rated to prevent losses of air conditioning and heat, saving you even more. These lights are Energy Star listed and backed by a 5 year warranty. Watch the installation videos below to see how Easy Up is changing the way that electricians and electrical contractors are installing recessed Downlight.

- Produces over 850 Lumens, the equivalent of a 75-Watt incandescent bulb
- Provides warm white light 3000K using 90 CRI LED chips for accurate color rendering
- Compatible with most LED approved dimmers, see instructions for model list
- Perfect for residential and commercial lighting applications
- 50,000 hours lamp life, wet location approved, ic rated, air tight, 5 year manufacturer's warranty
- Installs directly into finished ceiling without recessed housing
- Meets UL requirements, Energy Star listed, CA title 24 compliant
- [Click here for more information on Electronic Recycling Programs](#)

## Exterior Wall Lights

(Rear balcony, basement light well, right exterior wall, rear kitchen, left garage wall)

Francois 1-Light Outdoor Barn Light

Galvanized steel

### August Grove Francois 1-Light Outdoor Barn Light



4.7 (321 Reviews)

**\$57.99** FREE Shipping

Select Finish: Galvanized



Full Details

Add to Cart

### Product Overview

#### Description

Before guests even enter the foyer, you're making a first impression on the front porch! So, once you've selected the perfect chandelier for the entryway, just step outside to make your alfresco ensemble the real eye-catcher. Start by refreshing the space from down below by rolling out a knotted jute rug, working double time as a stylish stage and a spot for friends to wipe their feet. Next, up the charm with a pair of slatted wood rocking chairs, lovely piled with plush pillows for a cozy place to curl up and catch the sunset. And finally, cast a warm and welcoming glow with this beautiful barn light. Crafted of steel, it features a curved arm and a tapered shade with a versatile glossy solid hue.

#### Features

- Illuminates decks, driveway and more
- Cost effective and deters theft and crime in your area
- Constructed of formed steel

#### Product Details

- Lighting Type: Outdoor Barn Light
- Mounting: Wall

Show Less

### Features

Lighting Type	Outdoor Barn Light
Damp, Dry, or Wet Location Listed	Wet
Number of Lights	1
Replaceable Bulb Included	No
Bulb Type	Incandescent
Bulb Base	E26/Medium (Standard)
Wattage	60 Watts
Power Source	Hardwired
Shade Material	Metal
Country of Manufacture	China
Voltage	120 Volts
Minimum	750
Maximum	1049
Mounting	Wall
Durability	Rust Resistant

### Assembly

Installation Required	Yes
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### Warranty

Product Warranty	10 Year
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### Specifications

Commercial ONLY Certifications	Yes
Commercial OR Residential Certifications	Yes
UL Listed	Yes
Title 24 Compliant	Yes



## Landscape Lights

FXLuminaire LED path lights  
Copper

FXLuminaire.

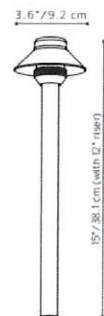
LED Path Lights



The HC offers soft, efficient, and safe lighting solutions for pathways of all shapes, sizes, and locations. With a sleek hat design, durable construction, and outstanding efficiency, it is the ideal choice for a wide array of settings.

## HC: Path Light

NUMBER OF LEDS:	1
HALOGEN LUMEN OUTPUT EQUIVALENT:	10 Watt
USEFUL LED LIFE (L70):	50,000 hrs avg
INPUT VOLTAGE:	10 to 15V
VA TOTAL: (Use this number to size the transformer)	2.4
WATTS USED:	2.0
LUMENS PER WATT (EFFICACY)	19.4
MAX LUMENS:	39
CCT (Ra)	86



## Landscape Lights

FXLuminaire LED up lights (two trees)  
Brass / copper



## NR LED UP LIGHT

LEDs: 1, 3, 6, 9, ZDC  
Finishes: 4 Options  
Material: Copper / Brass  
Diameter: 2.5" / 6.4 cm  
Height: 7.0" / 17.0 cm  
Height (LS): 8.0" / 20.0 cm

SHARE +

FEATURES

MODELS

SPECS

DOCUMENTS

The NR is a copper and brass version of the popular NP up light, available in 1, 3, 6, or 9 LED. Its durable materials make it the perfect choice for coastal areas and other harsh environments. Four color filters are included with standard and ZD fixtures. ZDC compatibility is also an option, creating more than 30,000 custom colors with the Luxor ZDC controller (no lights required).

## NR SPEC CHART

NUMBER OF LEDS	1	3	6	9	ZDC
Halogen Lumen Output Equivalent	10 Watt	20 Watt	35 Watt	50 Watt	20 Watt
Minimum Rated Life (L70)	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg
Input Voltage	10 to 15V	10 to 15V	10 to 15V	10 to 15V	10 to 15V
VA Total (Use this number to size the transformer)	2.4	4.5	13.5	13.5	11.0
Watts Used	2.0	4.2	10.1	11.2	9.1
Efficacy (Lumens per Watt)	38	51	48	43	23
Max Lumens	73	208	397	430	117
CRI	82	82	84	84	82
CBCP	313	1,140	2,761	2,577	183
CCT					
Amber Filter	2700K	2700K	2700K	2700K	N/A
Frosted Filter	3900K	3900K	3900K	3900K	N/A
Green Filter	4500K	4500K	4500K	4500K	N/A
Blue Filter	5200K	5200K	5200K	5200K	N/A

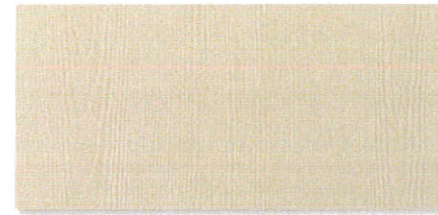
## Siding #1

Board & Batten, Fiber cement  
 HardiePanel Vertical Siding &  
 HardieTrim Batten Boards  
 Sherwin-Williams, Acier



HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



### SELECT CEDARMILL®

*Navajo Ridge*

Thickness: 5/16 in.

Size: 4 ft. x 8 ft. 4 ft. x 9 ft.\* 4 ft. x 10 ft.

Pcs./Pallet: 50 50 50

Pcs./Sq. 3.2 2.8 2.5



### SMOOTH

*Evening Glow*

Thickness: 5/16 in.

Size: 4 ft. x 8 ft. 4 ft. x 9 ft.\* 4 ft. x 10 ft.

Pcs./Pallet: 50 50 50

Pcs./Sq. 3.2 2.8 2.5



Installed on over 8 million homes\* from coast to coast, James Hardie® fiber cement siding products are designed to resist the most extreme conditions while romancing the senses. Enjoy the warm, natural character of wood with unprecedented peace of mind. It's easy to see what makes James Hardie the market leader.

#### UNIQUE FORMULATION

We use the highest quality raw materials and proprietary additives for enhanced strength and moisture protection.

#### FINISHING TECHNOLOGY

Baked-on color delivers a beautiful finish that resists fading and makes a lasting impression.

#### COMPLETE EXTERIOR\*\*

Offers homeowners an unrivaled collection of design options with exceptional warranties through a single, trusted manufacturer.

\*Estimate based on total James Hardie siding sales through 2016 and average housing unit size.



## Siding #2

Cove lap siding, painted wood  
Sherwin-Williams, Olive Grove



**EL & EL Wood Products**

*Millwork that creates distinction.™*

PRODUCTS

CATALOGS

DESIGN GALLERY

FIND A DEALER

We specialize in exceptionally fine wood and urethane mouldings, interior & exterior doors, columns & mantels.

We also manufacture resin mouldings, exterior door frames & provide custom finishing

PRODUCTS

Mouldings / Doors / Valuflex / Columns / Urethane / Mantels / Accessories / Closet Material / Trimboard & Sidings

## Trimboard & Siding

Choose By

- PROTECTED MOULDING
- PROTECTED SIDING
- TRIMBOARDS
- VIEW ALL

## Protected Siding

– Siding

### Search Product Number

To search for a Product or CAD Profile enter the part number. To search for an entire product category type in the first three letters (example MLD) to view all products in that category.

Select region:

- Northern CA  Southern CA  Both

Select product type:

- Mouldings  Doors  Valuflex  
 Columns  Urethane

## Trimboard & Siding : Protected Siding : Siding

771

Like 0

BACK

TO SIDING TRIMBOARD & SIDING



What's This?

### PRODUCT INFORMATION

Southern California: 771

Northern California: 771

Buy from a dealer in your area



**Description:** Cove Siding

**Dimensions:** 1"x 8" (3/4" x 7-1/2"), Aprx.  
Overlap 1/2"

Bodyguard is a range of premier finger-jointed New Zealand radiata pine trimboard, siding and molding products that adds a superior quality of finish and appearance to your home.

click to zoom

### Porch Siding #3

Tongue and groove siding  
Western Red Cedar, stained



Prev

Next

Close X



## SIDING, FASCIA & TRIM

Exterior siding, fascia and trim, stocked in Pine, Redwood, Cedar and Douglas Fir. Available in a wide selection of patterns and textures. Custom patterns and textures also available.



Vertical Grain: Hemlock, Western Red Cedar, Douglas Fir



Western Red Cedar

Inland Red Cedar	3/BTR Common	1x4 thru 1x12	KD	S1S2E Pattern
Western Red Cedar	STK	1x4 thru 2x12	KD	S4S Rough or Pattern
	C/BTR	1x4 thru 2x12	KD	S4S Rough or Pattern
	A/BTR VG	1x4 thru 1x10, 2x4 thru 2x10	KD	S4S Rough or Pattern
	STK Stock Patterns	WP4R, WP11R, 391, 392, 477		

#### Siding Patterns



#### TONGUE & GROOVE

Tongue & Groove siding is available in a variety of patterns. T&G lends itself to different effects aesthetically. Sizes given here are for Plain Tongue & Groove. Do not nail through overlapping pieces. Horizontal or vertical applications. Tongued edge up in horizontal applications.

#### Nominal Sizes\* Thickness & Width

1 x 4  
1 x 6  
1 x 8  
1 x 10  
1 x 12

Note: T&G patterns may be ordered with 1/4, 3/8, or 7/8" tongues. For wider widths, specify the longer tongue and pattern.

#### Nailing 6" and Narrower

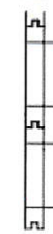
Plain



Use one casing nail per bearing to blind nail.

#### Nailing 8" and Wider

Plain



Use two siding or box nails 3-4" apart to face nail.



# Chimney

Metal, Galvanized steel



## 8" DuraTech Thru-the-Wall Kit - DT830-KIT

SKU: BNDL\_NLE5SP\_DT830

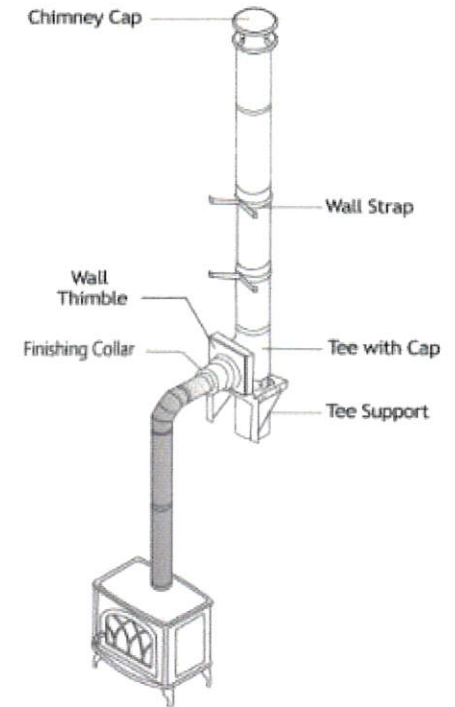
MPN: BNDL\_NLE5SP\_DT830

From: **\$932.49**

To: **\$1,459.91**

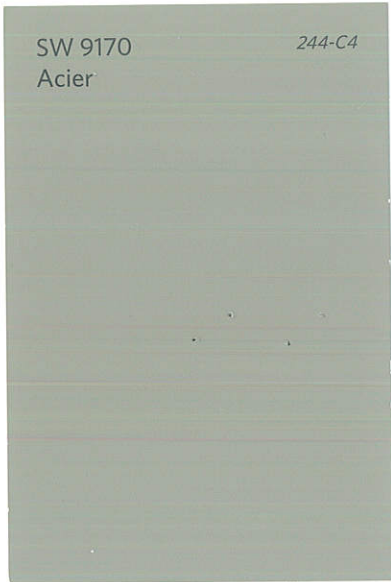
The 8" DuraTech Thru-the-Wall Kit contains all the components needed to install an 8" chimney (excluding black stove pipe and DuraTech chimney sections) through the wall and up the side of your home.

- 020" 430 stainless steel inner wall
- 016" 430 stainless steel or .021" galvalume steel outer wall options
- Thermal Tech (ceramic refractory) blanket insulation encased between walls
- Stainless steel end rings to seal the pipe
- Light weight insulation, twist-lock fittings, support boxes with factory installed starter sections



SKU	BNDL_NLE5SP_DT830
Diameter	8 Inch
Pipe Wall	Double Wall
Warranty Details	Manufacturer's Limited Lifetime Warranty - (only when installed by a Qualified Professional Installer)
Additional Info	<p>With a Thermal Tech blanket insulation encased between dual walls, DuraTech offers superior safety and performance. It keeps the outer wall cool while ensuring high flue gas temperatures for optimum draft performance. The inner wall is 25% thicker than competitive chimneys, for an extra margin of safety. Designed for normal, continuous operation at 1000 Degree F flue gas temperatures, DuraTech is subjected to rigorous and stringent HT requirements of the UL standard, including one hour at 1400 Degree F, plus three ten minute chimney fire tests at 2100 Degree F.</p> <p> <a href="#">Installation Instructions</a></p>
Specifications	<p>020" 430 stainless steel inner wall 016" 430 stainless steel or .021" galvalume steel outer wall options Thermal Tech (ceramic refractory) blanket insulation encased between walls Stainless steel end rings to seal the pipe Light weight insulation, twist-lock fittings, support boxes with factory installed starter sections</p>
Brand	DuraVent
Manufacturer Part Number	BNDL_NLE5SP_DT830
Country of Origin	United States



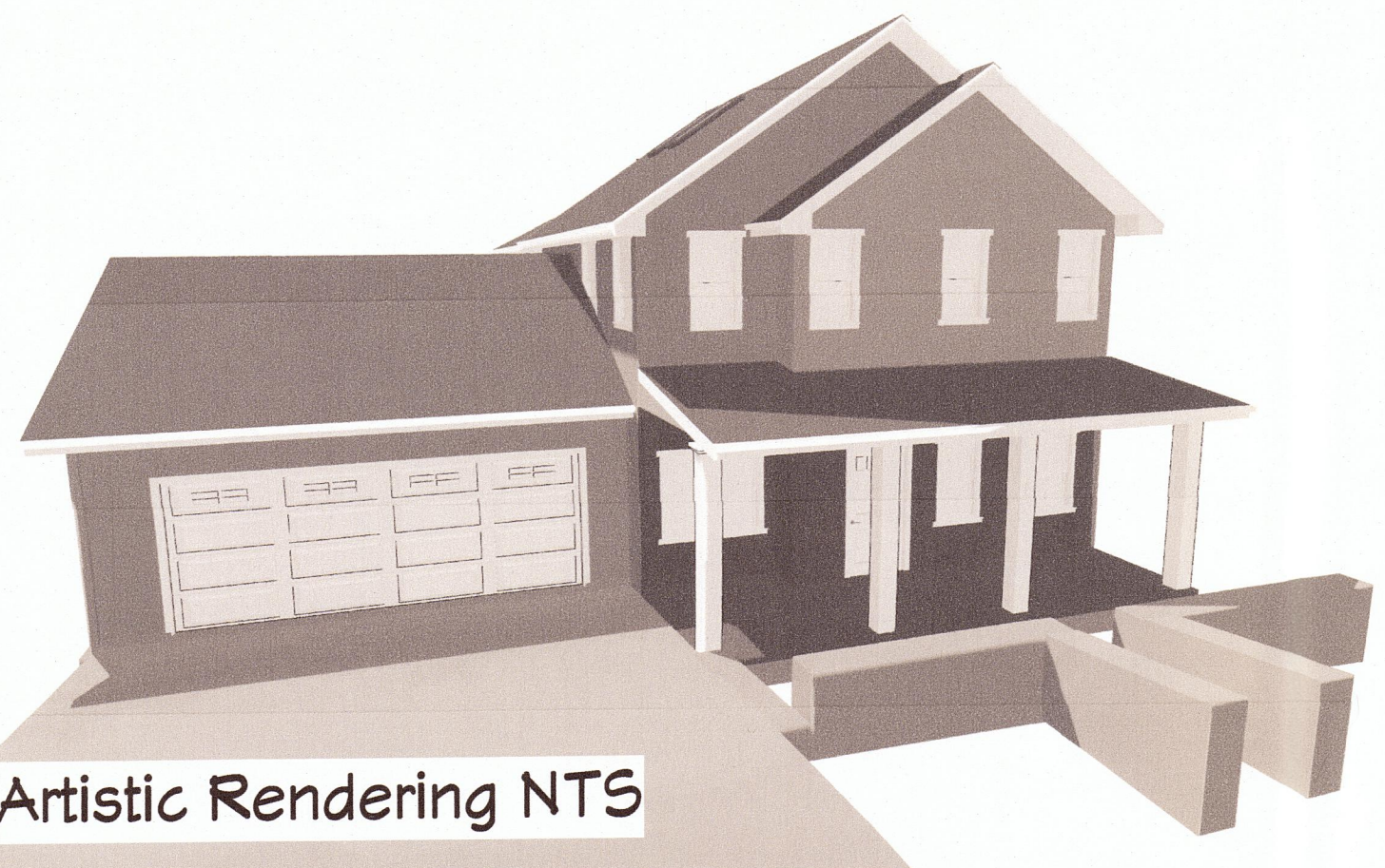




# NEW HOME CONSTRUCTION

## BROGAN RESIDENCE

MONTARA, CA



Floor Area		
A	17'-10 7/8" x 30'-2"	540.3 sf
B	6'-11 1/4" x 28'-2"	195.3 sf
C	32'-9 1/8" x 11'-2 7/8"	368.3 sf
D	19'-6 3/8" x 5'-9"	112.2 sf
E	7'-11 1/4" x 2'-1"	16.5 sf
F	2'-10 7/8" x 2'-10 7/8"	4.2 sf
G	1'-9 3/4" x 2'-1"	2.1 sf
H	1'-9 3/4" x 2'-1"	2.1 sf
I	23'-2" x 26'-3/4"	603.7 sf (Non-Habitable)
Porch	17'-5 7/8" x 6'-3 1/2"	109.9 sf (Non-Habitable)
Porch	6'-4 3/4" x 8'-3 1/2"	52.9 sf (Non-Habitable)
<b>1st Floor</b>		
J	13'-2" x 43'-9 7/8"	577 sf
K	4'-8 7/8" x 1'-10"	8.6sf
L	11'-7 7/8" x 45'-5 7/8"	530.3 sf
<b>2nd Floor</b>		
<b>Total Floor Area</b>		<b>3123.1 sf</b>
<b>Coverage (Footprint + Porches &amp; Decks)</b>		
Deck (12' 10 1/2" x 5' 8 3/4") - F		75.3 sf
Deck 13'-2" x 3'-6"		46sf
Sub Total		121.3 sf
<b>Total Coverage</b>		<b>2128.5 sf</b>

**Project Summary**  
 New 4bd/ 3ba construction with attached 2 car garage. All LED lighting, 1 FAU, Tankless hot water, New underground utilities. Fire sprinklers required.

