

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

P5674 SERIES

LED Wall Mount • Wet Location



Specifications:

Description:

The P5674 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

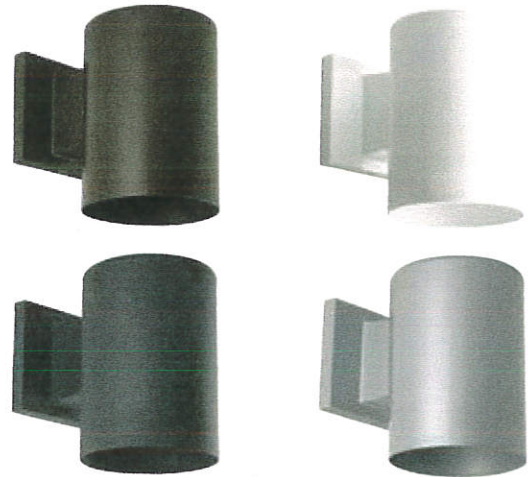
- Powdercoated Antique Bronze (-20), White (-30), Black (-31), Metallic Gray (-82)
- Die-cast aluminum construction
- Flicker-free dimming to 10% brightness with many ELV type dimmers (See Dimming Notes)
- Covers a standard 4" recessed outlet box
- Mounting strap for outlet box included

Performance:

Number of Modules	1
Input Power	17W
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW	1000/58 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 yrs.
Labels	cCSAus certified for wet locations

P5674-30/30K

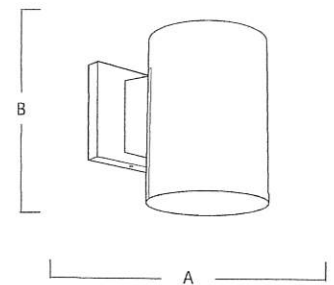
Images:



Dimensions:

A	B
5"	7-1/2"

Extends H/CTR	
8"	2.5



Catalog number:

Base	Finish	Color Temp	CRI
P5674	20 - Antique Bronze	30K - 3000K	90 CRI
	30 - White		
	31 - Black		
	82 - Metallic Gray		

P5674-30/30K

Dimming Notes:

P5674 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

OWNER:
JOHN & HOLLY REAVILL
3709 EAST STREET
CINCINNATI, OH 45227

ARCHITECT:
DL ARCHITECTURE & PLANNING
616 RAMONA ST. STE. 21
PALO ALTO, CA 94301
(650) 321-2808
CONTACT: Eric Keng

STRUCTURAL ENGINEER:
-

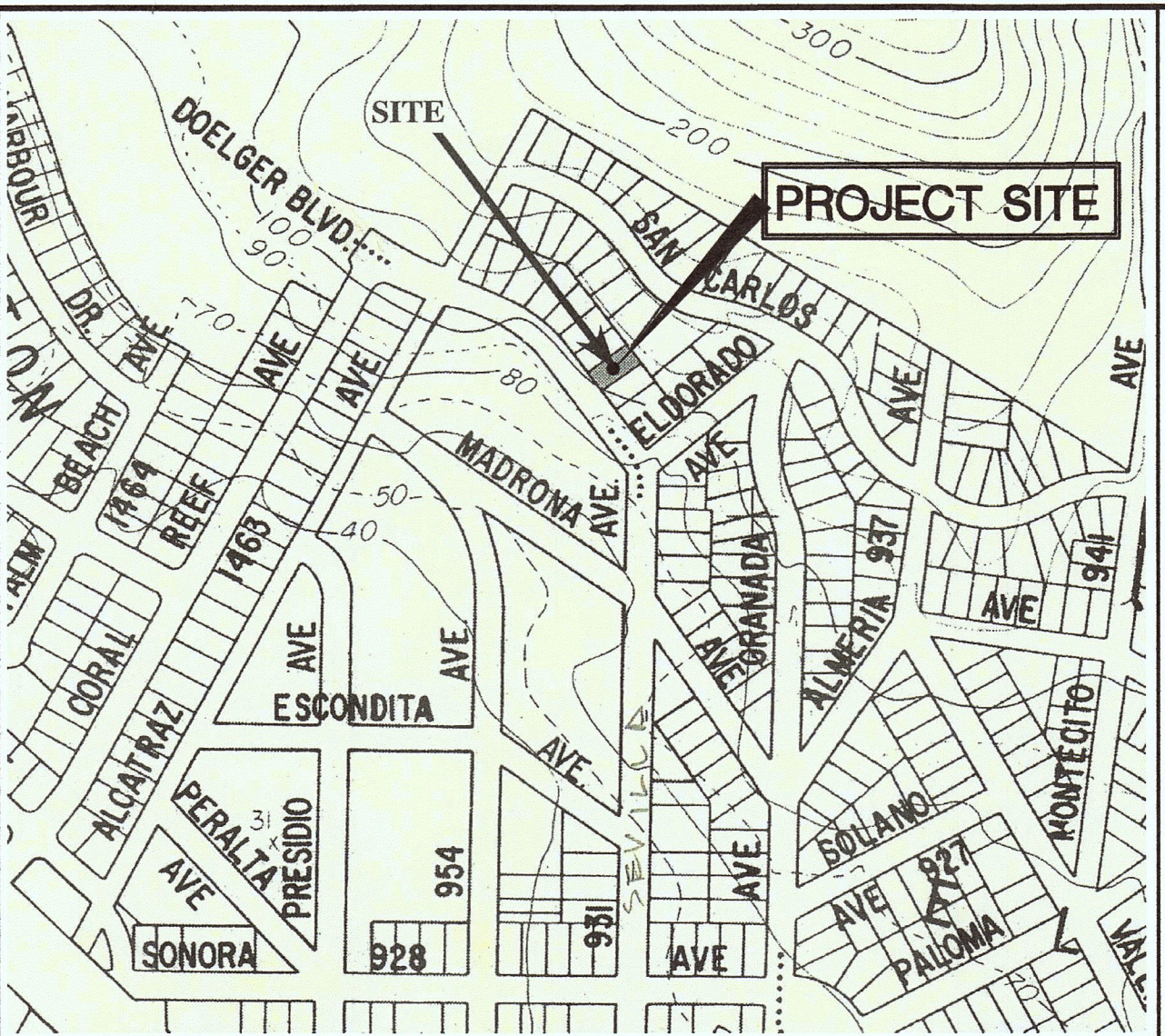
TITLE 24:
TO BE DETERMINED

GENERAL CONTRACTOR
TO BE DETERMINED

PROJECT DATA

A. APN:	047-055-120
B. ZONING:	S-17
C. SITE AREA:	5,000 SQ.FT.
D. COVERED PARKING SPACES:	2
E. LOT ADJUSTMENT FACTOR:	-
F. MAX. PERMITTED FLOOR AREA:	2,650 SQ.FT.
G. MAXIMUM FAR:	53%
H. MAXIMUM LOT COVERAGE:	35% (1,750 SQ.FT.)

	(E) TO REMAIN	(E) TO BE REMOVED	NEW	SUBTOTAL
LOWER LEVEL	---	---	513 SQ.FT.	513 SQ.FT.
MAIN LEVEL	---	---	1,156 SQ.FT.	1,156 SQ.FT.
UPPER LEVEL	---	---	974 SQ.FT.	974 SQ.FT.
FRONT PORCH	---	---	28 SQ.FT.	28 SQ.FT.
			(NOT INCLUDED IN FAR)	
TOTAL FLOOR AREA	---	---	2,643 SQ.FT.	2,643 SQ.FT.
FAR	---	2,643 / 5,000		52.8%
LOT COVERAGE	---	1,168 / 5,000		23.3%
TOTAL SIZE OF LIVING SPACE:			2,236 SQ.FT.	
TOTAL SIZE OF GARAGE:			407 SQ.FT.	



H. SETBACK:

	EXISTING	PROPOSED	REQUIRED
FRONT YARD	---	20'-0"	20'-0"
SIDE YARD 1ST (LEFT)	---	9'-0"	15'-0" TOTAL
SIDE YARD 1ST (RIGHT)	---	6'-0"	15'-0" TOTAL
REAR YARD	---	25'-0"	20'-0"

J. OCCUPANCY GROUP: R-3/U

K. TYPE OF CONSTRUCTION: VB

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA RESIDENTIAL CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA FIRE CODE
 2016 CALIFORNIA ENERGY CODE
 2016 CALIFORNIA GREEN BUILDING CODE

CALGREEN RESIDENTIAL MANDATORY MEASURES

PLANNING AND DESIGN

SITE DEVELOPMENT
The site shall be planned and developed to keep surface water from entering buildings.

ENERGY EFFICIENCY

The California Energy Commission believes specifically, a green building should achieve at least a 15 percent reduction in energy usage when compared to the State's mandatory energy efficiency standards.

WATER EFFICIENCY AND CONSERVATION

INDOOR WATER USE
A schedule of plumbing fixtures and fixture fittings that will reduce the overall use of potable water within the building by at least 20 percent shall be provided. The reduction shall be based on the maximum allowable water use per plumbing fixture and fitting as required by the California Building Standards Code.

Showerheads	2.0 gpm @ 80 psi
Lavatory faucets, residential	1.5 gpm @ 60 psi
Kitchen faucets	1.8 gpm @ 60 psi
Gravity tank-type water closets	1.28 gallons/flush
Flushometer tank water closets	1.28 gallons/flush
Flushometer valve water closets	1.28 gallons/flush
Electromechanical hydraulic water closets	1.28 gallons/flush
Urinals	0.5 gallon/flush

OUTDOOR WATER USE

Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the:

- Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
- Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.

MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

Recycle and/or salvage for reuse a minimum of 80 percent of the nonhazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

BUILDING MAINTENANCE AND OPERATION

An Operation and Maintenance Manual compact disc, web-based reference or other media acceptable to the City of Palo Alto including, at a minimum, the items listed in CalGreen Section 4.410.1, shall be completed and placed in the building at the time of final inspection.

ENVIRONMENTAL QUALITY

FIREPLACES

Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

POLLUTANT CONTROL

At the time of rough installation or during storage on the construction site until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system.

FINISH MATERIAL POLLUTANT CONTROL

Adhesives, sealants and caulks:
1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds shall comply with statewide VOC standards and other requirements.

Architectural paints and coatings shall comply with VOC limits

Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC

All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

- Carpet and Rug Institute's Green Label Plus Program.
- California Department of Public Health Standard Practice for the testing of VOCs
- NSF/ANSI 140 at the Gold level.
- Scientific Certifications Systems Indoor Advantage™ Gold.

All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

All carpet adhesive shall meet the requirements of Table 4.504.1.

Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with the VOC emission limits

Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde

Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications
- Chain of custody certifications
- Other methods acceptable to the enforcing agency

INTERIOR MOISTURE CONTROL

Concrete slab foundations required to have a vapor retarder

A capillary break shall be installed in compliance with at least one of the following:

- 4-4-inch (101.6 mm) thick base of 1/2 inch (12.7 mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content.

INDOOR AIR QUALITY AND EXHAUST

Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.

ENVIRONMENTAL COMFORT

Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2.

Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ACCA Manual J, ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ACCA 29-D Manual D, ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ACCA 36-S Manual S or other equivalent design software or methods.

REFER TO CALIFORNIA GREEN BUILDING CODE 2016 EDITION FOR MORE DETAIL INFORMATION

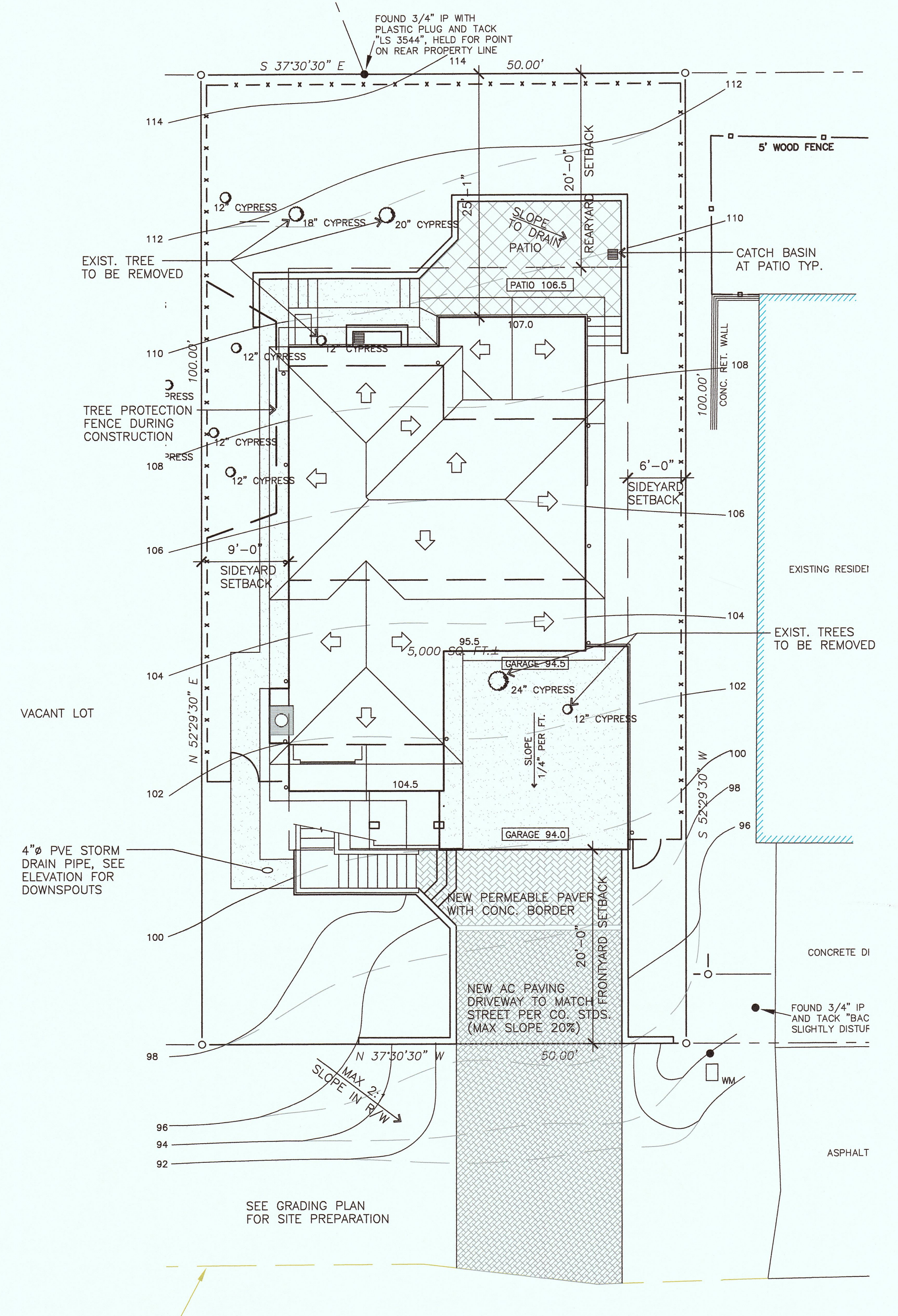
SHEET INDEX

ARCHITECTURAL:

- SK-1 SITE PLAN, VICINITY MAP, PROJECT DATA
- C-0 SITE SURVEY
- C-1 GRADING PLAN
- C-3 SEDIMENT/EROSION CONTROL PLAN
- L-1.0 LANDSCAPE CONSTRUCTION LAYOUT PLAN
- L-2.0 LANDSCAPE IRRIGATION PLAN
- L-2.1 WATER EFFICIENT LANDSCAPE CALC. SHEET
- L-3.0 LANDSCAPE PLANTING PLAN
- SK-2 PROPOSED FLOOR PLANS
- SK-3 EXTERIOR ELEVATIONS
- SK-4 EXTERIOR ELEVATIONS
- SK-5 BUILDING SECTIONS

SCOPE OF WORKS

CONSTRUCT A NEW MULTI LEVEL RESIDENCE ON VACANT LOT BASE ON THE PLAN PREVIOUS APPROVED WITH 2-CAR GARAGE AT LOWER LEVEL, LIVING ROOM, FAMILY ROOM, KITCHEN AND GUEST BEDROOM ON THE MAIN LEVEL, MASTER BEDROOM SUITE, 2 BEDROOMS AND BATH ON UPPER LEVEL, THIS PROJECT WAS PREVIOUS PLANNING APPROVAL NO. 2005-00577 AND BUILDING PERMIT NO. BLD2006-01458



SITE PLAN
1/8" = 1'-0"