Lot 46, 47, 48 Block 21  
 Birch Street, Montara  
 APN: 036-103-220  
 District: R1/S-17/DR/CD  
 Property Size: 75' x 125' = 9375 sf  
 Occupancy Type: R3  
 Type of construction: V-B

**Lot Coverage:** Allowed lot coverage is 35% x property size:  
 .35 x 9375 sf = 3281.25 sf  
 Proposed Coverage: 2128.5 sf

**Floor Area:** Allowed Floor Area is 53% x Net Lot Area:  
 .53 x 9375 sf = 4968.75 sf  
 Proposed Floor Area: 3123.1 sf  
 FAR = 3123.1/9375 = 33.3%

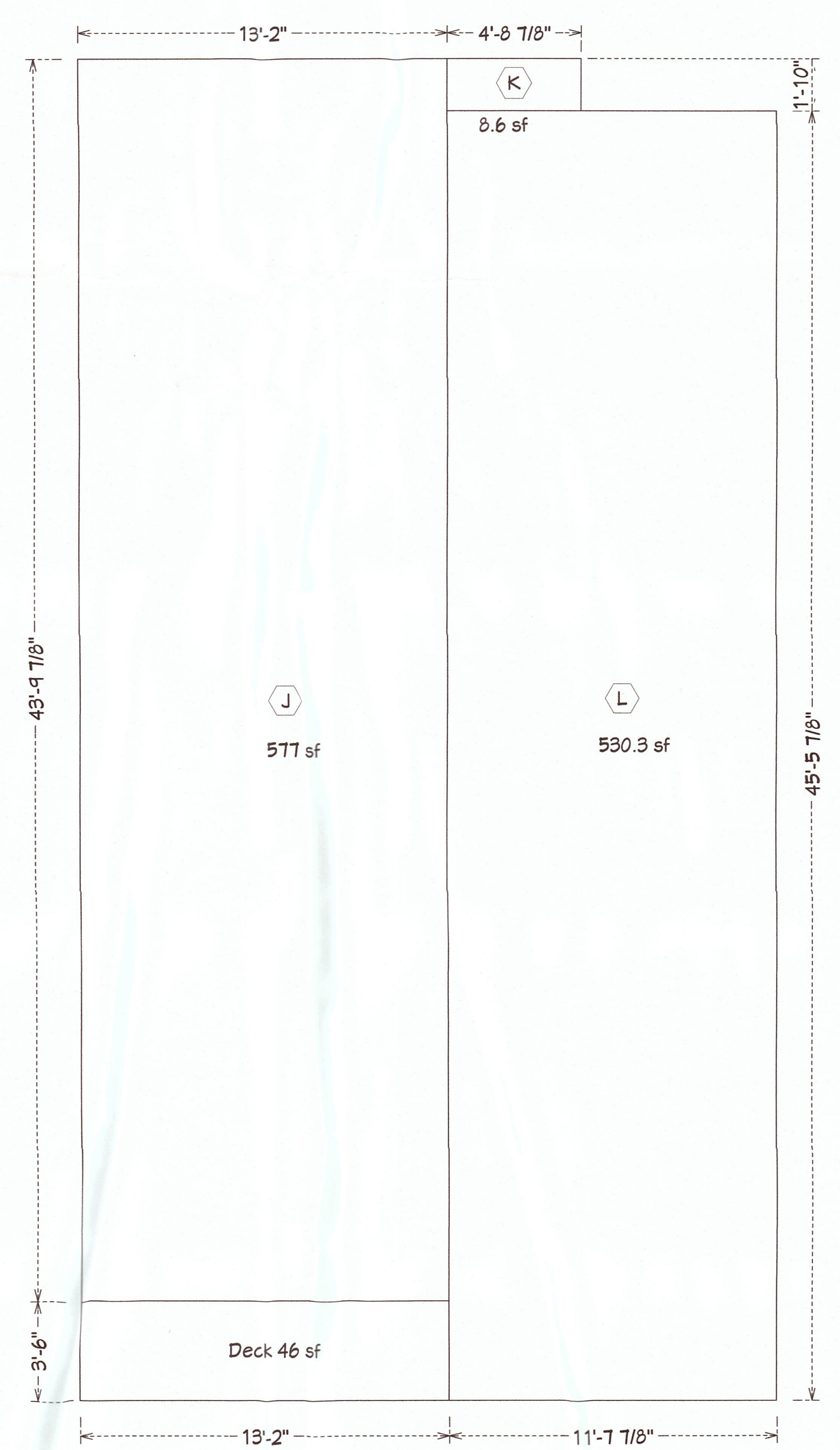
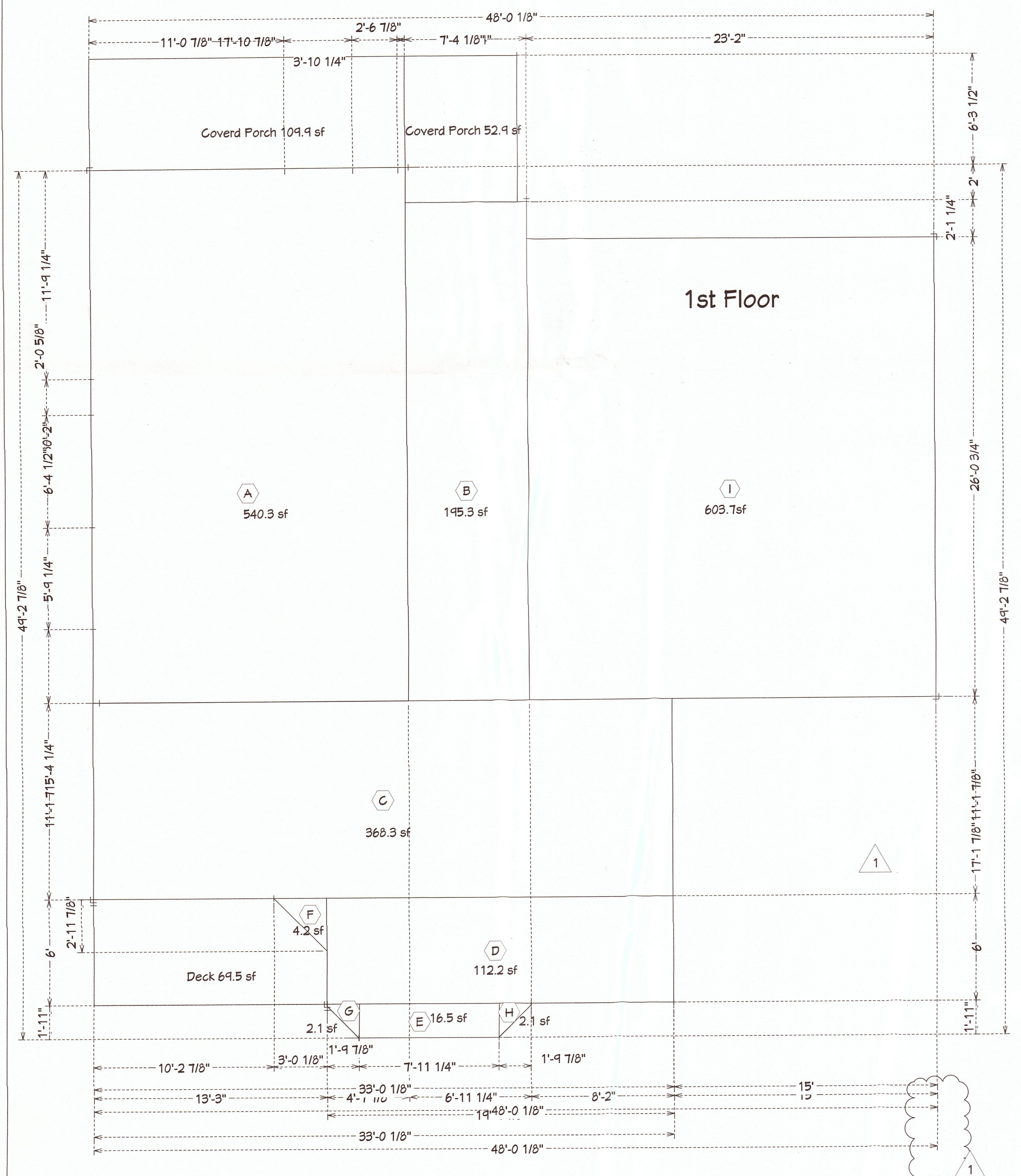
**Impervious Surface:** Allowed impervious surface is 10% x Net Lot Area:  
 .10 x 9375 sf = 937.5 sf  
 Proposed Impervious Surface: 721.6 sf

Setbacks	Allowed	Proposed
Front	20'	20'
Side	5' min/15' total	15' total
Rear	20'	48'-9.75"

Height Limit 28'      27' 11 7/8"

Total Landscape Area: 1555 sf

Revision Table	Revised By	Description	County Review #1
1	JDF	1/9/2018	



**OWNER/ BUILDER**  
**Bernadette Brogan**  
 LOT 46, 47, 48 BIRCH ST  
 MONTARA, CA 94022  
 650-759-6997

**CIVIL ENG.**  
**Dominguez Associates**  
 40 Humboldt Court.  
 Pacifica, Ca. 94044

**SURVEYOR**  
**MacLeod & Associates**  
 965 Center St  
 San Carlos, CA 94070  
 650-593-8580

**Applicable Codes**  
 2016 California Residential Code  
 2016 California Building Code  
 2016 California Electrical Code  
 2016 California Energy Code  
 2016 California Mechanical Code  
 2016 California Plumbing Code  
 2016 California Green Building Standards  
 2016 California Fire Code

**Index**

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A4	Foundation Plan
A5	1st Floor Plan
A6	2nd Floor Plan
A7	Electrical Plan
A8	Electrical Plan
A8.1	Exterior Recessed Lighting
A9	Roof Plan
A10	Elevations
A11	Elevations
A12	Cross Sections
L1	Landscape Plan
L2	Landscape Privacy Plan
GB1	CalGreen Mandatory Measures
T24.1	Energy Documentation
T24.2	Energy Documentation

**RECEIVED**  
 FEB 16 2018  
 San Mateo County  
 Planning Division

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montara

**Project Information**

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereaux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com    650-222-0787

DATE:  
2/4/2018

SCALE:  
1/4" = 1'

SHEET:  
**A1**



### General

- 1/2" gypsum board installed from foundation to roof sheathing on the garage side at separation wall between garage and residence (CRC Table R302.6)
- 5/8" Type "X" gypsum board installed on ceilings and supporting members (i.e. beams, columns and bearing walls) where living areas are above or ceiling is used as the separation (CRC Table R302.6)
- 1-3/8" minimum solid core or 20 min rated door with self closing and self latching devices at separation wall between garage and residence (CRC R302.5.1)
- Tub/Shower walls must be smooth, hard, non-absorbent surface (e.g. ceramic tile or fiberglass) to a height not less than 6' above the floor (CRC R307.2)
- Minimum 36" deep landing outside all exterior doors not more than 7-3/4" lower than threshold for in-swing doors; and at the same elevation on each side of the door for out-swing doors. (CRC R311.3)
- Depth of landing must be equal to width of stairs (CRC 1009.8)
- 7-3/4" Rise maximum and 10" Run Minimum for all stairs (CRC 302.7)
- 1/2" gypsum board at walls and soffit of enclosed space under stairs
- Must have 6'-8" minimum headroom at stairway (CRC311.7.2)
- Handrails to have a 1-1/4" minimum and 2" maximum grippable cross section, no sharp corners, and at a height of 34" to 38" above nosing, extended continuously from top to bottom of riser, and terminate at newel posts or return walls (CRC R311.7.8.3)
- Guard is required on the open side of the stairway at a height of 34" to 38" and shall have intermediate rails spaced such that a sphere 4-3/8" in diameter cannot pass through (CRC R312.1.3 Exception 2)
- Fireplace and chimney must be pre-manufactured and are required to be listed and installed in accordance with their listings and manufacturer's instructions (CRC R1004)
- Concrete Foundation wall shall extend at least 6" above the finished grade (CRC R404.1.6)

### Mechanical

- All air ducts penetrating separation wall or ceiling between garage and living area shall be 26 GA. minimum (CRC R302.5.2)
- Termination of all environmental air ducts (e.g. dryers, bath fans, domestic range vents, etc.) shall be at least 3 ft from openings into the buildings and property lines (CMC 502.2.1)
- Door to furnace room must be 24" wide minimum
- Furnace room shall provide a minimum 30" clear working space
- Indoor Air Quality and Exhaust- each bathroom shall be mechanically vented and shall comply with the following per Calgreen Section 4.506
  - i. Fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building
  - ii. Unless functioning as a component of a whole house ventilation system, fans must be controlled by humidity control
- All new kitchen hoods, dryer vents and bath fans shall have backdraft dampers (CMC 504.1)
- ATTIC ACCESS: not to be smaller than the largest furnace component with a minimum of 22" x 36". Attic shall have a minimum of 30" head room and a clear, solid path that is 24" wide minimum from the access to the FAU. Access opening shall have a light switch within reach and the FAU shall have an electric receptacle.
- AC Condenser units supported from the ground shall rest on a concrete or other approved base extending not less than 3" above the ground level (CMC 1106.2)

### Electrical

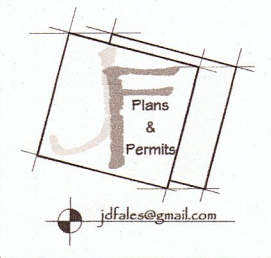
- Carbon monoxide alarms shall be installed in this dwelling unit per CRC R315
- Carbon Monoxide alarms shall be listed as complying with UL 2034 and UL 2075
- Branch circuits serving garage receptacles shall not serve outlets outside of the garage CEC210.52(G)(1)
- Two small appliance branch circuits are required for the kitchen and are limited to supplying wall and counter space outlets for the kitchen, pantry, breakfast room, dining room or similar areas. These circuits can not serve outside plugs, range hood, disposals, dishwashers or microwaves- only the required countertop/ wall outlets including the refrigerator.
- All new 120-volt, single phase, 15 and 20 amp branch circuits installed in dwelling unit family rooms, kitchens, dining rooms, living rooms, parlors, libraries, dens, bedrooms shall be protected by listed arc-fault circuit interrupter, combination type, installed to provide protection of the branch circuits. CEC 210.12(A)
- All branch circuits that supply 125-volt, 15- and 20- ampere outlets shall be listed tamper resistant receptacles per CEC 406.12
- GFCI protection is required Bathrooms, Garages, outdoor receptacles & receptacles serving countertop within 6' of laundry, utility or wet bar sink
- A dedicated 20 amp branch circuit shall be provided to supply the laundry receptacle outlet
- A dedicated 20 amp circuit is required to serve the bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc. (Exception- where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied.)
- All Luminaries shall be high efficacy in accordance with Table 150.0-A
- All Luminaries required to have light sources compliant with Reference Joint Appendix JA8, except hallways and closets over 70sf, shall be controlled by dimmers or vacancy sensors (this applies to all GU-24 LED's and recessed luminaries)
- In bathrooms, garages, laundry rooms, and utility rooms at least one luminaire in each of these spaces shall be controlled by a vacancy sensor
- Outdoor lighting shall be controlled by a manual ON and OFF switch that does not override to ON and one of the following: Controlled by photocell and motion sensor, Photo control and automatic switch control, Astronomical time clock, or Energy management control system

### Plumbing

- All plumbing fixtures throughout the entire house must be upgraded to meet new water efficient plumbing fixtures:
  - a. Water Closets upgraded to 1.28 gpf maximum
  - b. Shower heads upgraded to 2.0 gpm @ 80 psi
  - c. Lavatory faucets upgraded to 1.2 gpm @ 60 psi
  - d. Kitchen faucets upgraded to 1.8 gpm @ 60 psi
- Seismic anchorage of water heater to include anchors or straps at points within the upper & lower 1/3rd of its verticle dimension. Lower strap must be a minimum 4" above the controls
- Water Heater shall have a pressure relief valve with a drain to the exterior
- Water Heater shall installed at least 18" above floor and be protected from vehicle impact (e.g. Bollard)
- Shower and tub shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type (CPC Section 418.0)
- First hour rating of Water Heater must be 80 gallons per CPC Table 5-1
- Four inch diameter drainage pipe may be required for four and more water closet fixtures in the same horizontal branch. CPC Section and Table 703.2 (footnote #4)

### 2016 CalGreen Mandatory Measures

- Automatic irrigation systems controllers installed at the time of final inspection shall be provided with integral rain sensors or soil moisture sensors that adjust irrigation in response to changes in plants needs as weather conditions change
- Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with mortar, cement masonry or similar acceptable method
- A minimum of 50% of the construction waste generated at the site shall be diverted to recycle or salvage
- An operations and maintenance manual shall be provided prior to the final inspection
- Duct & vent openings shall be covered during construction
- Adhesives, sealants and caulks shall be compliant with product rated MIR limits for ROC and other toxic compounds
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used
- Carpet and carpet systems shall be compliant with VOC limits
- 80% of floor area receiving resilient flooring shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database or compliant with CHPS criteria certified under the Green Guard Children & Schools program or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score Program or meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers."
- Particleboard, medium density fiber board (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards
- Moisture content of building materials used in enclosed wall and floor framing is checked before enclosure and cannot exceed 19%
- HVAC system installers are trained and certified in the proper installation of HVAC systems



Revision Table	Number	Date	Revised By	Description
	1	7/9/2018	JDF	

**Brogan Residence**  
Lot 46, 47, 48, Block 21  
APN 036-103-220  
Birch Street, Montara

**Architectural Notes  
& Details**

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
1921 Devereaux Dr  
Burlingame, CA 94010  
jdfales@gmail.com 650-222-0787

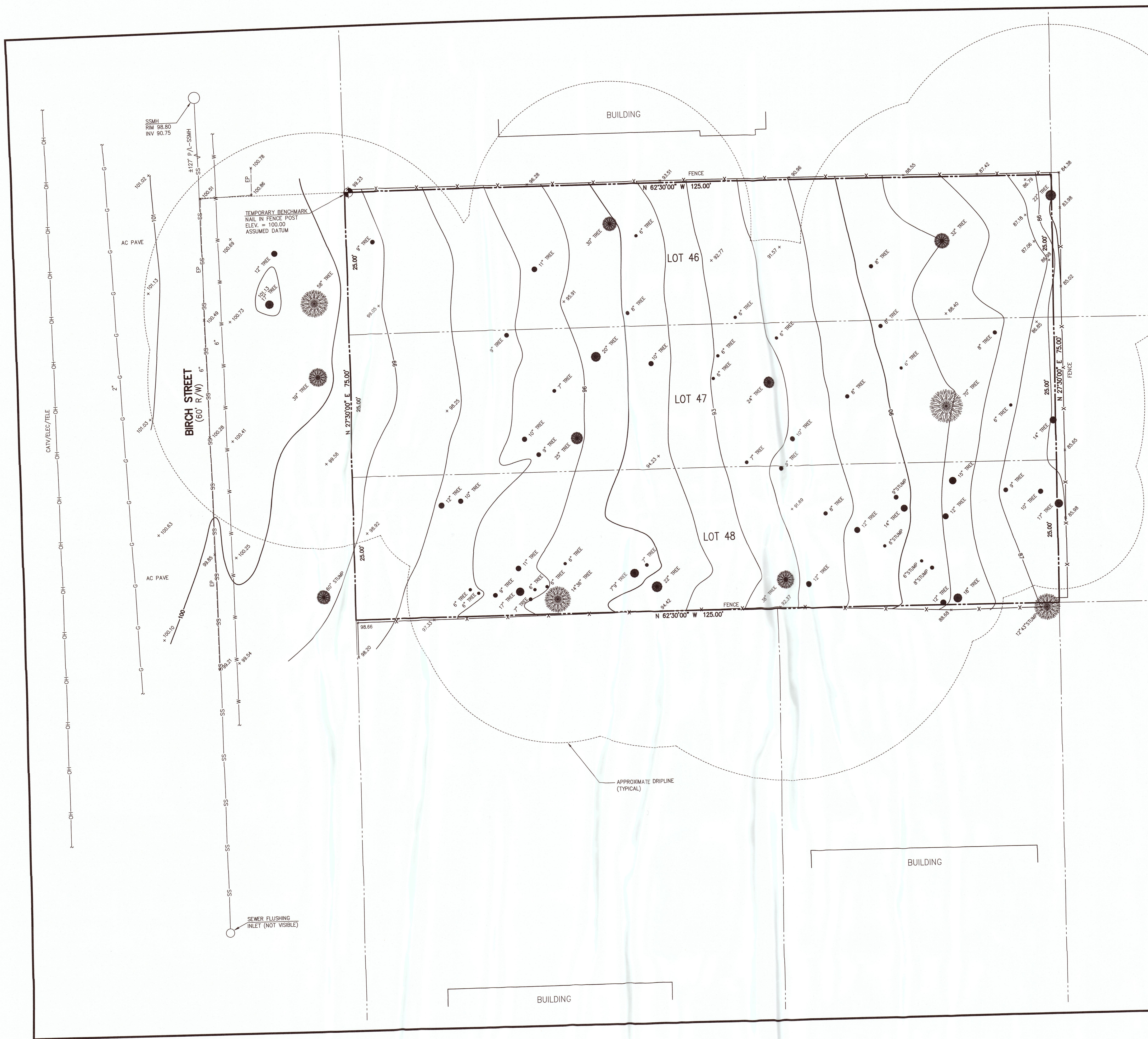
DATE:  
2/4/2018

SCALE:

SHEET:

**A2**





**LEGEND**

- PROPERTY LINE
- ASPHALT CONCRETE PAVEMENT
- CABLE TELEVISION
- ELECTRIC
- EDGE OF PAVEMENT
- INVERT
- SANITARY SEWER MANHOLE
- TELEPHONE
- TREE W/ SIZE
- FENCE
- GAS LINE
- OVERHEAD LINE
- SANITARY SEWER LINE
- WATER LINE

**LOT AREA:**

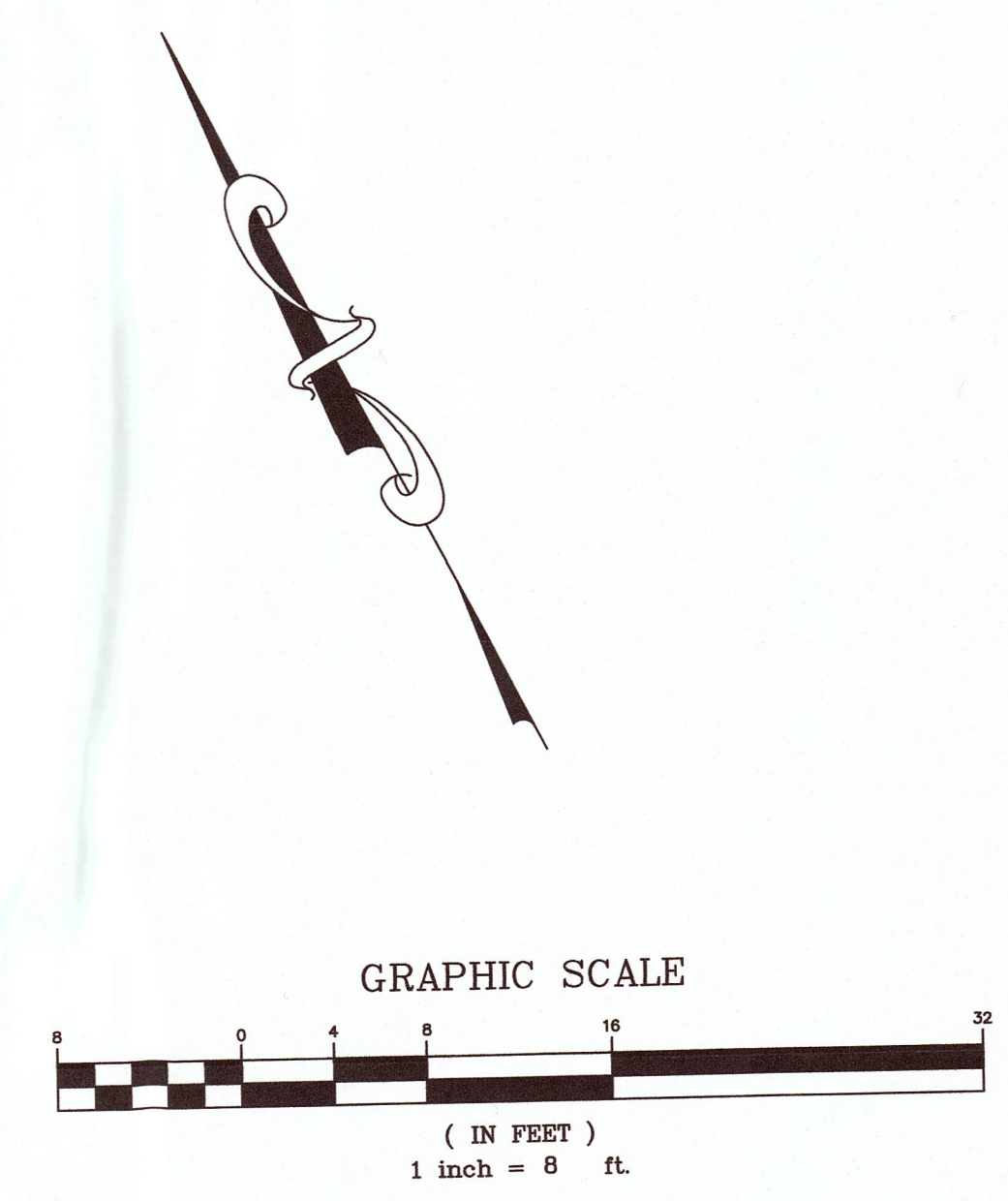
- = 9,375 SQ. FT. ±
- = 0.215 ACRES ±

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

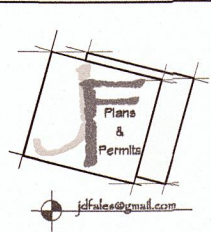
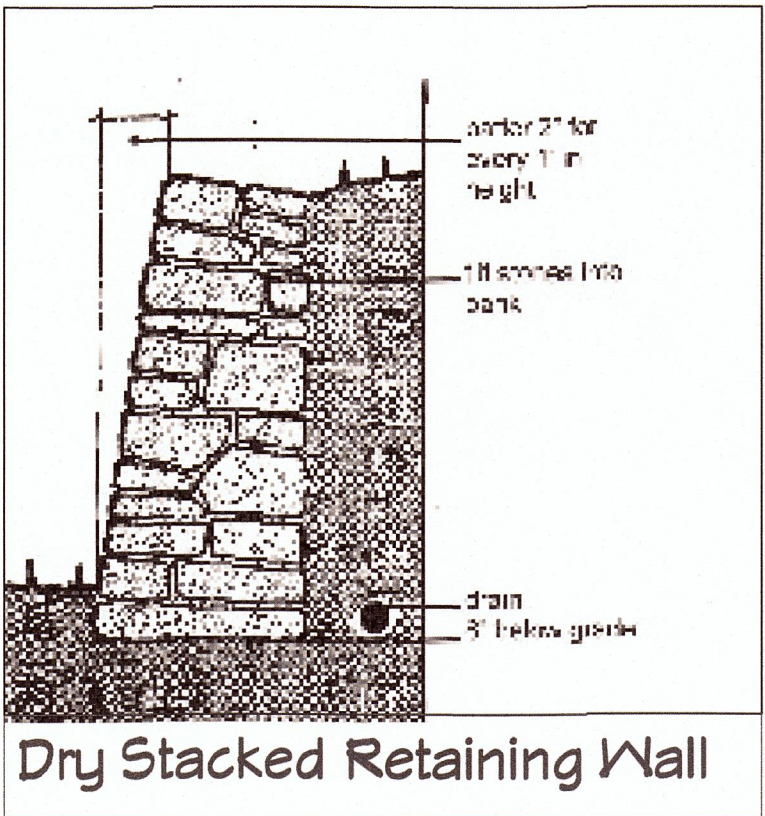
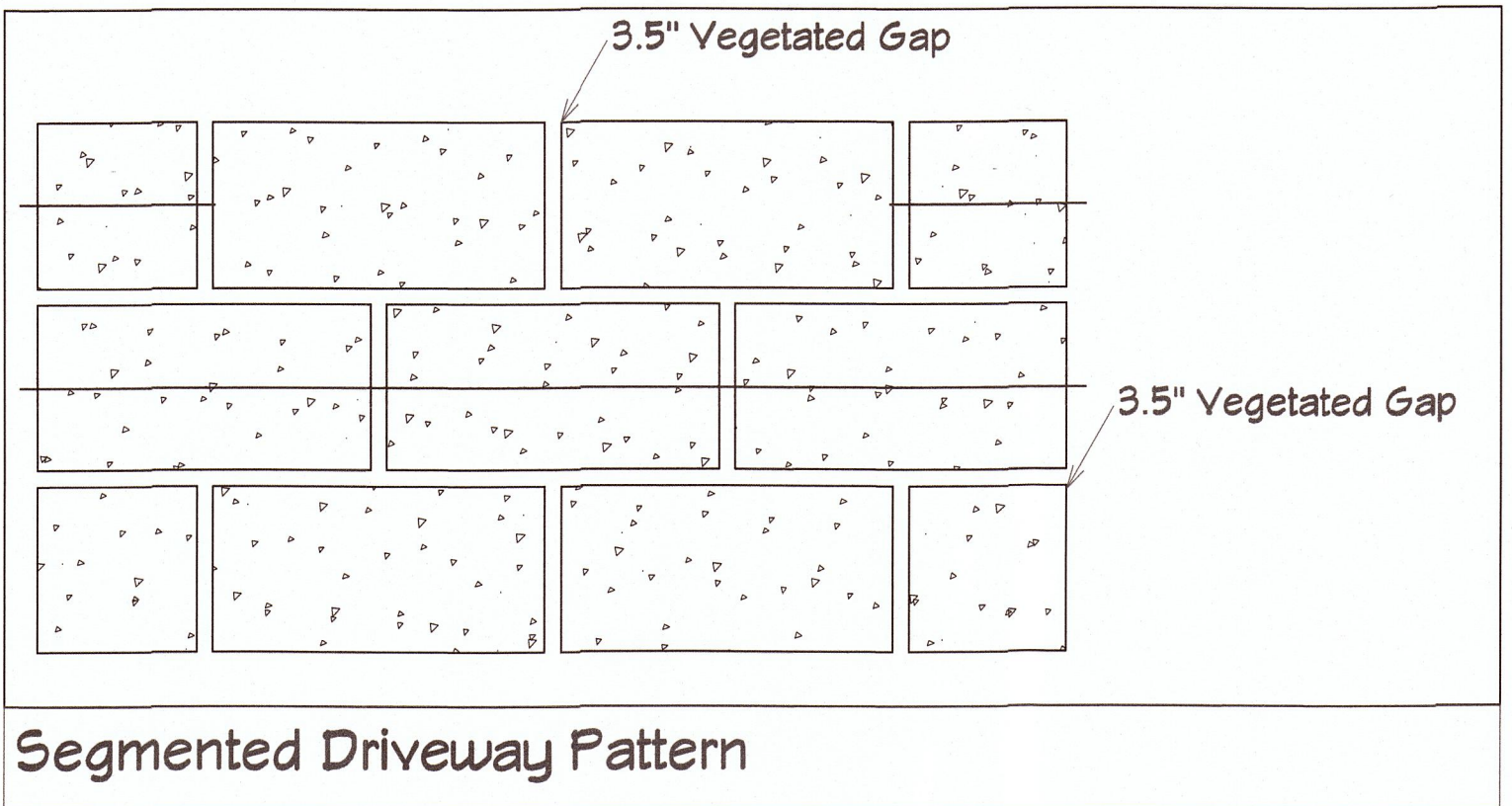
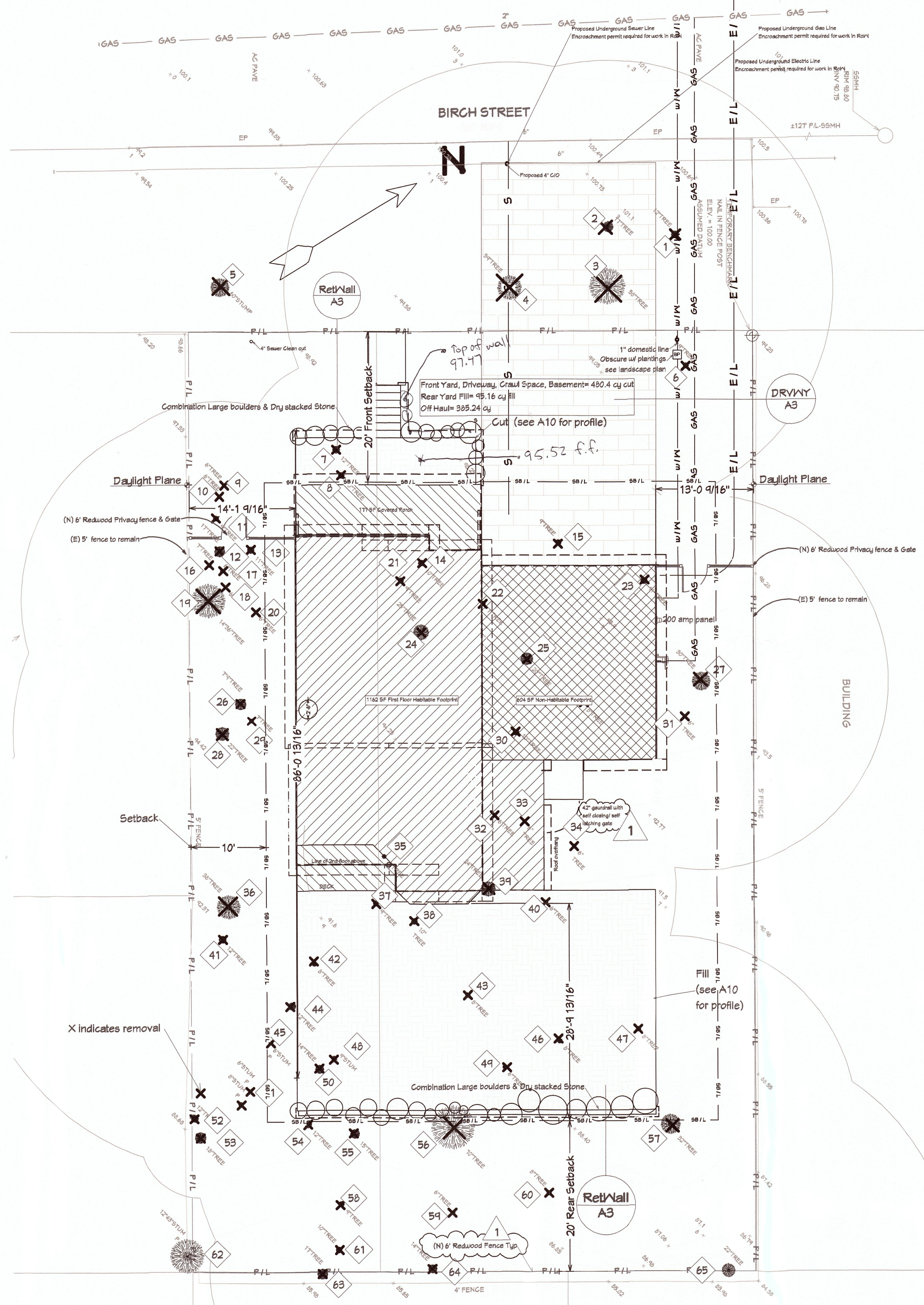
**EASEMENT NOTE:**

AN EASEMENT FOR SEWER AND WATER PURPOSES WAS RESERVED IN BOOK 181 OF DEEDS AT PAGE 118. THE EXACT LOCATION AND EXTENT OF THE EASEMENT CANNOT BE DETERMINED FROM THE RECORD DECREMENT.



	BY: _____ DATE: _____
<b>MACLEOD AND ASSOCIATES</b> CIVIL ENGINEERING • LAND SURVEYING 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580	
PREPARED FOR: BERNADETTE BROGAN	TOPOGRAPHIC SURVEY PLAN BIRCH STREET - VACANT PARCEL A.P.N. 036-103-220 DOC # 2016-028847 LOTS 46, 47 AND 48, BLOCK 21, 5 MAPS 35 MONTARA SAN MATEO COUNTY CALIFORNIA
DRAWN BY: MDL DESIGNED BY: --- CHECKED BY: DGM SCALE: 1"=8' DATE: 09-02-16 DRAWING NO. <b>4361-TOPO</b>	SHEET 1 OF 1





Number	Date	Revised By	Description	County Review #1
1	1/9/2018	JDF		

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montana

**Site Plan**

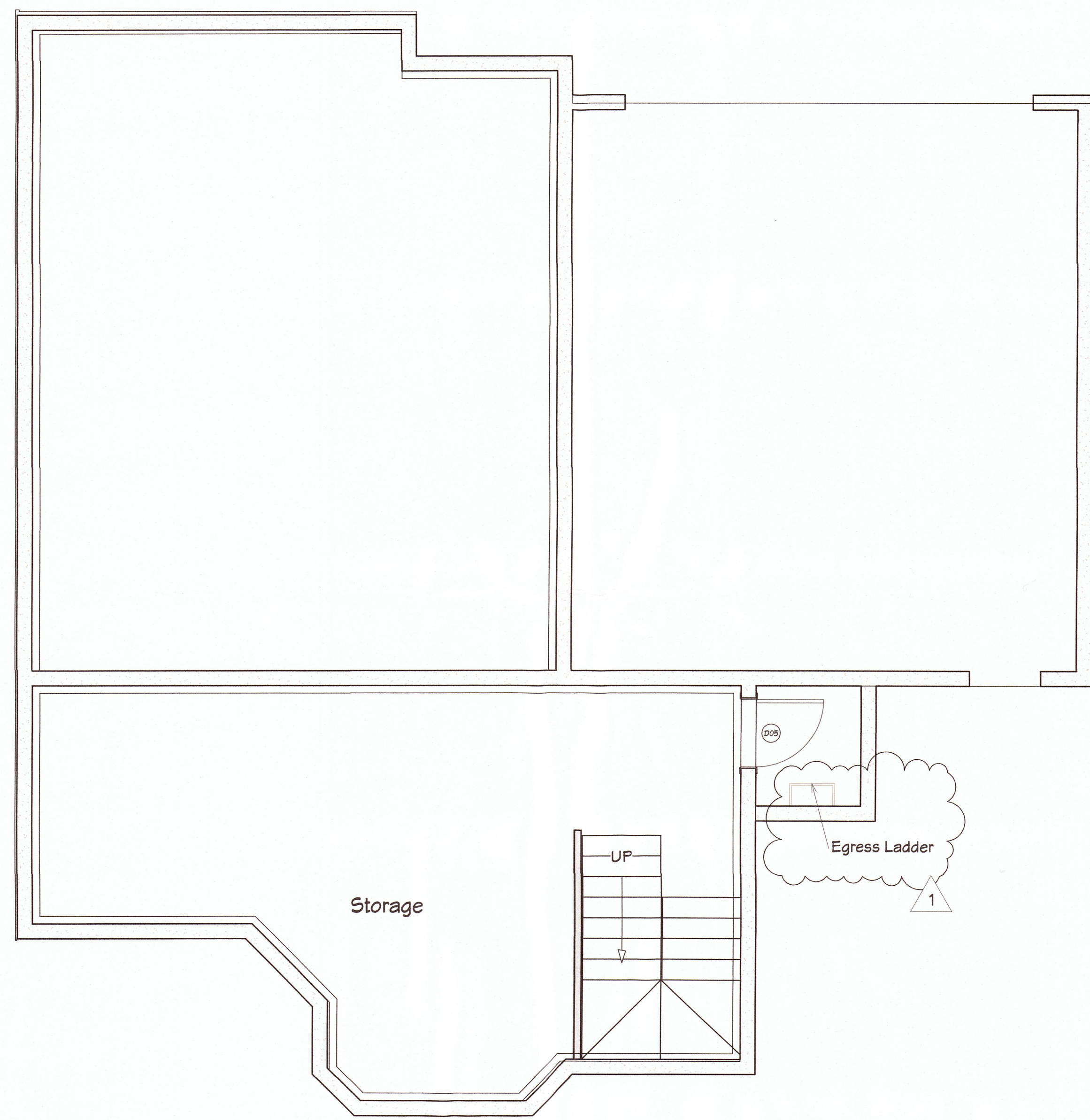
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 1921 Devereux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