REVISIONS

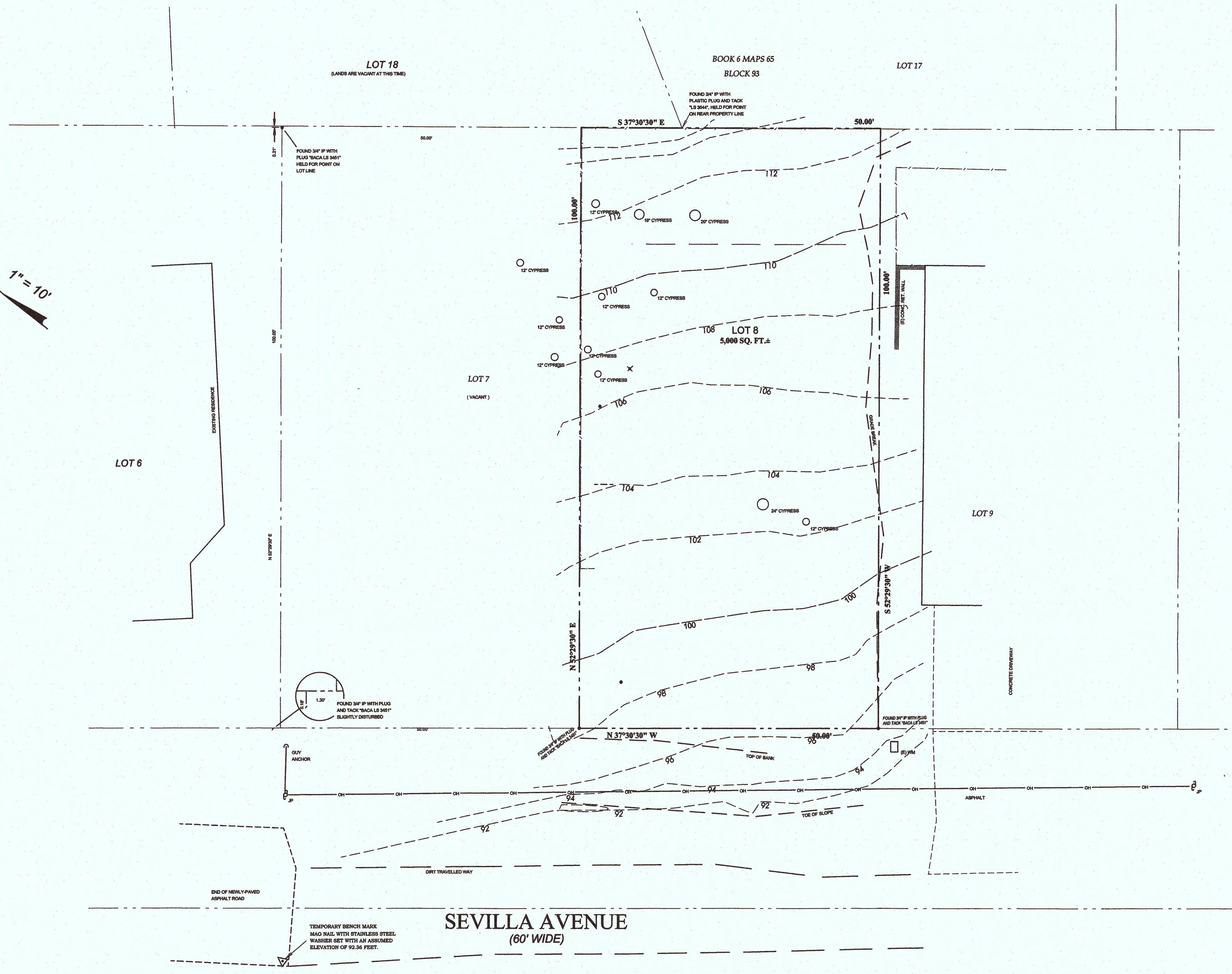
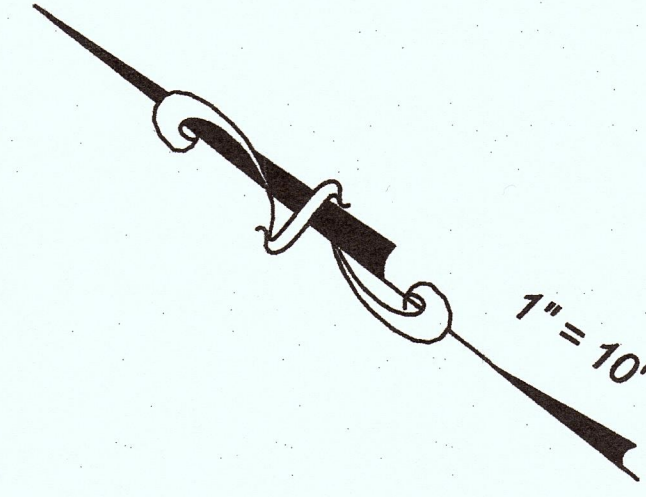
DESIGN REV	3-6-17
DESIGN REV	7-31-17
CDR. REV.	10-12-17

DL Architectural & Planning
616 RAMONA ST. STE 21
PALO ALTO, CA
(650) 321-2808

NEW RESIDENCE
FOR: John & Holly Reavill
438 SEVILLA AVENUE
SAN MATEO COUNTY, CA

SITE PLAN, VICINITY MAP, PROJECT DATA

DATE	2-1-2017
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-1
OF SHEETS	-



BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM "PLAT OF SUBDIVISION NO. 8 OF GRANADA", WHICH WAS FILED FOR RECORD IN VOLUME 6 OF MAPS PAGE 65 ON JUNE 7, 1909, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. LOCAL TBM TO USE FOR SITE WORK IS THE MAG NAIL WITH STAINLESS STEEL WASHER AT THE END OF THE PAVED STREET WITH AN ASSUMED ELEVATION OF 92.36 FEET.

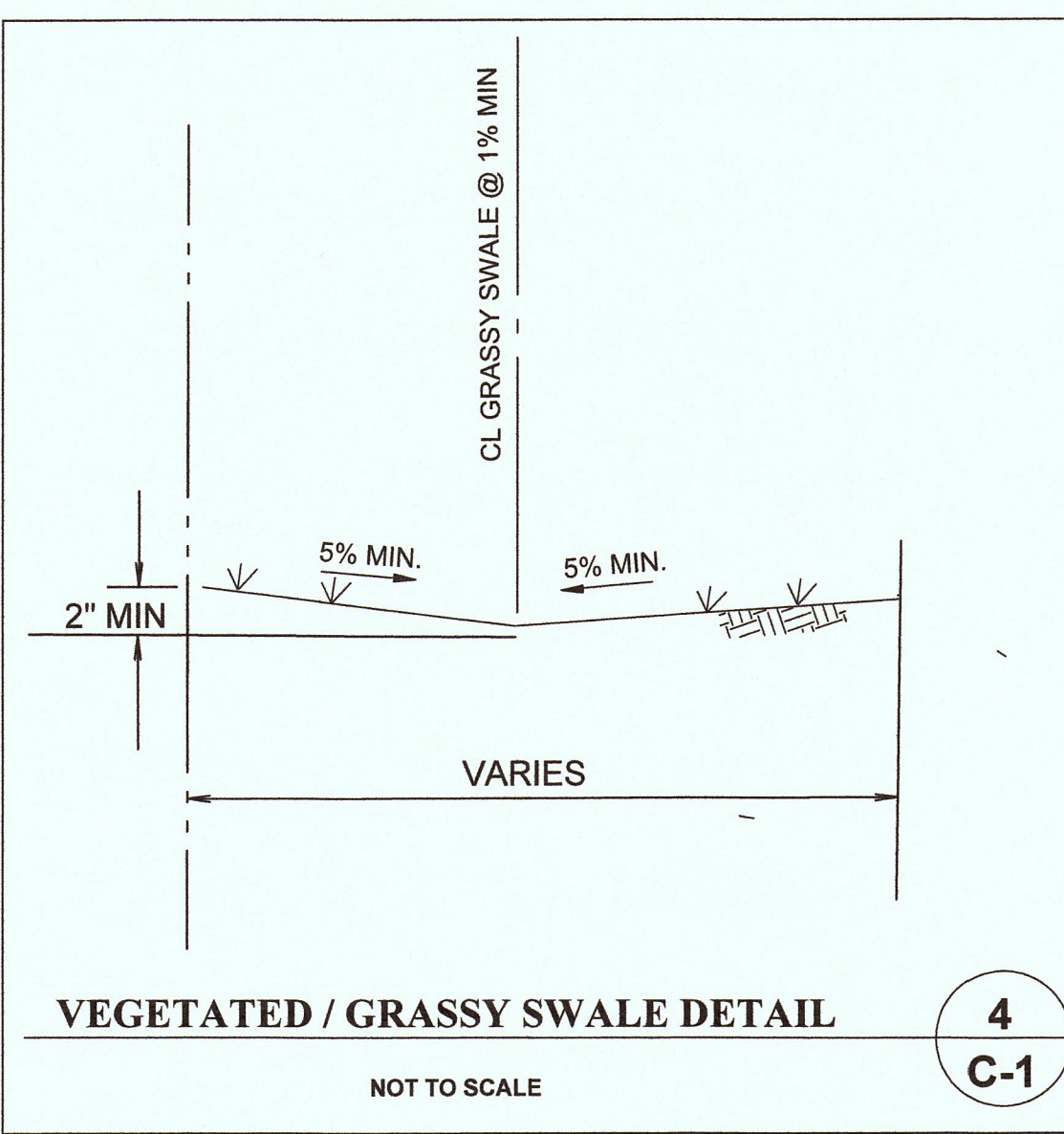
UNDERGROUND DISCLAIMER

NOTE: THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACES FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB. MANHOLE AND FLAT GRATE OFFSETS ARE TO THEIR RESPECTIVE CENTERS. HOODED INLETS (CATCH BASINS) ARE LOCATED BY CENTER OF TOP OF HOOD AT FACE OF CURB, UNLESS OTHERWISE NOTED. INVERTS FOR HOODED INLETS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON FOUND MONUMENTS, A SPLIT OF IMPROVEMENTS OR A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.