DATE:  
 2/12/2018

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 1/8" = 1'

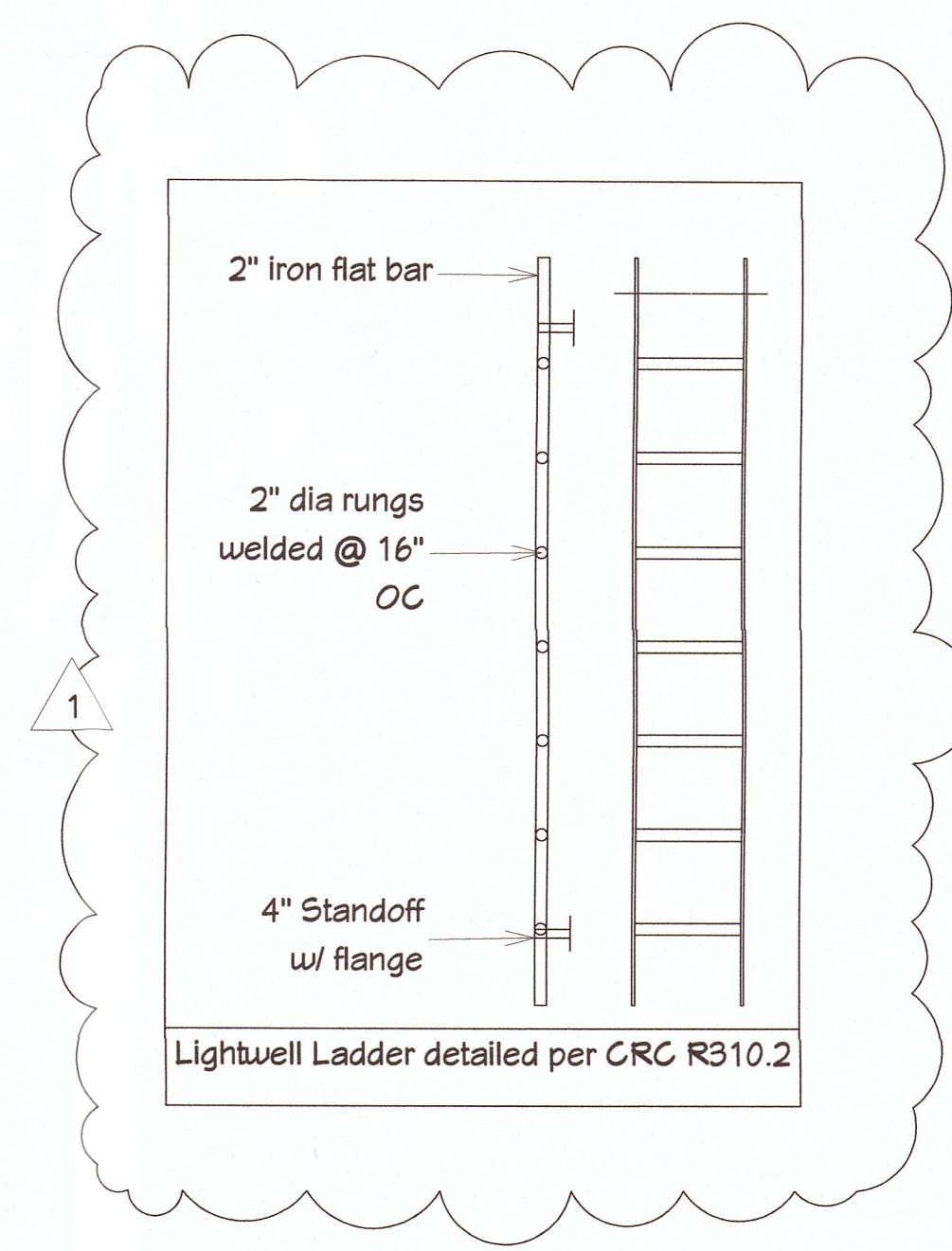
SHEET:  
 A3





Living Area  
1876 sq ft

Foundation



Number	Date	Revised By	Description
1	1/9/2018	JDF	

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Monterey

**Foundation Plan**

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**Jdfales Plans & Permits**  
 1921 Devereux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

DATE:  
2/4/2018

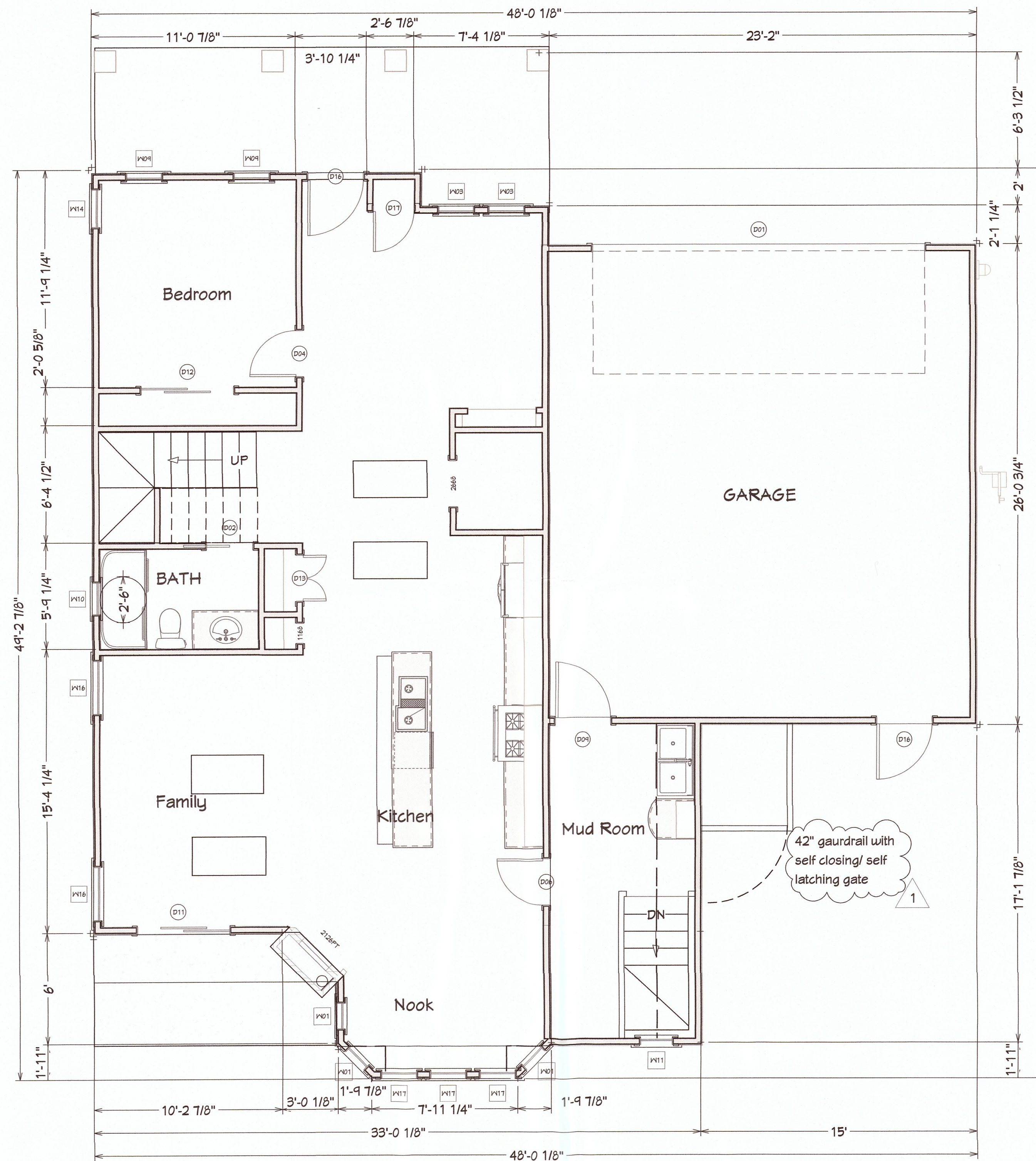
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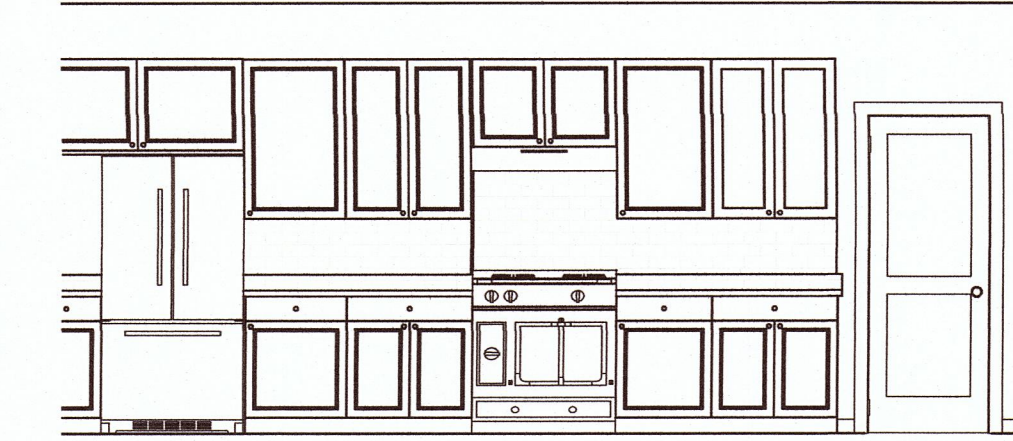


DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	FIRE
D01	1806B	1	1	1806B	216"	80"	
D02	266B	1	1	266B R	30"	80"	
D03	306B	1	2	306B R EX	36"	80"	
D04	266B	1	1	266B L IN	30"	80"	
D05	306B	1	0	306B L IN	36"	80"	
D06	266B	1	1	266B R IN	30"	80"	
D07	266B	1	2	266B R IN	30"	80"	
D08	266B	2	2	266B L IN	30"	80"	
D09	306B	1	1	306B L EX	36"	80"	YES
D10	266B	1	2	266B L	30"	80"	
D11	506B	1	1	506B R EX	60"	80"	
D12	506B	1	1	506B R IN	60"	80"	
D13	266B	1	1	266B L/R IN	30"	80"	
D14	606B	2	2	606B R IN	72"	80"	
D15	266B	5	2	266B R	30"	80"	
D16	306B	2	1	306B R EX	36"	80"	
D17	226B	1	1	226B R IN	26 5/16"	80"	

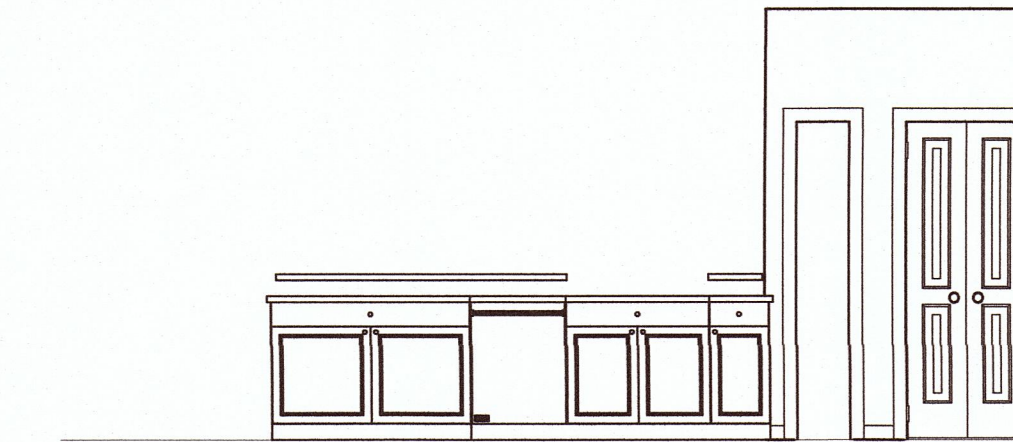
WINDOW SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	TEMPERED	EGRESS
W01	1640FX	3	1	1640FX	18"	48"		
W03	2040DH	2	1	2040DH	24"	48"		
W04	11040FX	1	2	11040FX	22"	48"		
W05	11020AV	4	2	11020AV	22"	24"	YES	
W06	22405C	1	2	22405C	26"	48"		
W07	2040DH	4	2	2040DH	24"	48"		YES
W08	3040DH	4	2	3040DH	36"	48"		YES
W09	2040DH	2	1	2040DH	24"	48"		YES
W10	11020AV	1	1	11020AV	22"	24"	YES	
W11	11040FX	1	1	11040FX	22"	48"		
W14	22405C	1	1	22405C	26"	48"		YES
W16	30505C	2	1	30505C	36"	60"		
W17	20405C	3	1	20405C	24"	48"		



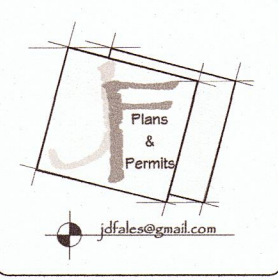
1st Floor



Elev A



Elev B



Revision Table	Revised By	Description
Number	Date	
1	7/9/2018	JDF

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montana

**First Floor Plan**

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereaux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

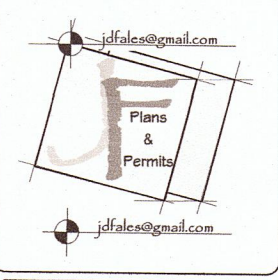
DATE:  
2/4/2018

SCALE:  
1/4" = 1'

SHEET:

**A5**





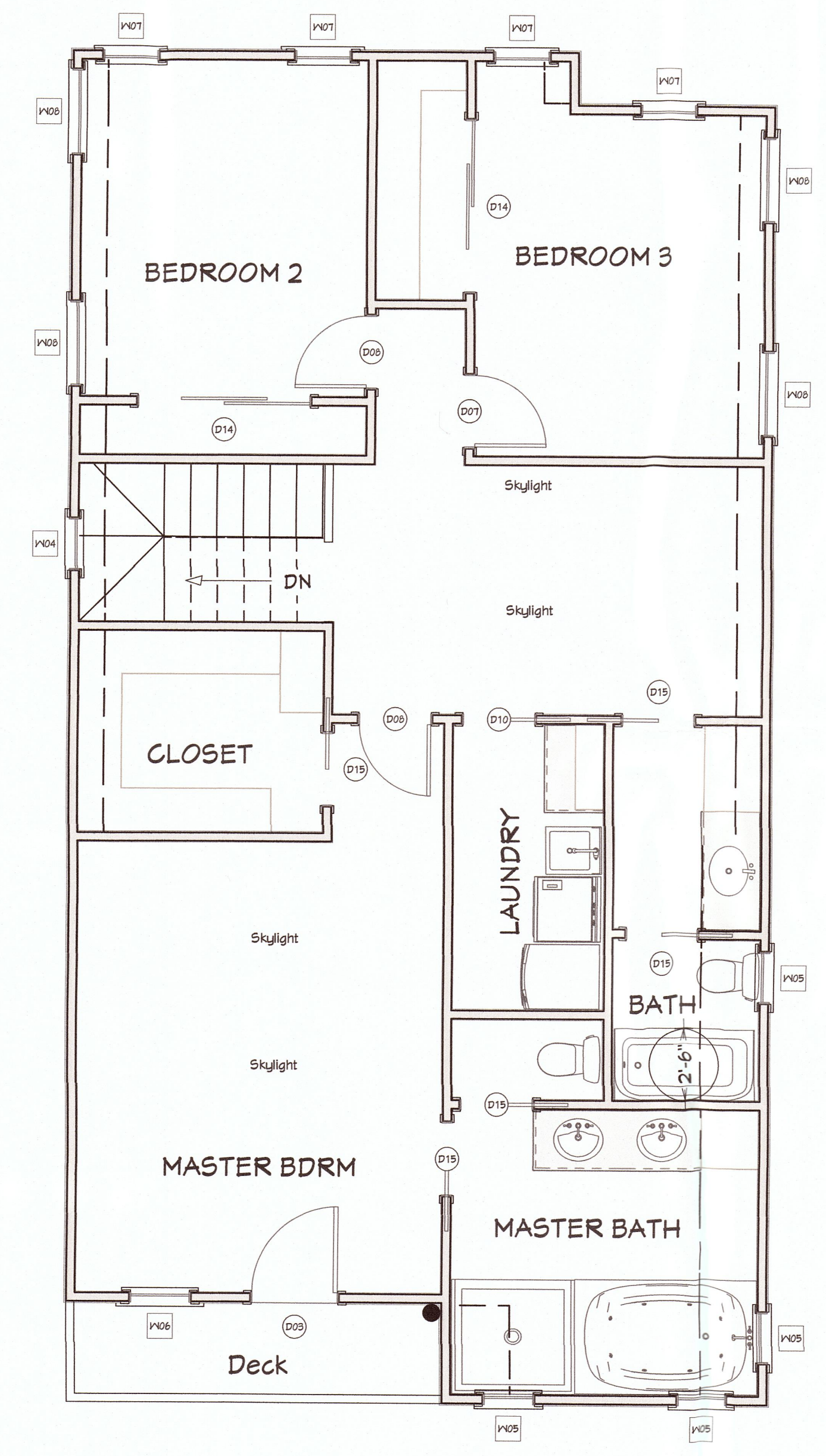
Number	Date	Revised By	Description
1	1/9/2018	JDF	

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montana

**Second Floor Plan**

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

DATE:  
2/4/2018  
 SCALE:  
1/4" = 1'  
 SHEET:



2nd Floor



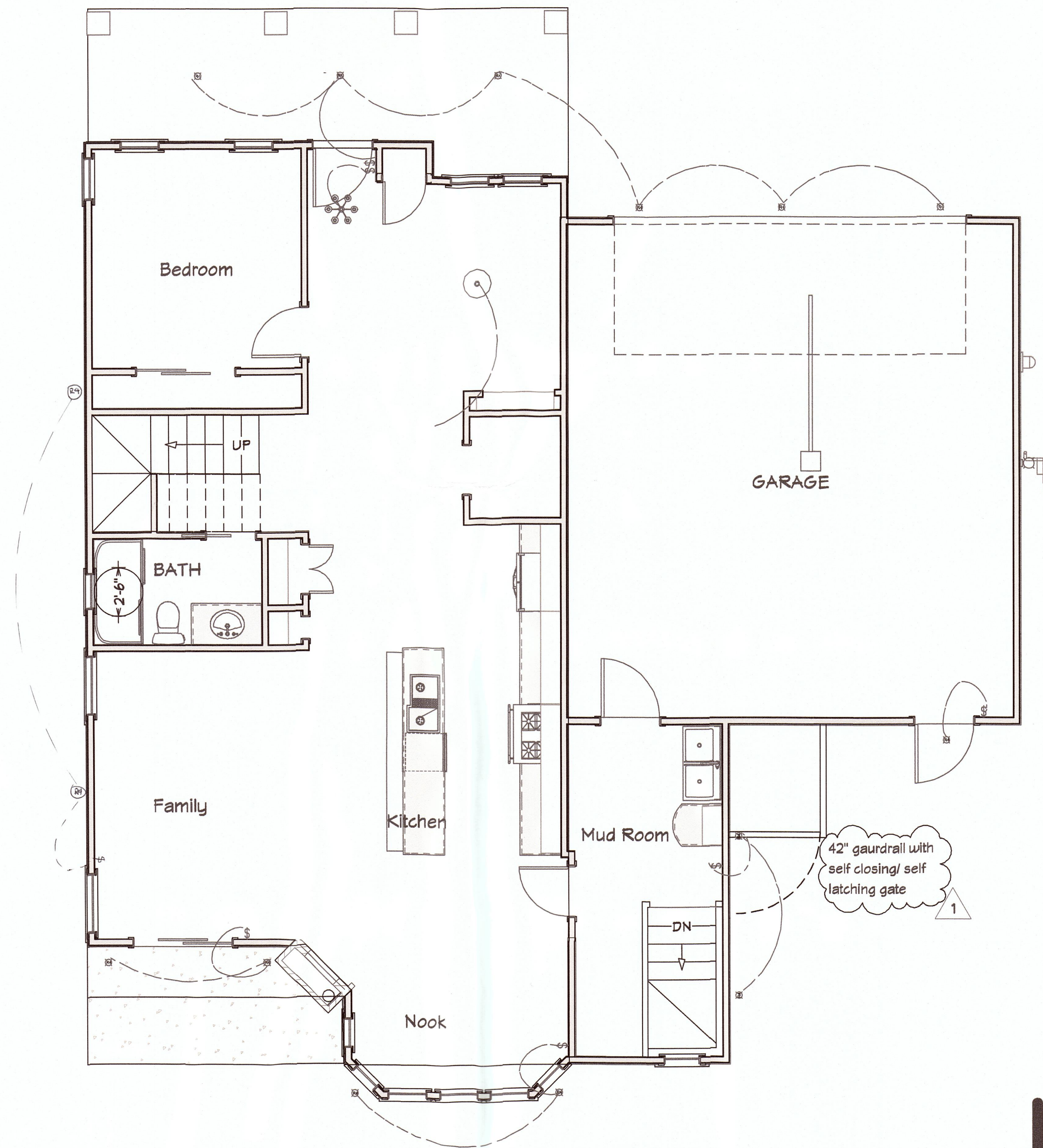
ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans Light Combo: Ceiling Mounted
	h.c. Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Recessed Vapor
	h.E. Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Steam Unit
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Vacancy, Occupancy, Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

**2016 RESIDENTIAL ELECTRICAL CODE STAMP**

- GFCI (ground-fault) outlet locations, bathrooms, garages, outdoors, kitchens, @ sinks, CEC 210.8 & 690.11
- AFCI (arc-fault) branch circuits locations, CEC 210.12
- No point measured horizontally along wall more than 6'-0" from a receptacle outlet CEC 210.52(A)(1)
- Kitchen, pantry, dining room outlets CEC 210.52(c)
- Outlet required in hallways >10 feet, CEC 210.52(h)
- Switched lighting outlets at habitable rooms, stairways, halls & garages; attics, underfloor & utility rooms with equipment or storage, CEC 210.70
- Marked & Listed boxes for support of ceiling fans, CEC 314.27(c)
- Overcurrent devices not located in bathroom or over stairway, protect from physical damage & wet or damp, CEC 240.24 & 32
- Tamper -resistant receptacles all locations, CEC 406.12
- Clothes closet lighting type & clearance, CEC 410.16
- Gas & Electric meter installations, PG&E Green Book
- Lighting to comply with 2013 California Building Energy Efficiency Standards (Title 24)
- Outdoor receptacles, CEC 406.9
- Code edition, 2013 California Electrical Code

**2016 TITLE 24 RESIDENTIAL LIGHTING PLAN STAMP**

- All permanent lighting to be high efficacy except as noted below
- Maximum relamping rated wattage to be labeled on all luminaires
- Kitchen lighting:** 50% of all installed rated lighting wattage to be high efficacy. Internal cabinet lighting excepted
- Bathroom Lighting:** At least 1 high efficacy light, all other lights to be high efficacy or controlled by a vacancy sensor
- Garage, Laundry or Utility room Lighting:** High efficacy & controlled by a vacancy sensor
- Other room lighting:** High efficacy, or controlled by a vacancy sensor or dimmer
- Outdoor lighting:** High efficacy, or controlled by a motion sensor and photocell or astronomical time control
- LED lighting must be CEC certified to be considered high efficacy
- Lighting & exhaust fans to be switched separately
- High efficacy lighting to be switched separately from low efficacy lighting
- Recessed lights to be certified for zero insulation clearance and air-tightness; caulked or gasketed
- 2013 California Energy Efficiency Standards (Title 24)



**In Progress**



Revision Table	Date	Revised By	Description
1	1/9/2018	JDF	

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montana

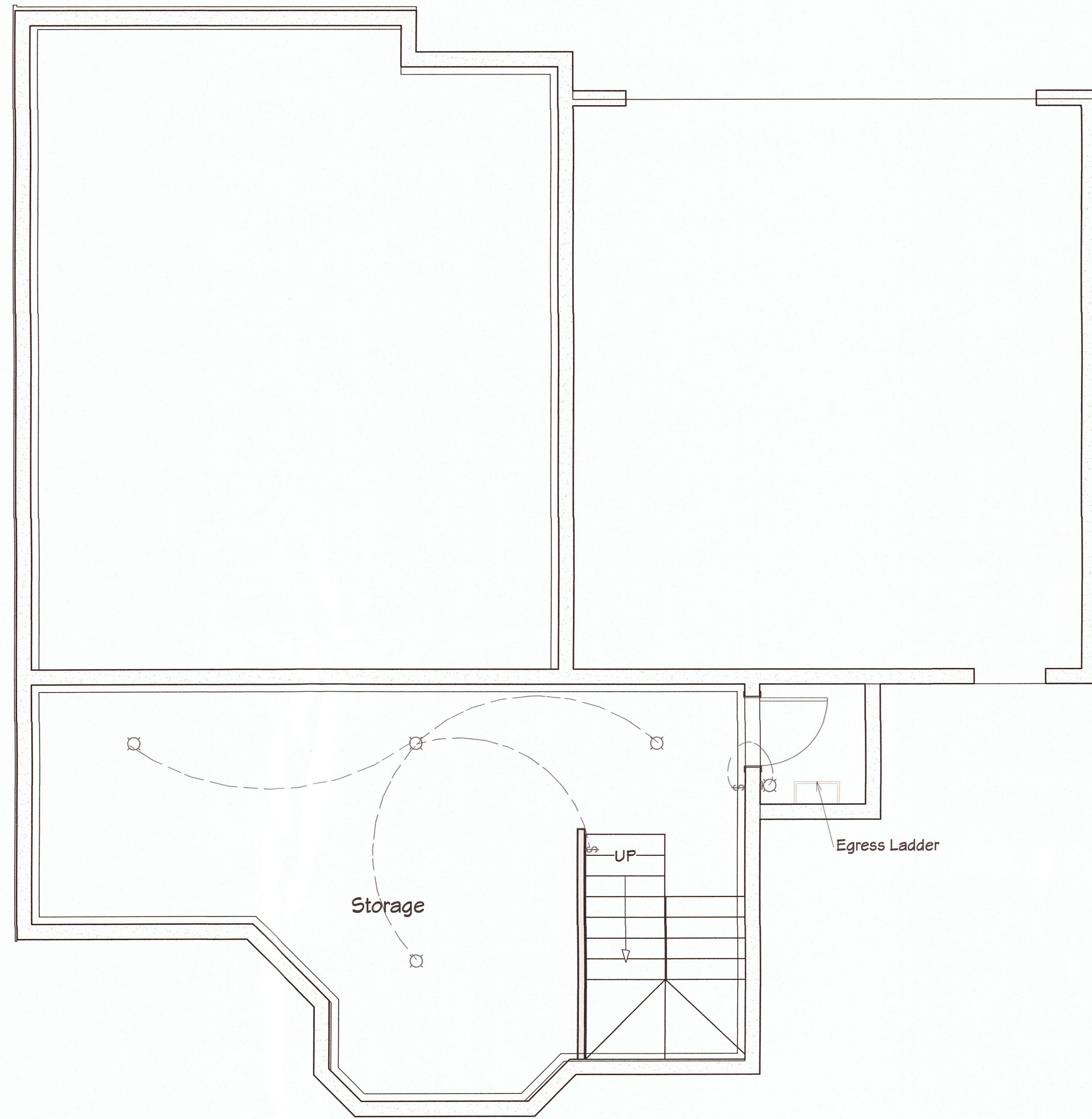
**Electrical Plan**

DRAWINGS PROVIDED BY:  
**Jdfiles Plans & Permits**  
 1921 Devereux Dr  
 Burlingame, CA 94010  
 jdfiles@gmail.com 650-222-0787

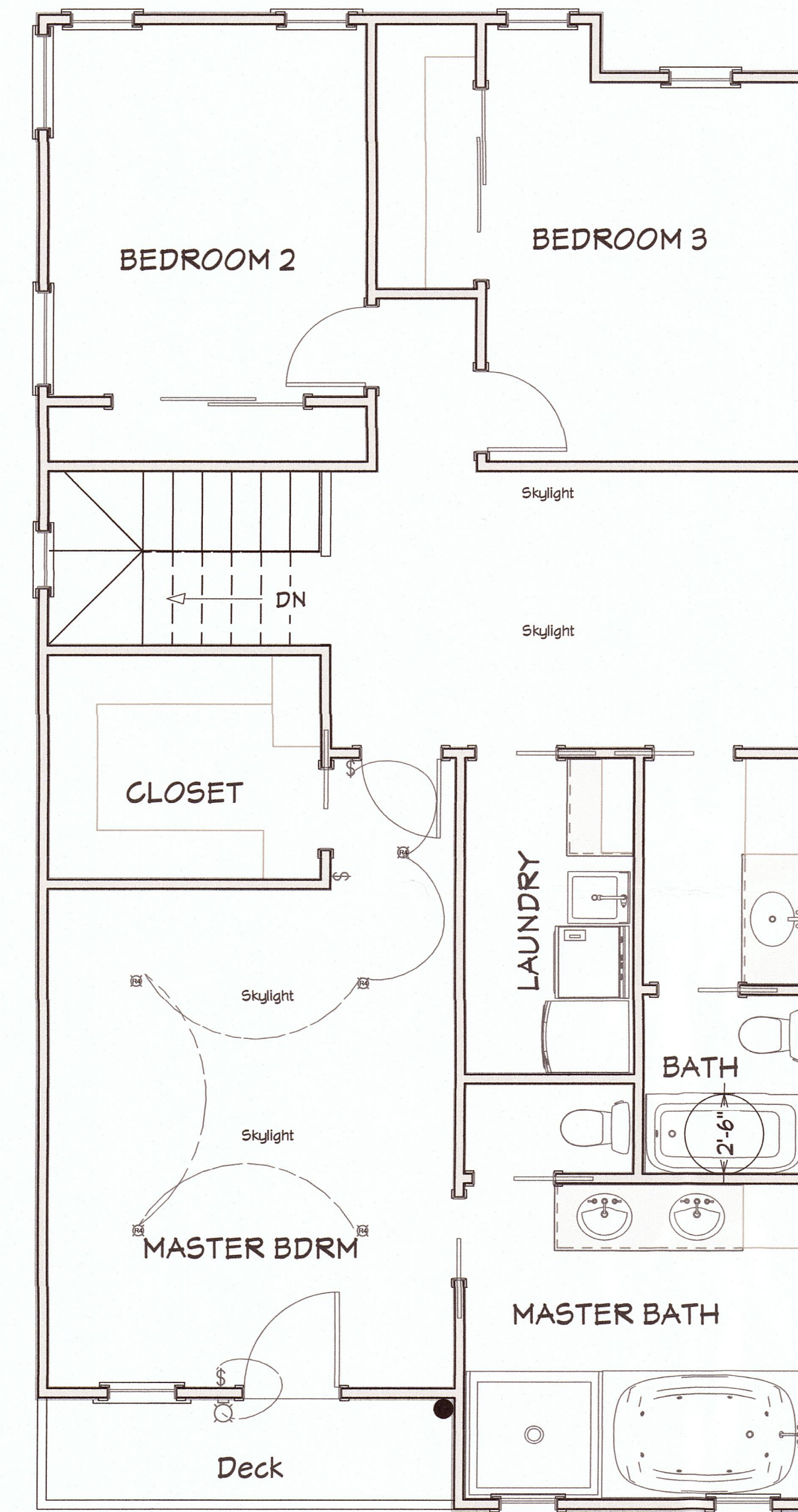
DATE:  
2/12/2018  
 SCALE:  
1/4" = 1'  
 SHEET:

**A7**

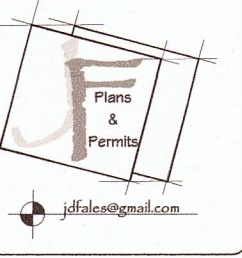




Foundation



2nd Floor



Revision Table	Number	Date	Revised By	Description
	1	7/9/2018	JDF	

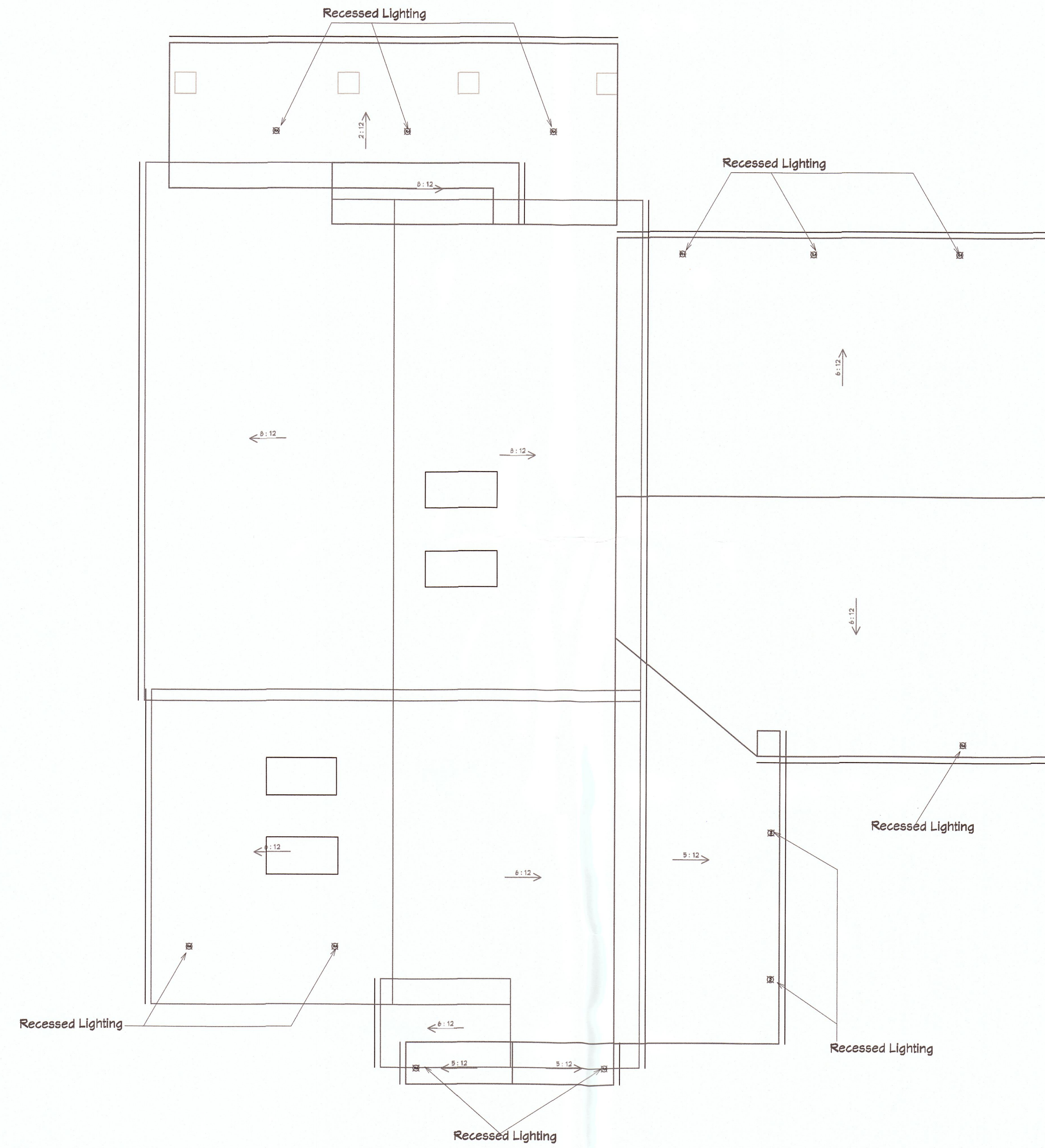
**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montara

**Electrical Plan**

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

DATE:  
 2/4/2018  
 SCALE:  
 1/4" = 1'  
 SHEET:





1st Floor



Number	Date	Revised By	Description

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-105-220  
 Birch Street, Monterey

**Recessed Exterior  
 Lighting Plan**

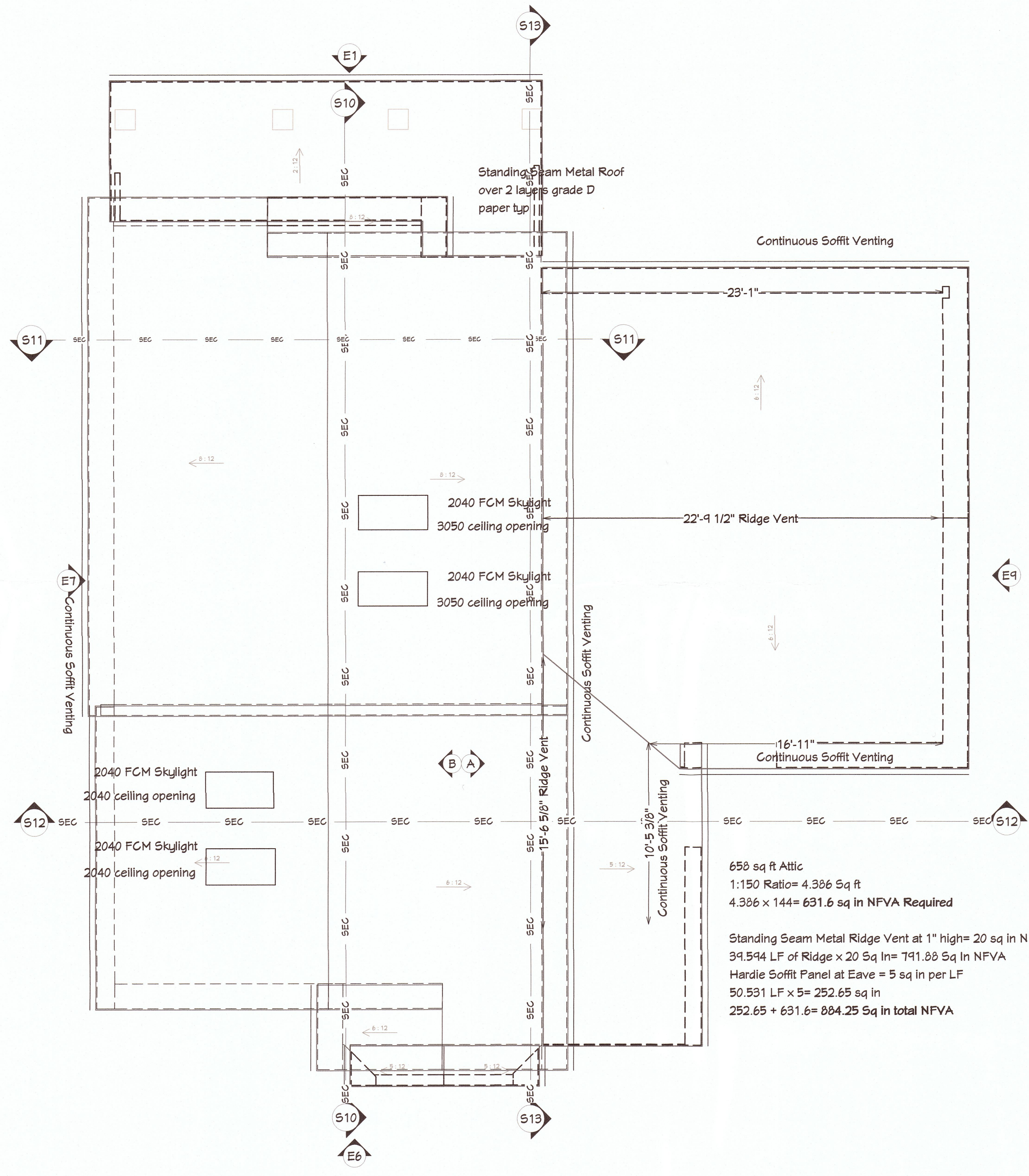
DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

DATE:  
 2/12/2018

SCALE:

SHEET:





1st Floor

650 sq ft Attic  
 1:150 Ratio= 4.386 Sq ft  
 4.386 x 144= 631.6 sq in NFVA Required

Standing Seam Metal Ridge Vent at 1" high= 20 sq in NFVA per LF  
 39.594 LF of Ridge x 20 Sq In= 791.88 Sq In NFVA  
 Hardie Soffit Panel at Eave = 5 sq in per LF  
 50.531 LF x 5= 252.65 sq in  
 252.65 + 631.6= 884.25 Sq in total NFVA

Revision Number	Date	Revised By	Description
1	7/9/2018	JDF	

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montara

**Roof Plan**

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereaux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

DATE:  
 2/4/2018

SCALE:  
 1/4" = 1'

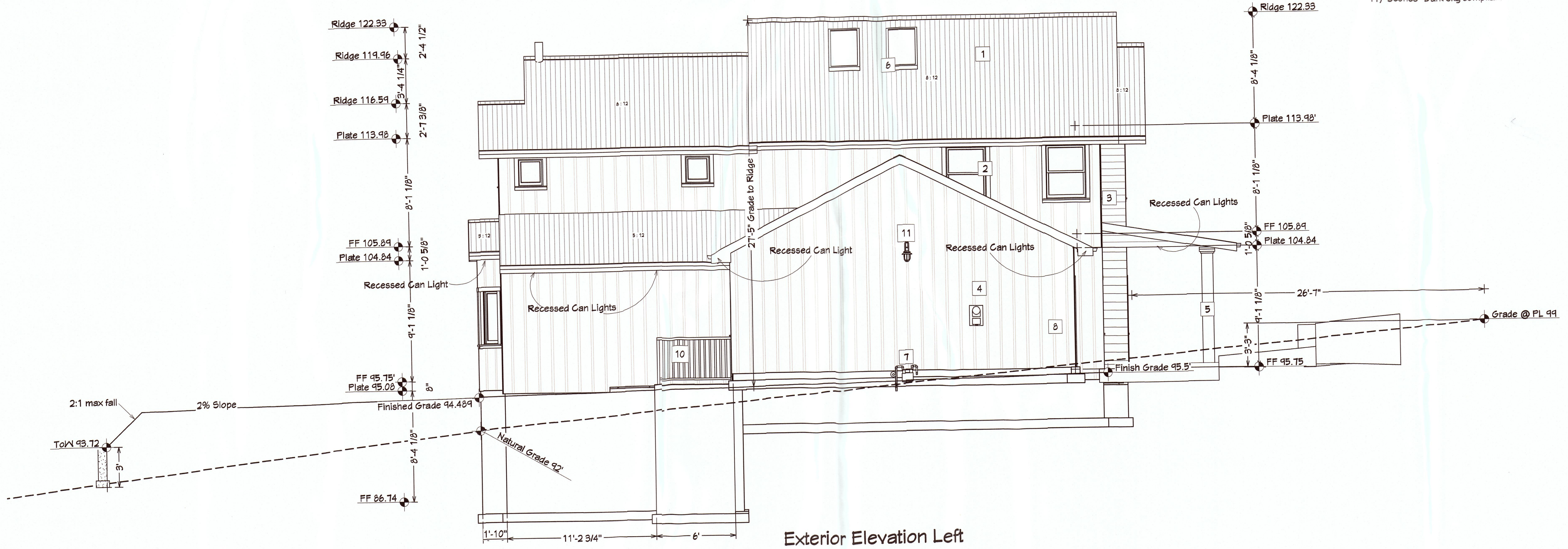
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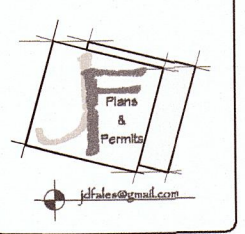


Exterior Elevation Front

- 1) Class A Metal Roofing over 2 layers 15 # felt
- 2) Board & Batten siding over 2 layers grade D paper
- 3) Paint Grade lap siding over 2 layers grade D paper
- 4) Vinyl dual pane windows
- 5) Square paint grade columns
- 6) Velux Operable Curb mount Skylight
- 7) Gas meter
- 8) 200 amp electric panel
- 9) Aluminum Traditional style garage door
- 10) 42" Wrought Iron Gaurd Rail
- 11) Sconce- Dark sky compliant



Exterior Elevation Left



Number	Date	Revised By	Description
1	1/9/2018	JDF	

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Monterey

**Elevations**

**Drawings Provided By:**  
**Jdfales Plans & Permits**  
 1921 Devereux Dr.  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

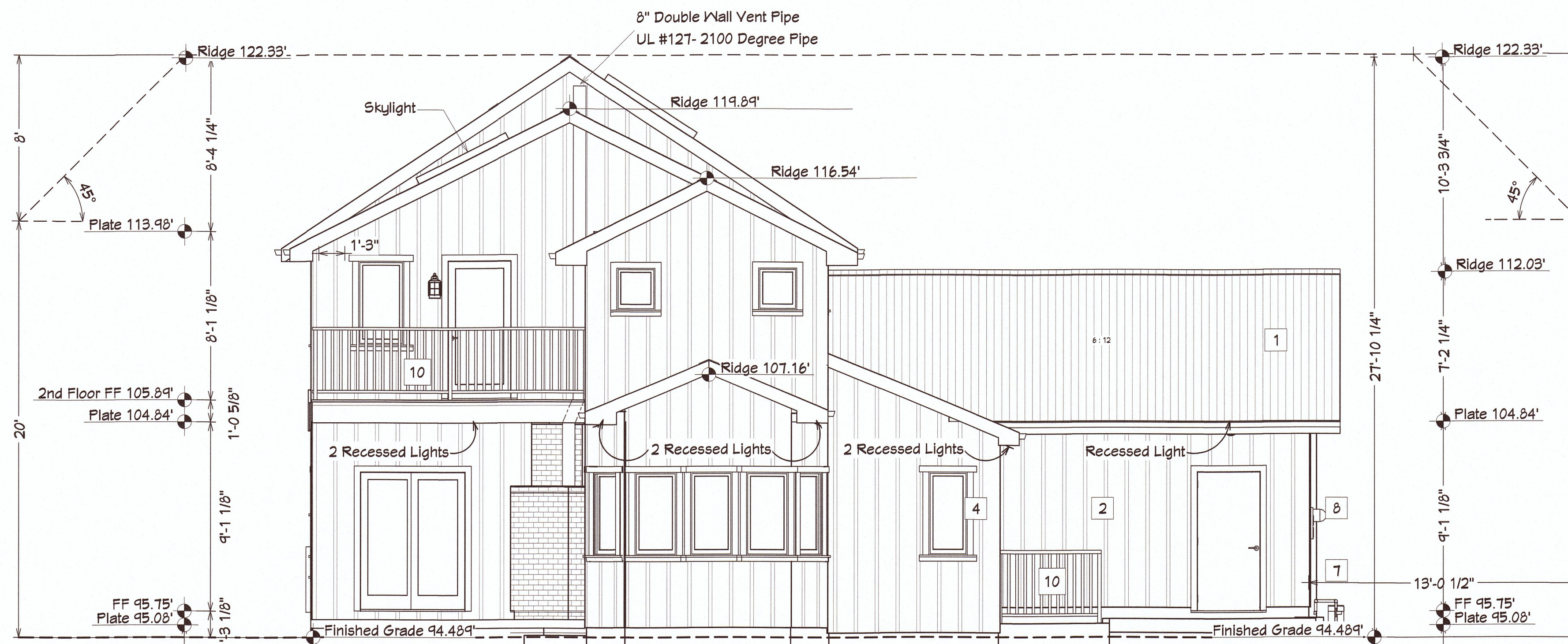
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2/12/2018

SCALE:  
1/4" = 1'

SHEET:

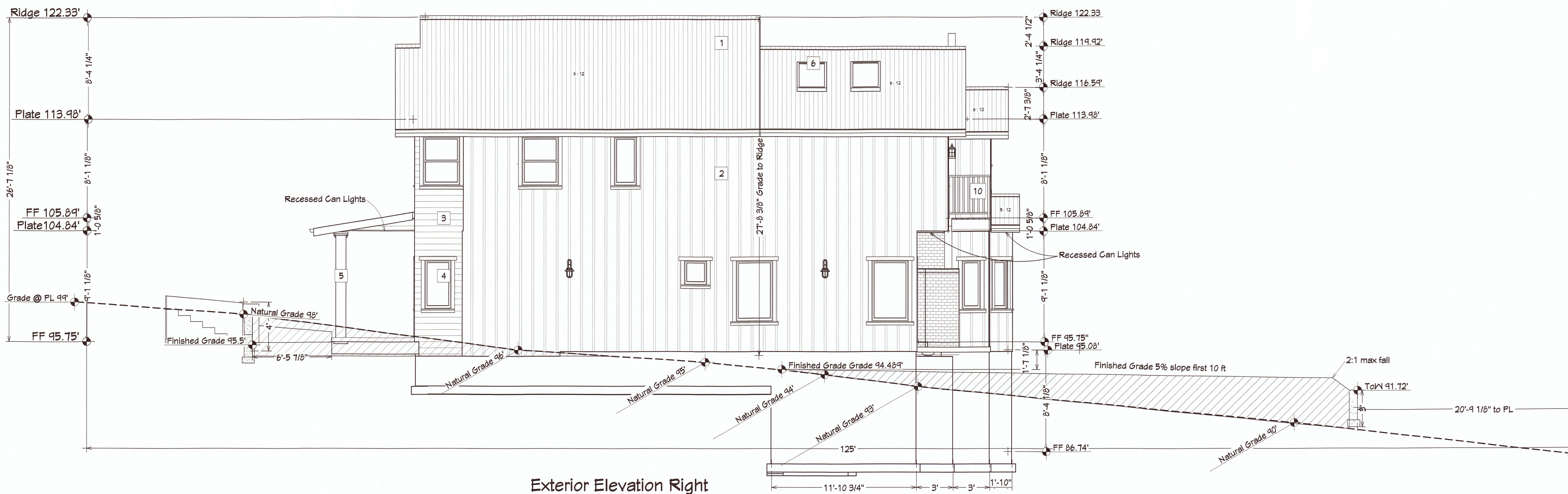
**A10**





Exterior Elevation Rear

- 1) Class A Metal Roofing over 2 layers 15 # felt
- 2) Board & Batten siding over 2 layers grade D paper
- 3) Paint Grade lap siding over 2 layers grade D paper
- 4) Vinyl dual pane windows
- 5) Square paint grade columns
- 6) Velux Operable Curb mount Skylight
- 7) Gas meter
- 8) 200 amp electric panel
- 9) Aluminum Traditional style garage door
- 10) 42" Wrought Iron Gaurd Rail



Exterior Elevation Right

Revision Table	Number	Date	Revised By	Description
	1	7/9/2018	JDF	

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montana

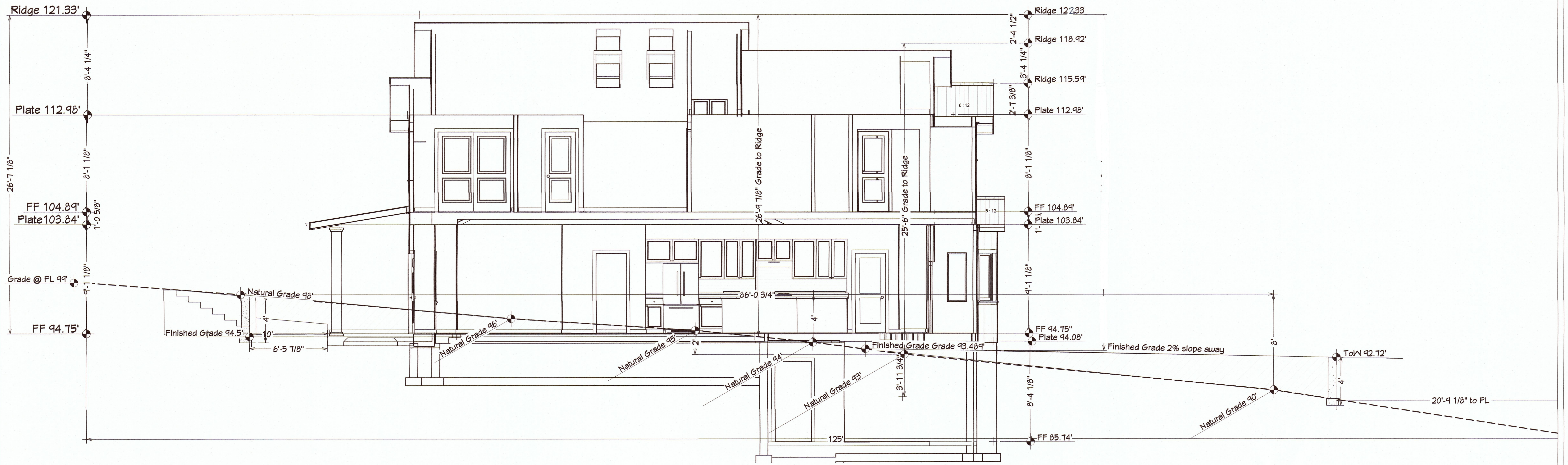
**Elevations**

DRAWINGS PROVIDED BY:  
**Jdfiles Plans & Permits**  
 1921 Deyevaux Dr  
 Burlingame, CA 94010  
 jdfiles@gmail.com 650-222-0787

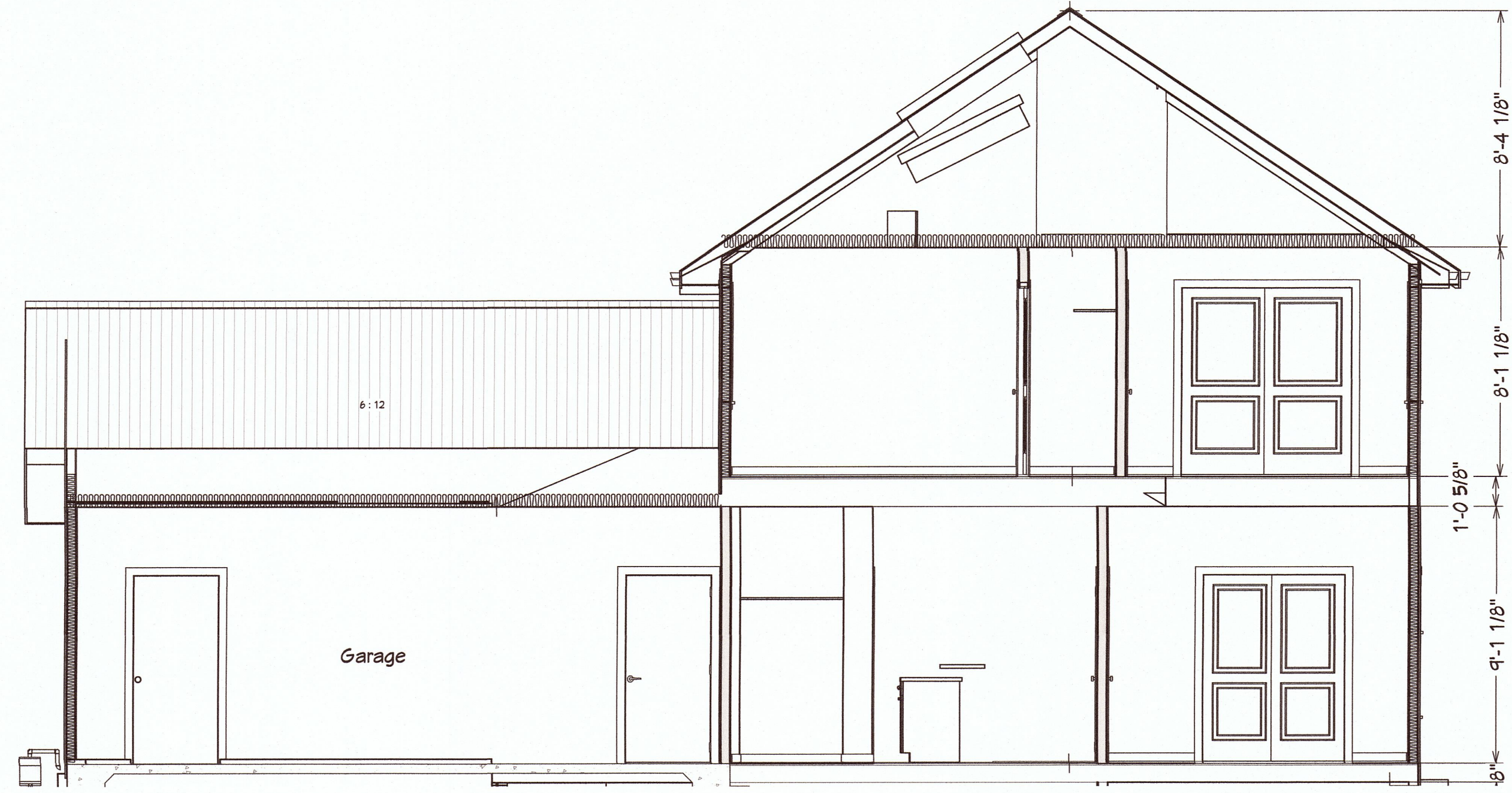
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 SHEET:

A11

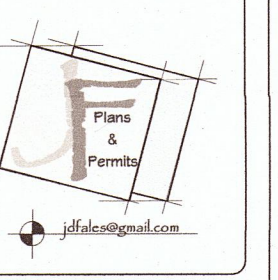




Cross Section 10



Cross Section 11



Revision Number	Date	Revised By	Description
1	7/9/2018	JDF	

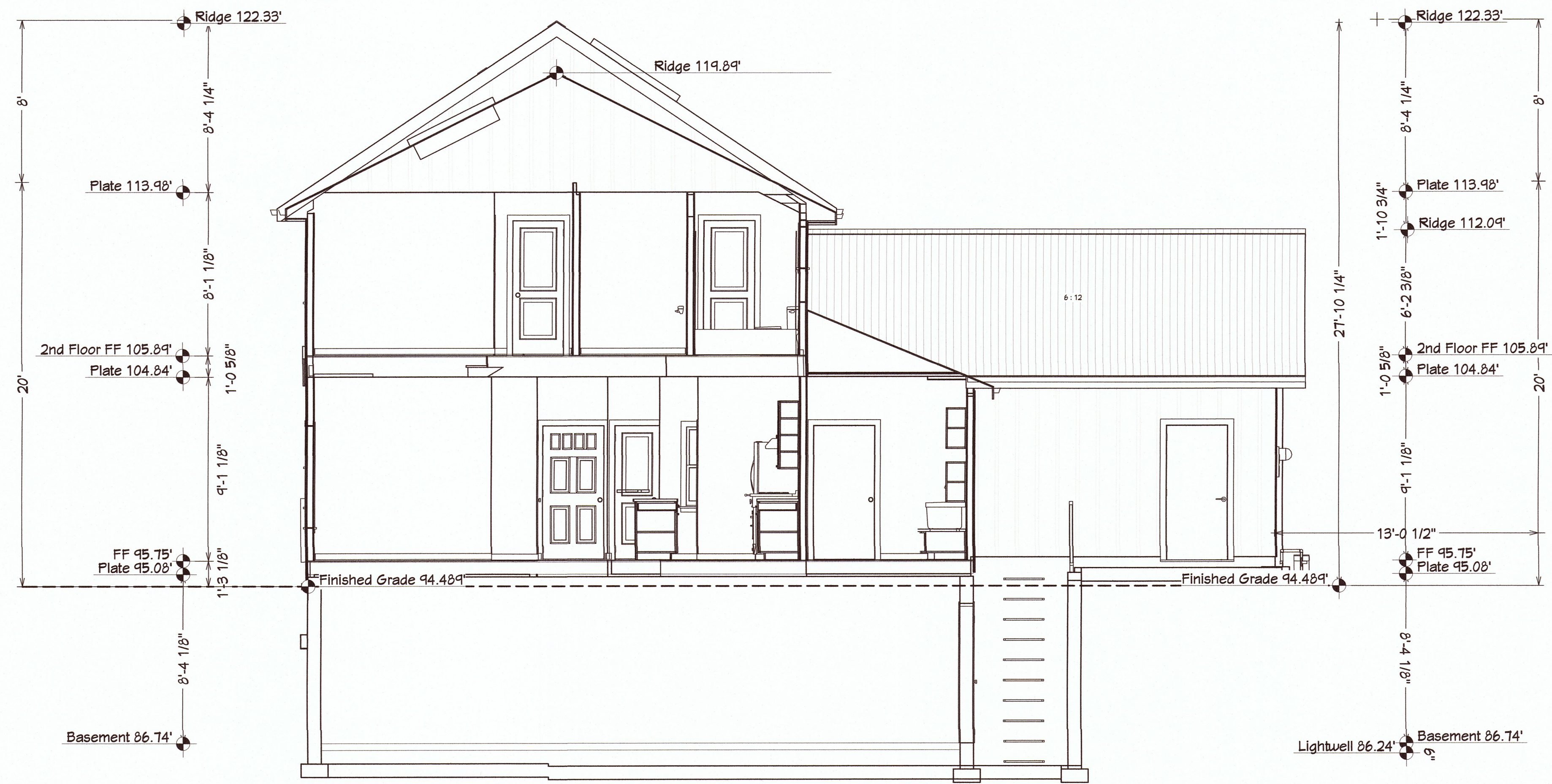
**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montana

**Cross Sections**

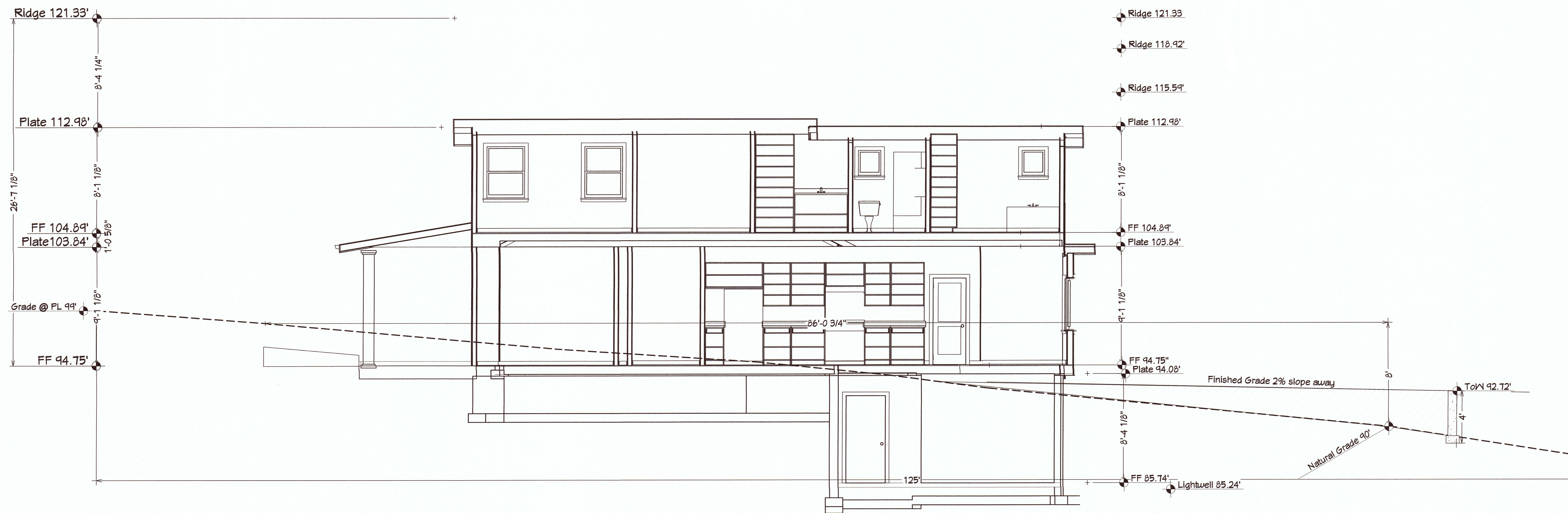
DRAWINGS PROVIDED BY:  
**Jdfiles Plans & Permits**  
 1921 Devereaux Dr  
 Burlingame, CA 94010  
 jdfiles@gmail.com 650-222-0787

DATE:  
 2/4/2018  
 SCALE:  
 1/4" = 1'  
 SHEET:  
**A12**





Cross Section 12



Cross Section 13



Revision Table	Revised By	Description
Number	Date	
1	7/9/2018	JDF

**Brogan Residence**  
 Lot 46, 47, 48, Block 21  
 APN 036-103-220  
 Birch Street, Montara

Cross Sections

DRAWINGS PROVIDED BY:  
**Jdfales Plans & Permits**  
 1921 Devereaux Dr  
 Burlingame, CA 94010  
 jdfales@gmail.com 650-222-0787

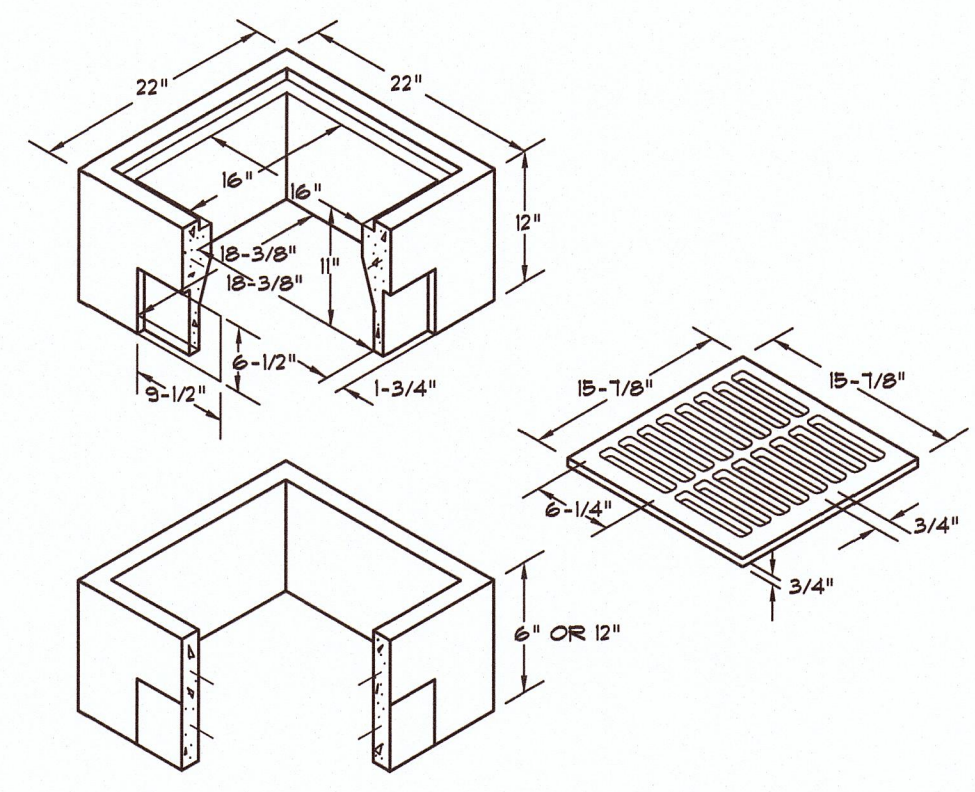
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 2/4/2018

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SHEET:

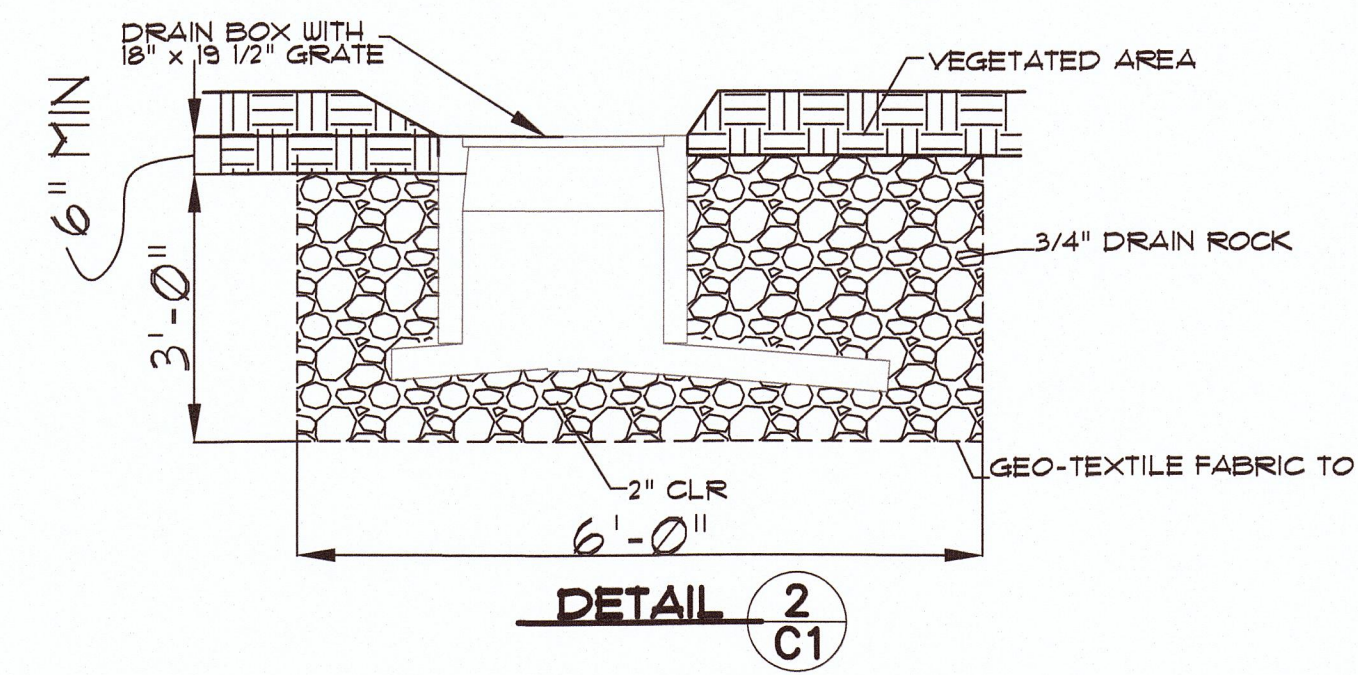
**A13**



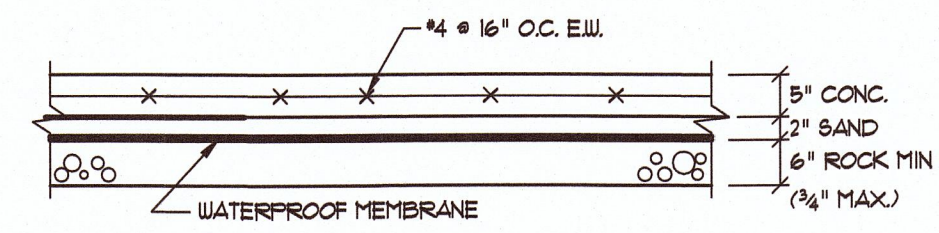


12" MIN 3/4" DRAIN ROCK AT THE BOTTOM OF ALL CRISTY BOXES

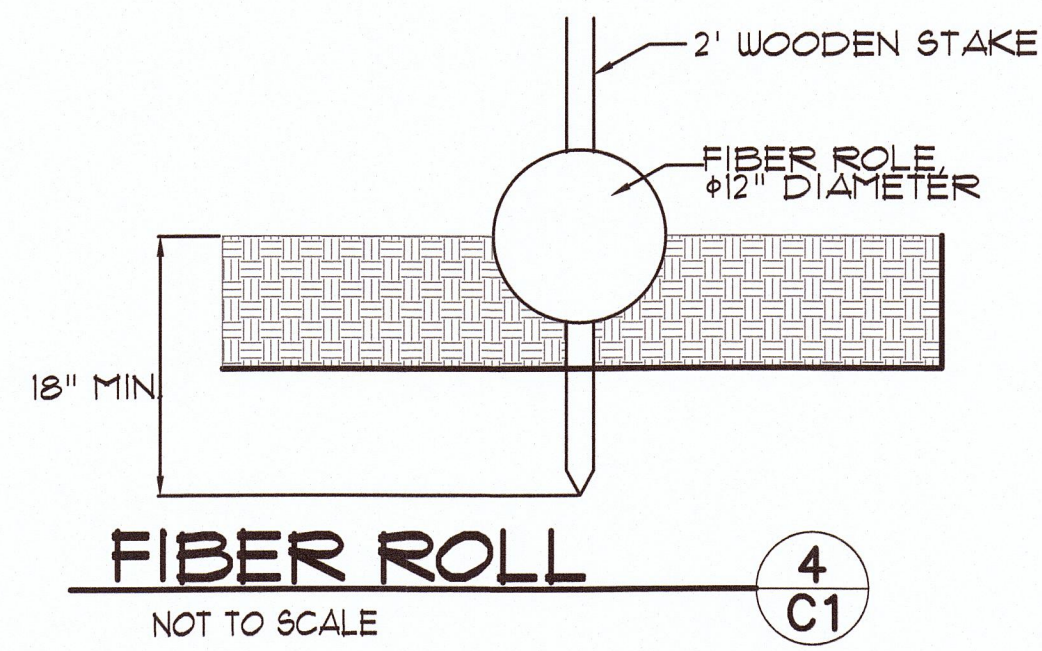
**V64 DRAIN BOX** 1 C1



**DETAIL 2** C1

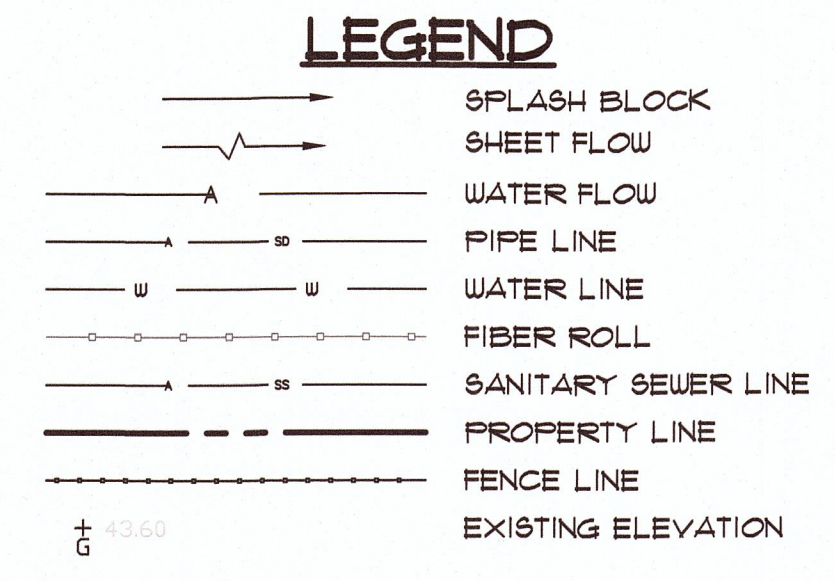


**TYPICAL GROUND SLAB** 3 S1



**4** C1

- NOTES**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  - DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
  - CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
  - A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.



**EROSION CONTROL NOTES**

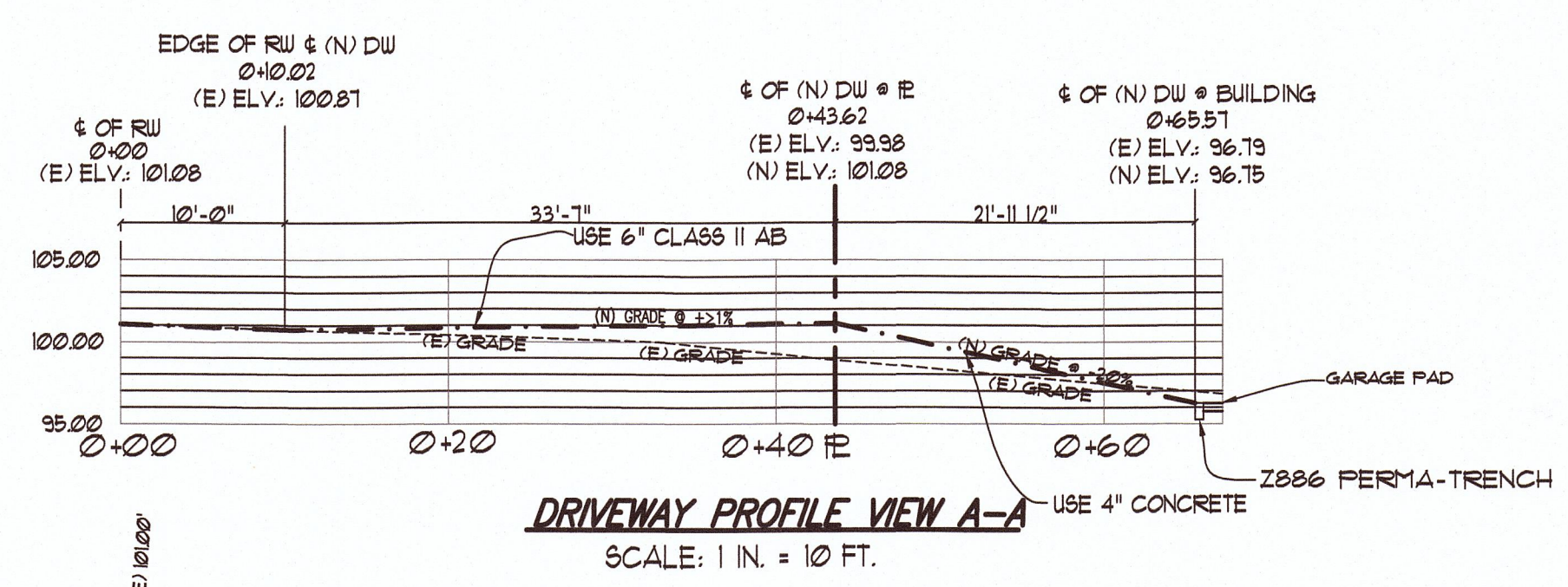
FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL 4/C1

FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.