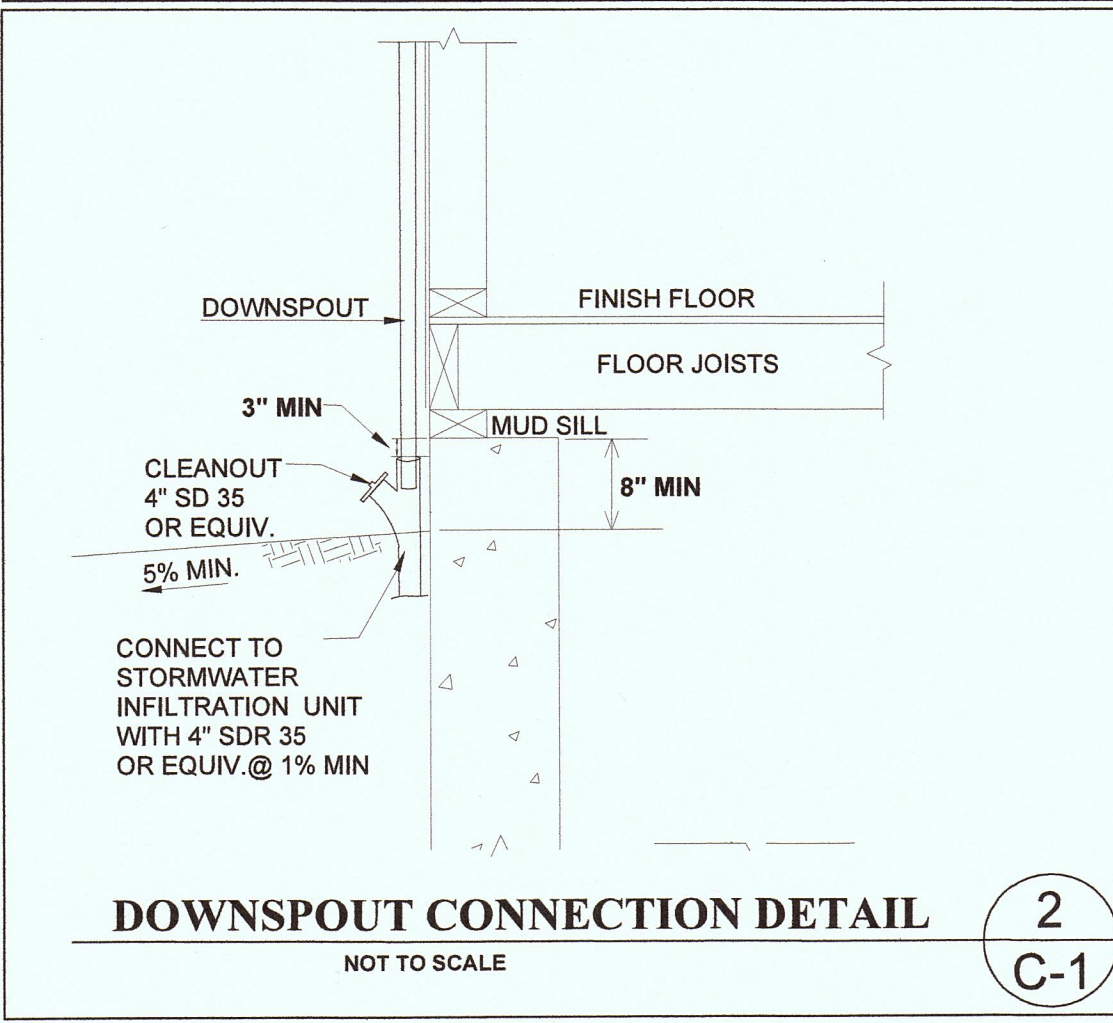
SURVEYOR'S STATEMENT

I, DAVID ALVAREZ, SR. LS 4050, CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SUEVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITION INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. UPON ANY CERTIFICATION THE FILING OF A RECORD OF SURVEY MAP MAY BE REQUIRED.

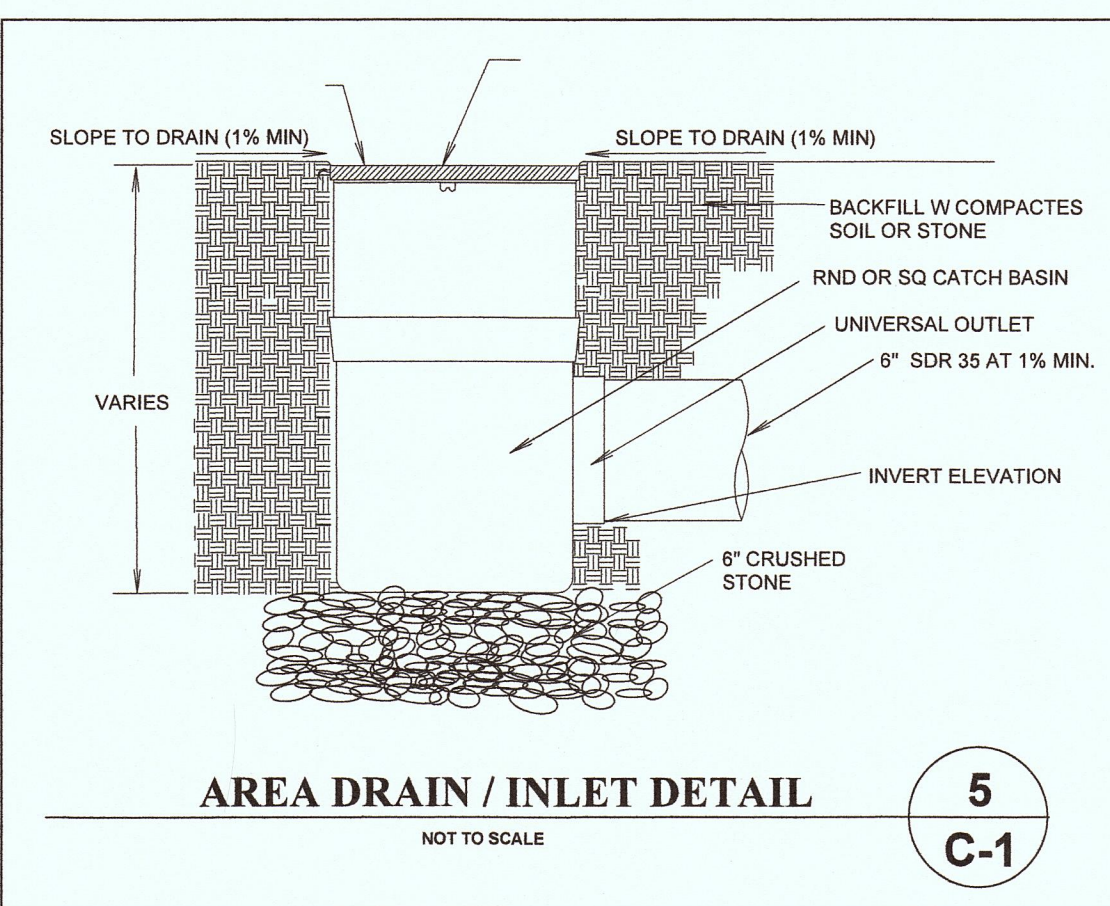
By	
Date	
Revision	
No.	
DATE OF SURVEY: 01-01-17	Drawn By: JJK
JLK ASSOCIATES SURVEYORS / ENGINEERS 73 CEDAR LANE SAN JOSE, CA. 95127 408-729-3734	
TOPOGRAPHICAL SITE SURVEY PLAN Sevilla Avenue Lot 8 HALF MOON BAY SAN MATEO COUNTY STATE OF CALIFORNIA	
SCALE:	AS NOTED
SHEET:	C - 0
	1 OF 1



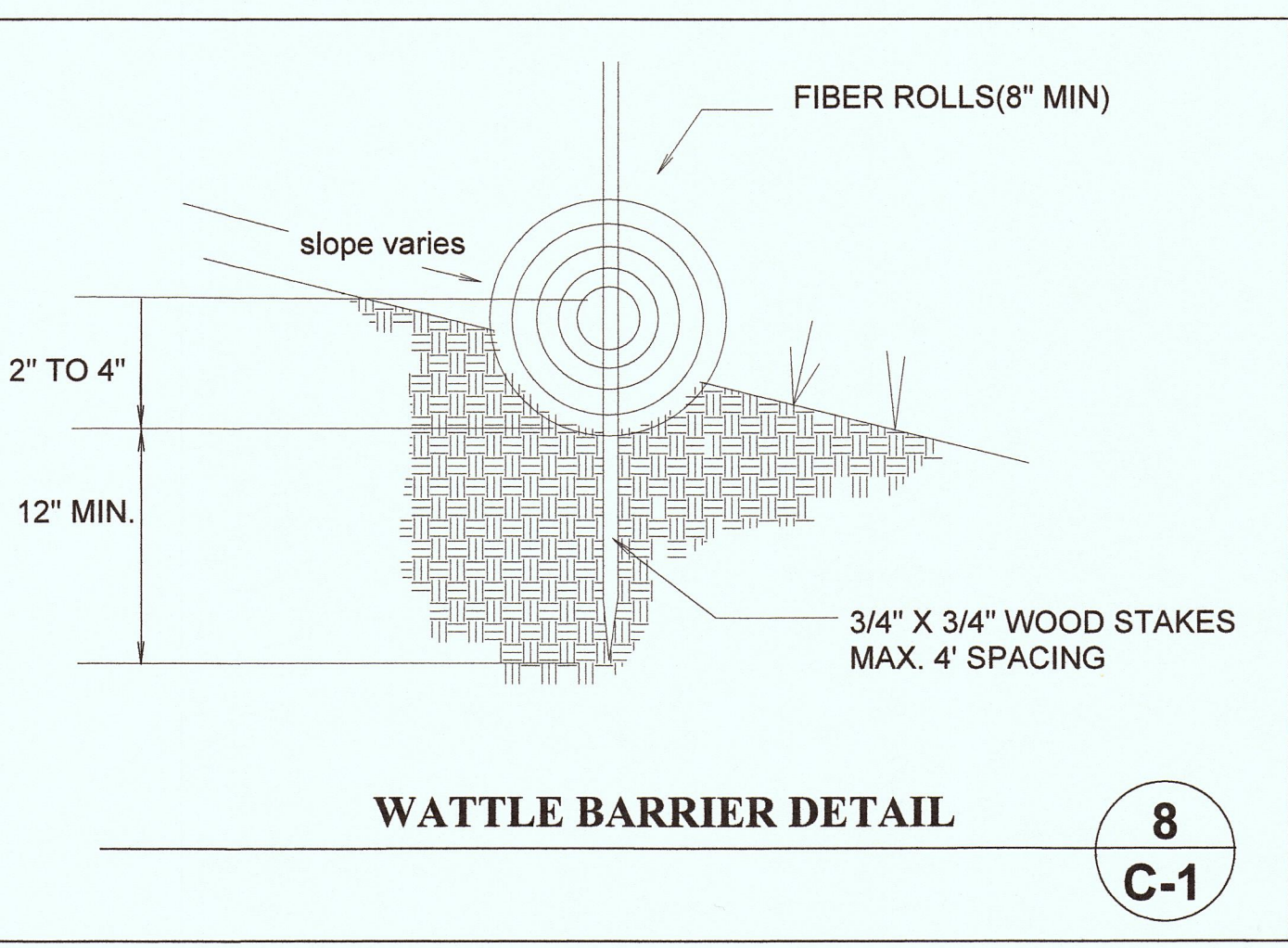
VEGETATED / GRASSY SWALE DETAIL 4
NOT TO SCALE C-1



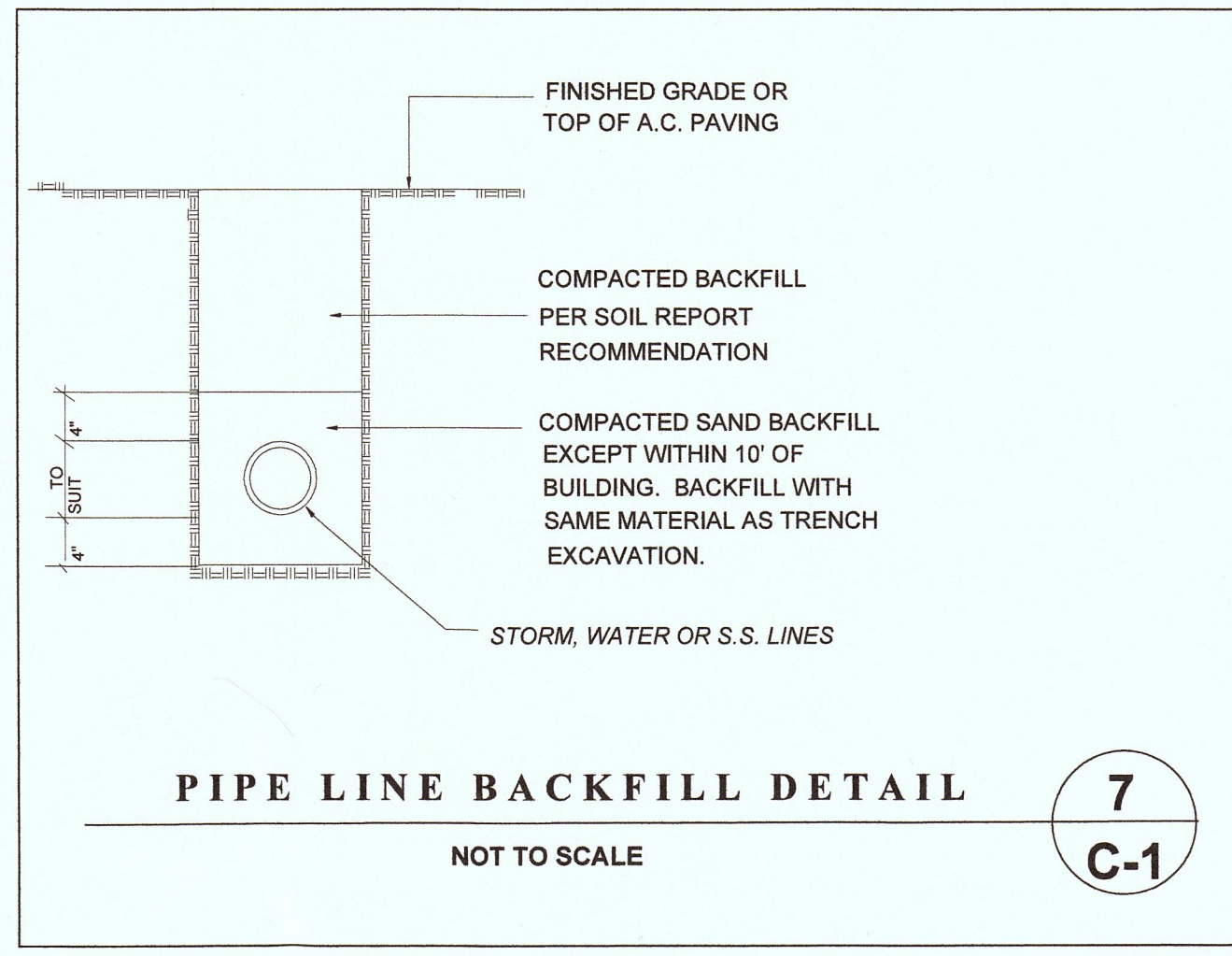
DOWNSPOUT CONNECTION DETAIL 2
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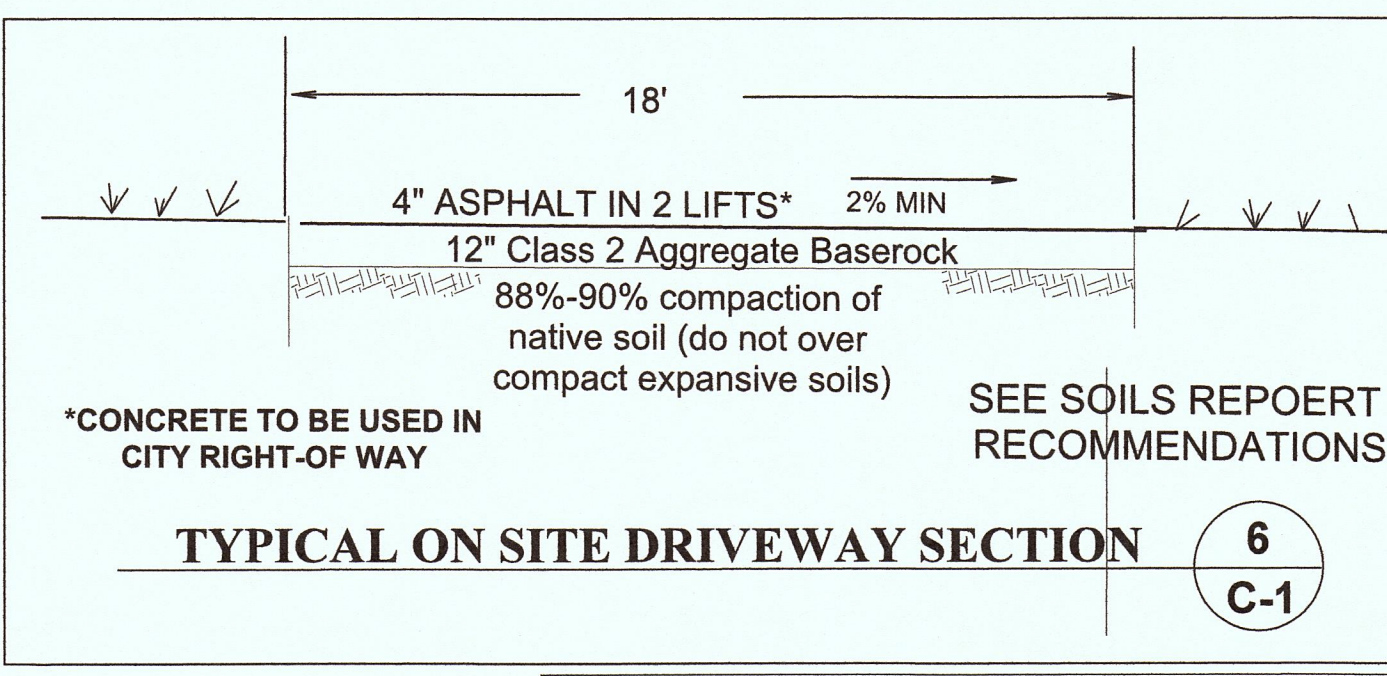
AREA DRAIN / INLET DETAIL 5
NOT TO SCALE C-1