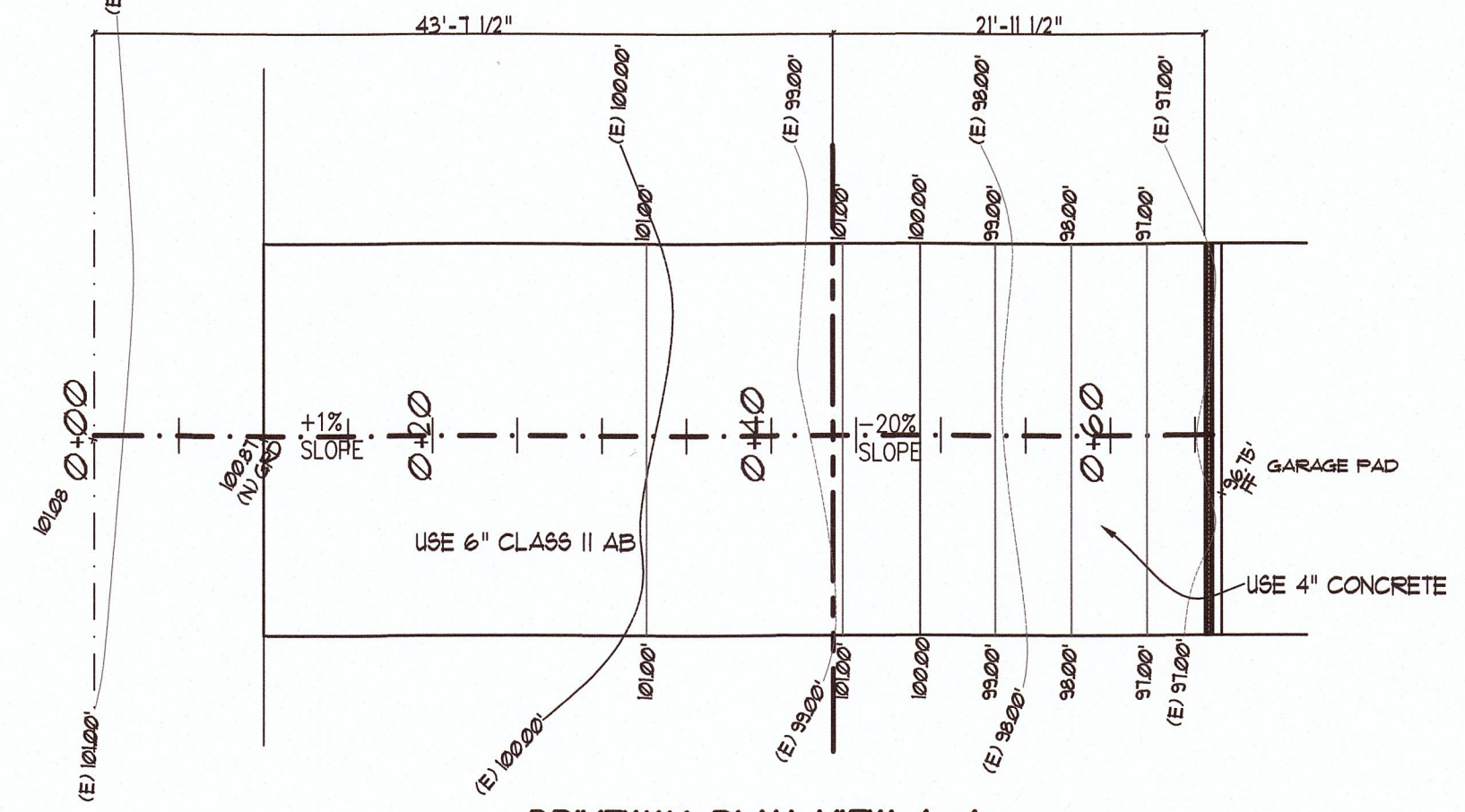
BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.

ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.

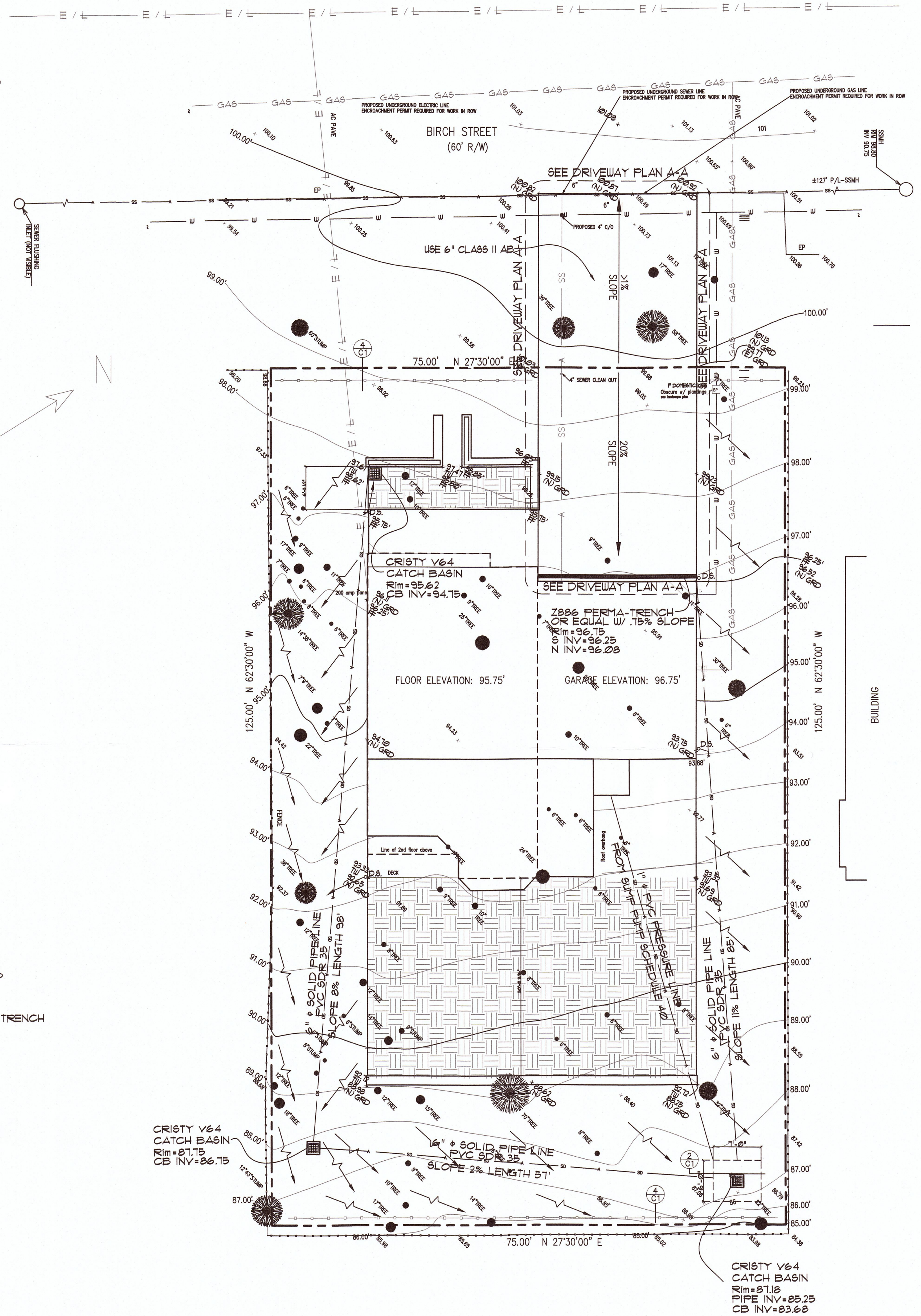
BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.



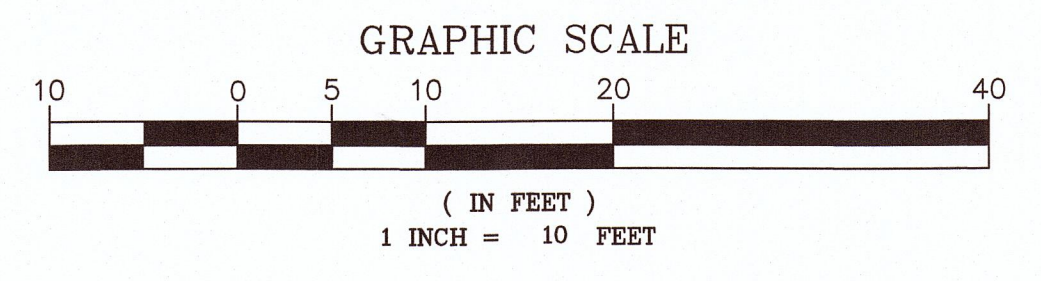
**DRIVEWAY PROFILE VIEW A-A**  
SCALE: 1 IN. = 10 FT.



**DRIVEWAY PLAN VIEW A-A**  
SCALE: 1 IN. = 10 FT.



**DRAINAGE PLAN**



**CUT/FILL**  
FILL = 95.16 CYD  
CUT = 480.5 CYD

**DRAINAGE, GRADING, AND EROSION PLAN FOR**  
APN. 036-103-220 DOC # 2016-028847  
LOTS 46, 47 AND 48, BLOCK 21, 5 MAPS 35

REVISION

NO.	DATE

SCALE SHEET NUMBER

**C1**

OF SHEETS  
DATE 9-20-17  
FILE LEO 1729

PACIFICA, CA. 94044  
(650) 359-0947 FAX (650) 355-2445

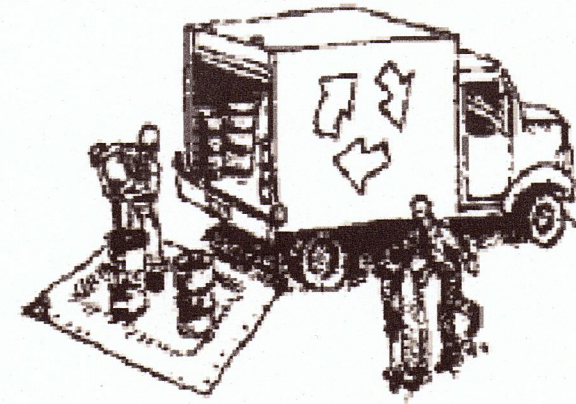
DOMINGUEZ ASSOCIATES  
40 HUMBOLDT COURT



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



- Non-Hazardous Materials**
- ☐ Berns and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - ☐ Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - ☐ Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.).
  - ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrance and Perimeter**
- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



- Maintenance and Parking**
- ☐ Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
  - ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloth big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
  - ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

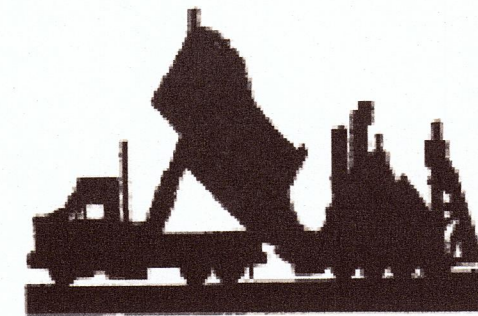
## Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soil:**
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
    - Unusual soil conditions, discoloration, or odor
    - Abandoned underground tanks
    - Abandoned wells
    - Buried barrels, debris, or trash

## Paving/Asphalt Work

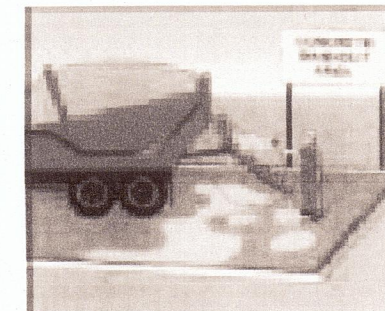


- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

## Sawcutting & Asphalt Concrete Removal

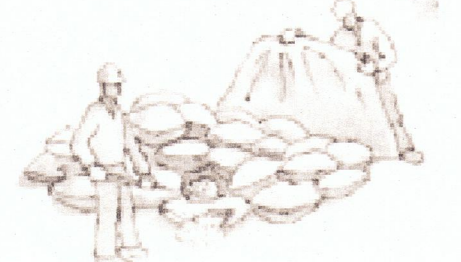
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



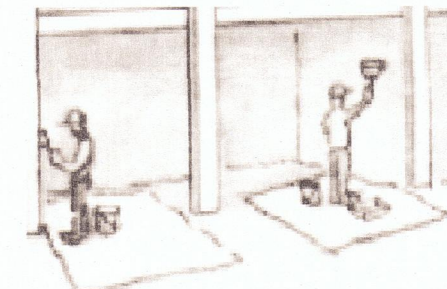
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



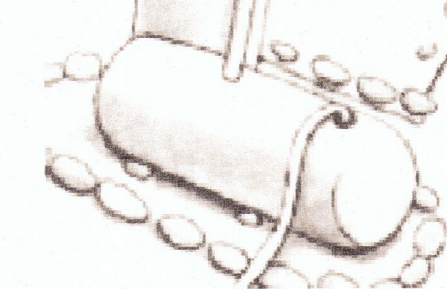
- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



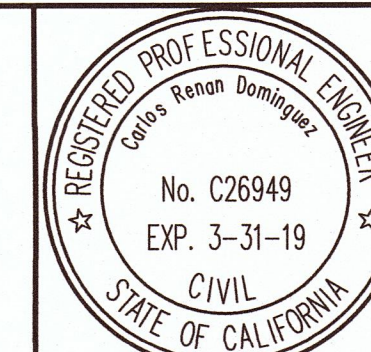
- Painting Cleanup and Removal**
- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
  - ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
  - ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
  - ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street, gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



**DRAINAGE, GRADING, AND EROSION PLAN FOR**  
APN 036-103-220 DOC # 2016-028847  
LOTS 46, 47 AND 48, BLOCK 21, 5 MAPS 35

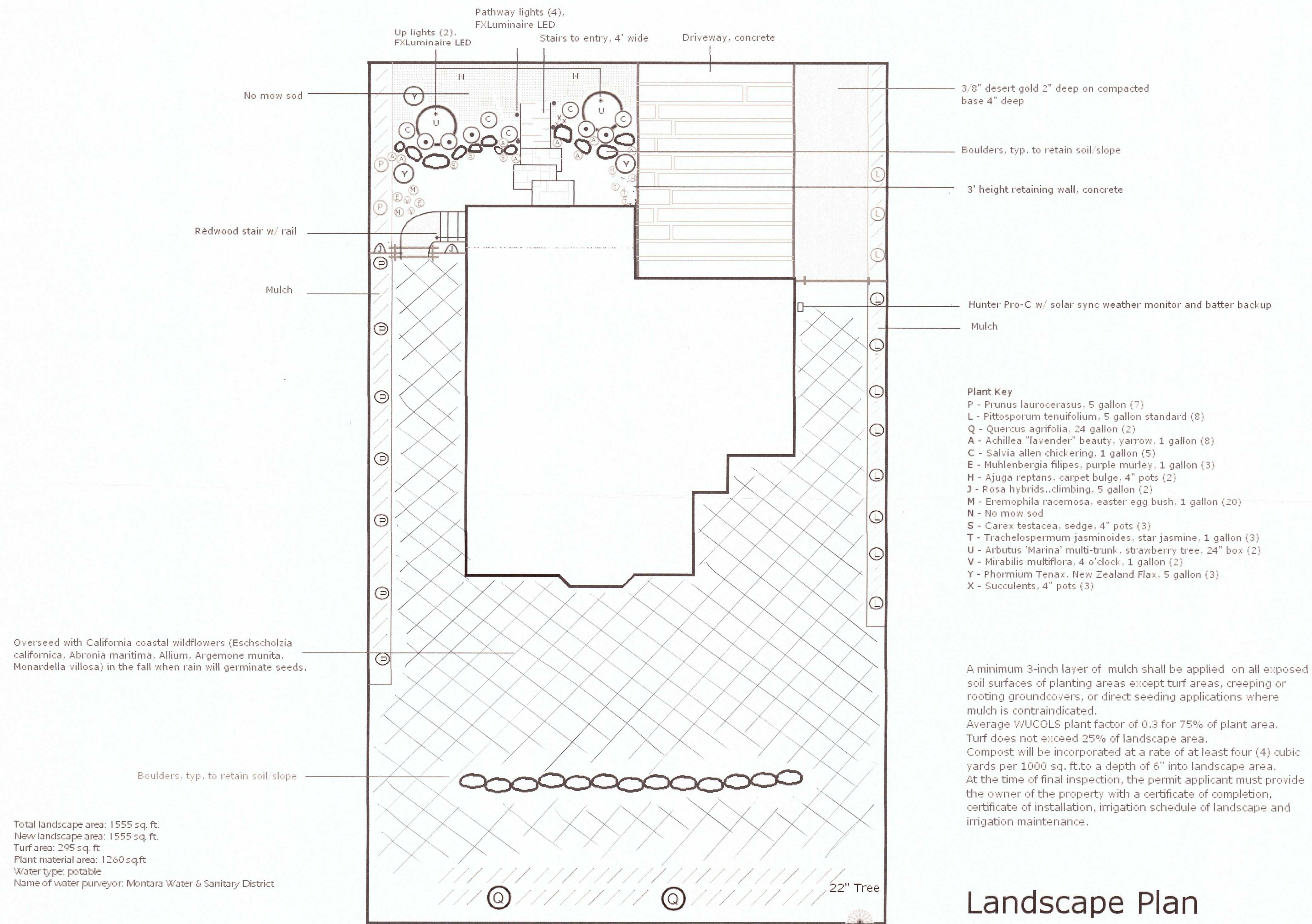
PACIFICA, CA. 94044  
(650) 359-0947 FAX (650) 355-2445

DOMINGUEZ ASSOCIATES  
40 HUMBOLDT COURT

REVISION	
NO.	DATE

SCALE  
SHEET NUMBER  
**C2**  
OF SHEETS  
DATE 9-8-17  
FILE LEO 1729





Overseed with California coastal wildflowers (*Eschscholzia californica*, *Abronia maritima*, *Allium*, *Argemone munita*, *Monardella villosa*) in the fall when rain will germinate seeds.

Total landscape area: 1555 sq. ft.  
 New landscape area: 1555 sq. ft.  
 Turf area: 295 sq. ft.  
 Plant material area: 1200 sq. ft.  
 Water type: potable  
 Name of water purveyor: Montara Water & Sanitary District

3/8" desert gold 2" deep on compacted base 4" deep  
 Boulders, typ. to retain soil/slope  
 3' height retaining wall, concrete  
 Hunter Pro-C w/ solar sync weather monitor and batter backup  
 Mulch

- Plant Key**
- P - Prunus laurocerasus, 5 gallon (7)
  - L - Pittosporum tenuifolium, 5 gallon standard (8)
  - Q - Quercus agrifolia, 24 gallon (2)
  - A - Achillea "lavender" beauty, varrow, 1 gallon (8)
  - C - Salvia allen chid-ering, 1 gallon (5)
  - E - Muhlenbergia filipes, purple murley, 1 gallon (3)
  - H - Ajuga reptans, carpet bugle, 4" pots (2)
  - J - Rosa hybrids..climbing, 5 gallon (2)
  - M - Eremophila racemosa, easter egg bush, 1 gallon (20)
  - N - No mow sod
  - S - Carex testacea, sedge, 4" pots (3)
  - T - Trachelospermum jasminoides, star jasmine, 1 gallon (3)
  - U - Arbutus 'Marina' multi-trunk, strawberry tree, 24" box (2)
  - V - Mirabilis multiflora, 4 o'clock, 1 gallon (2)
  - Y - Phormium Tenax, New Zealand Flax, 5 gallon (3)
  - X - Succulents, 4" pots (3)

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.  
 Average WUCOLS plant factor of 0.3 for 75% of plant area.  
 Turf does not exceed 25% of landscape area.  
 Compost will be incorporated at a rate of at least four (4) cubic yards per 1000 sq. ft. to a depth of 6" into landscape area.  
 At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.

## Landscape Plan