WATTLE BARRIER DETAIL 8
C-1



PIPE LINE BACKFILL DETAIL 7
NOT TO SCALE C-1

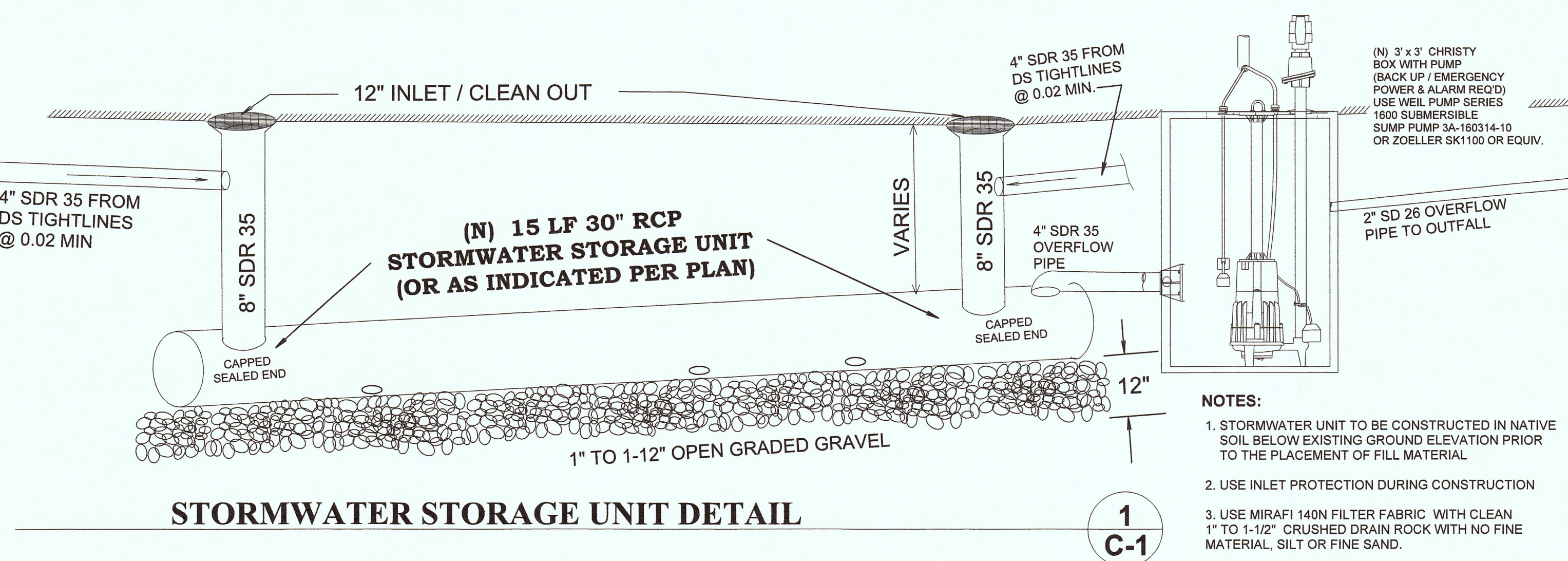
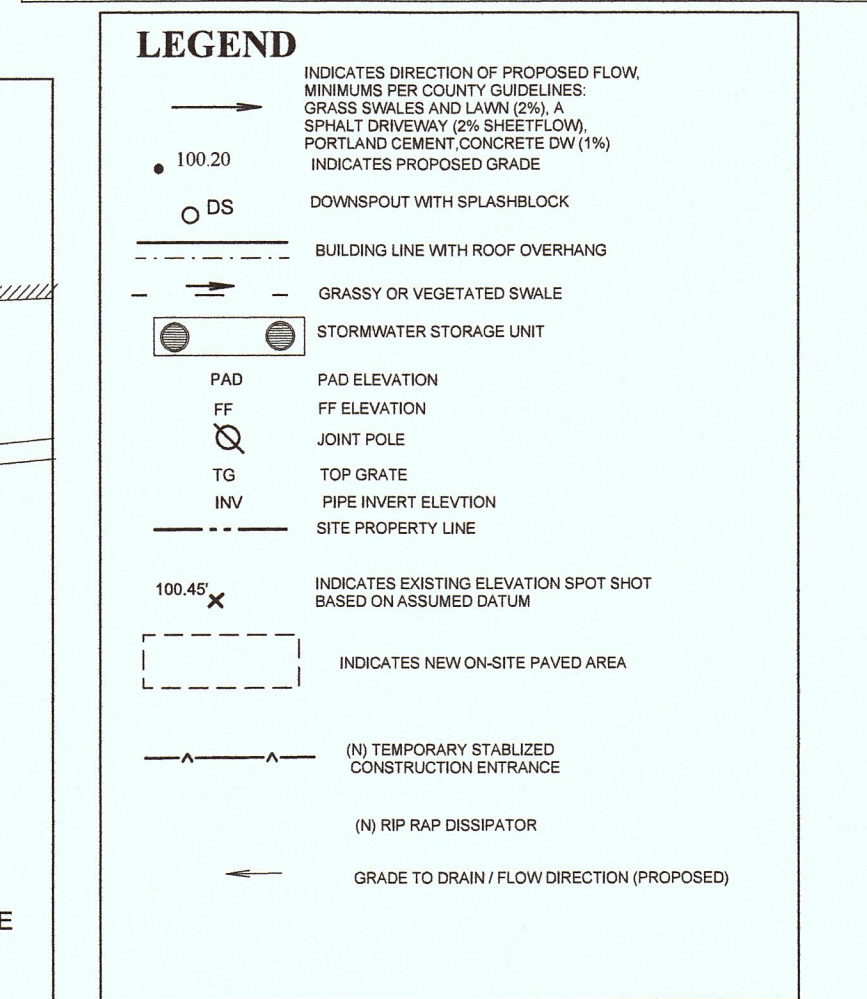


TYPICAL ON SITE DRIVEWAY SECTION 6
C-1

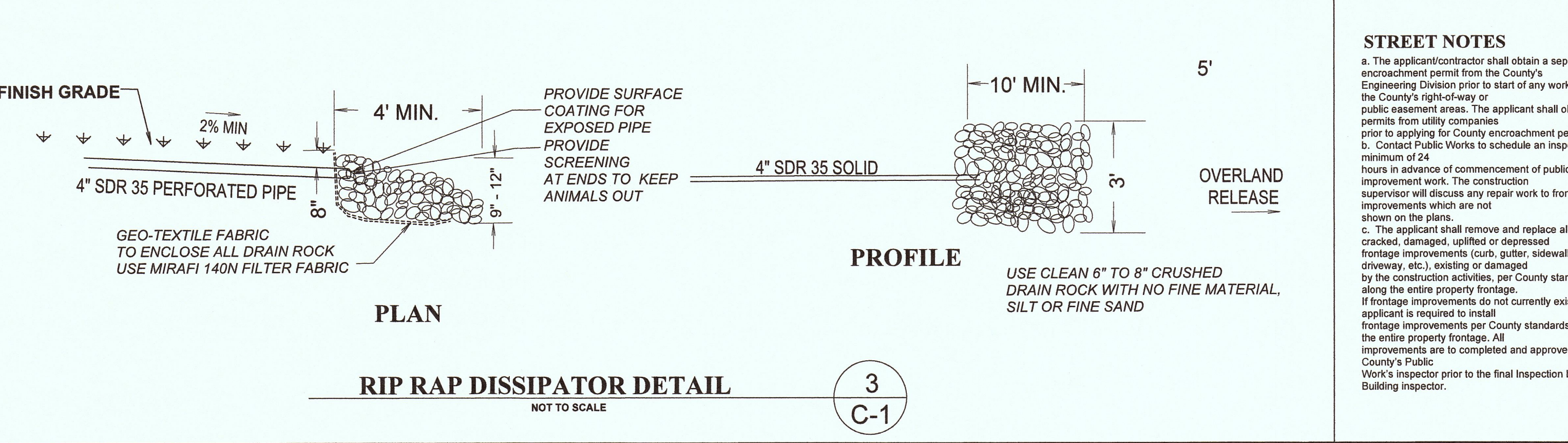
EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)
FOUNDATION PAD	75	24
SITE GRADING incl. subgrade	65	46
DRAINAGE FACILITIES / SWALES	28	28
EXPORT	78	

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF. TABLE DOES NOT REFLECT CONCRETE REMOVAL OR PLANTER MATERIAL.



STORMWATER STORAGE UNIT DETAIL 1
C-1



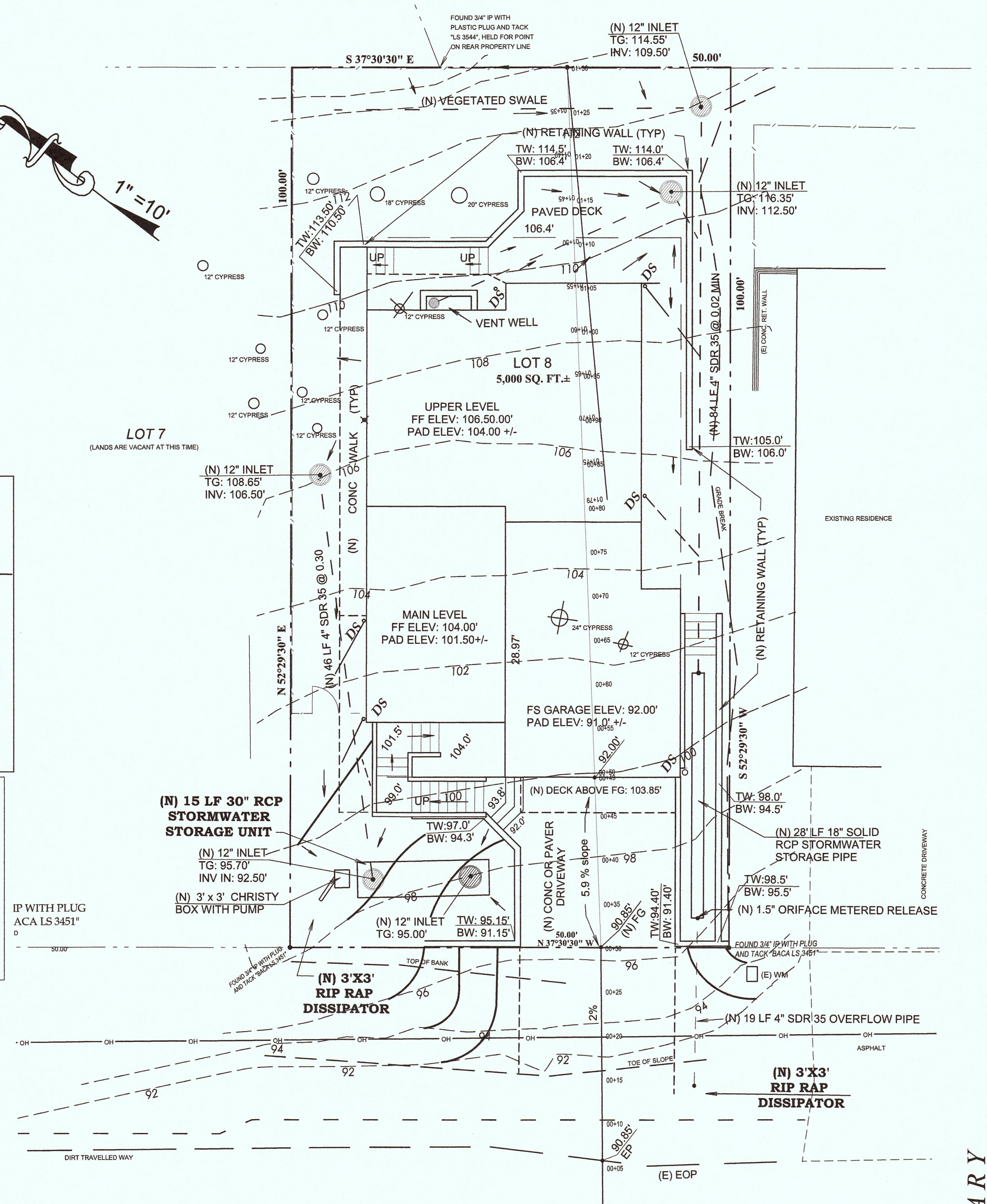
RIP RAP DISSIPATOR DETAIL 3
NOT TO SCALE C-1

STREET NOTES

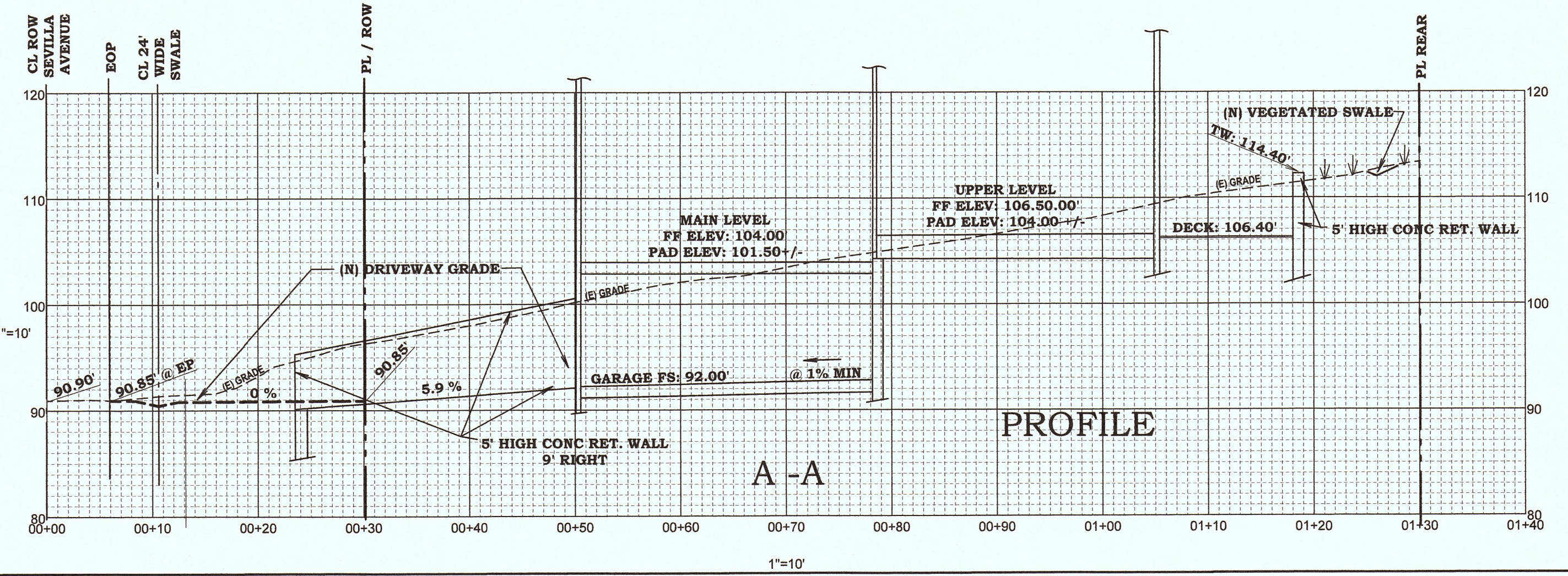
a. The applicant/contractor shall obtain a separate encroachment permit from the County's Engineering Division prior to start of any work within the County's right-of-way or public easement areas. The applicant shall obtain permits from utility companies prior to applying for County encroachment permit.

b. Contact Public Works to schedule an inspection a minimum of 24 hours in advance of commencement of public improvement work. The construction supervisor will discuss any repair work to frontage improvements which are not shown on the plans.

c. The applicant shall remove and replace all cracked, damaged, uplifted or depressed frontage improvements (curb, gutter, sidewalk, driveway, etc.), existing or damaged by the construction activities, per County standards along the entire property frontage. If frontage improvements do not currently exist, the applicant is required to install frontage improvements per County standards along the entire property frontage. All improvements are to be completed and approved by the County's Public Works Inspector prior to the final inspection by the Building Inspector.



SEVILLA AVENUE (60' WIDE)
PLAN



PROFILE A-A
1"=10'

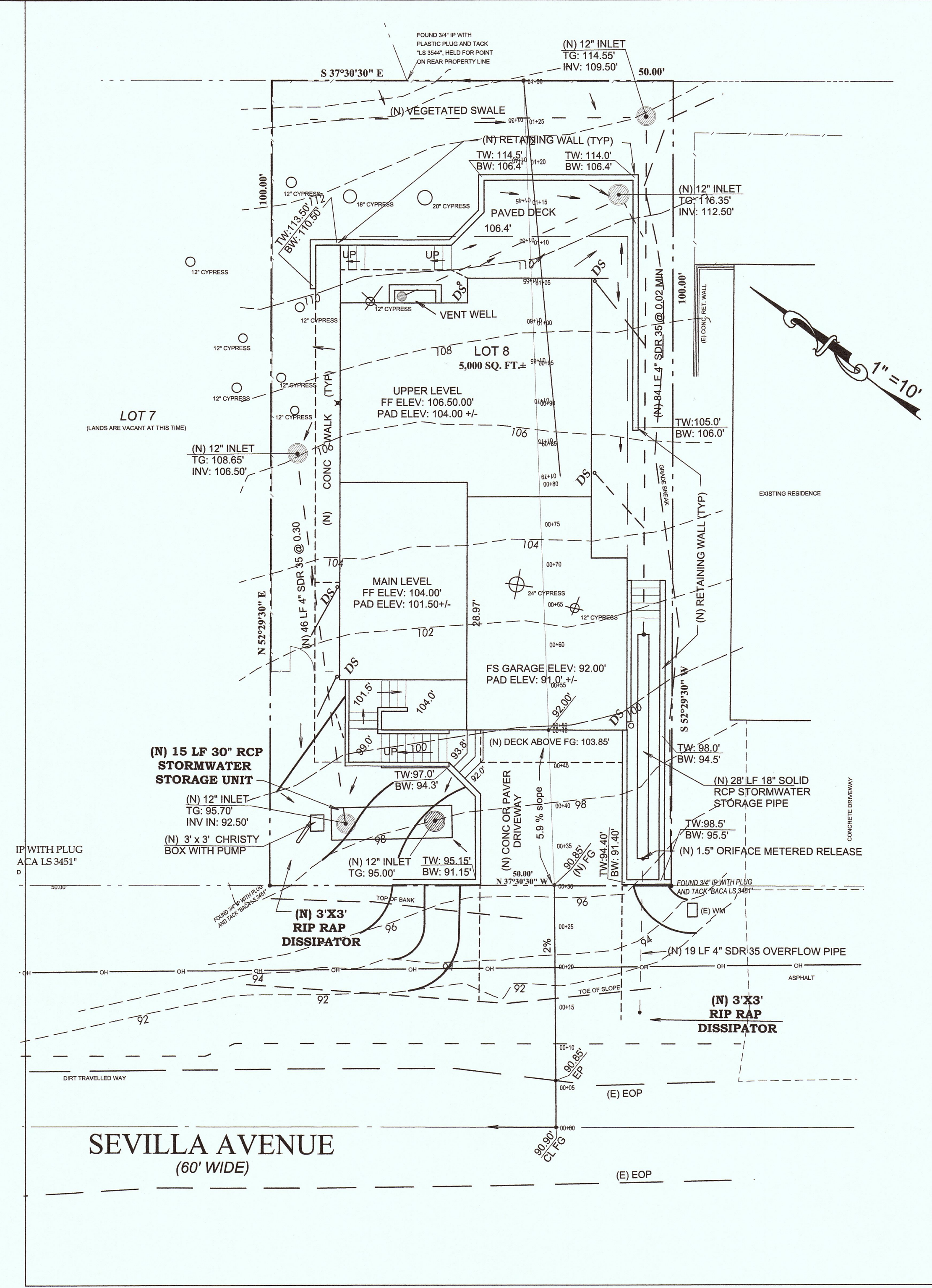
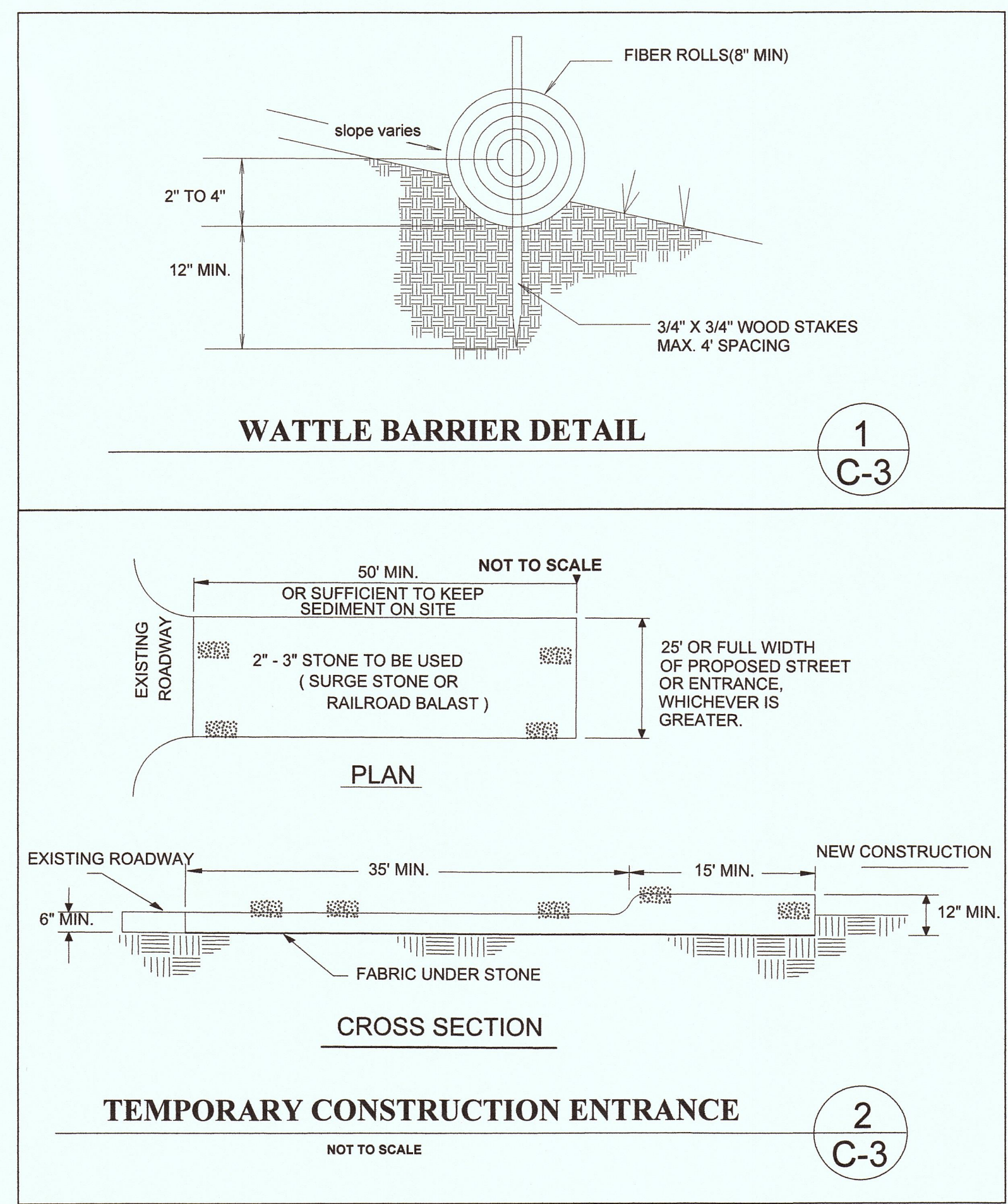
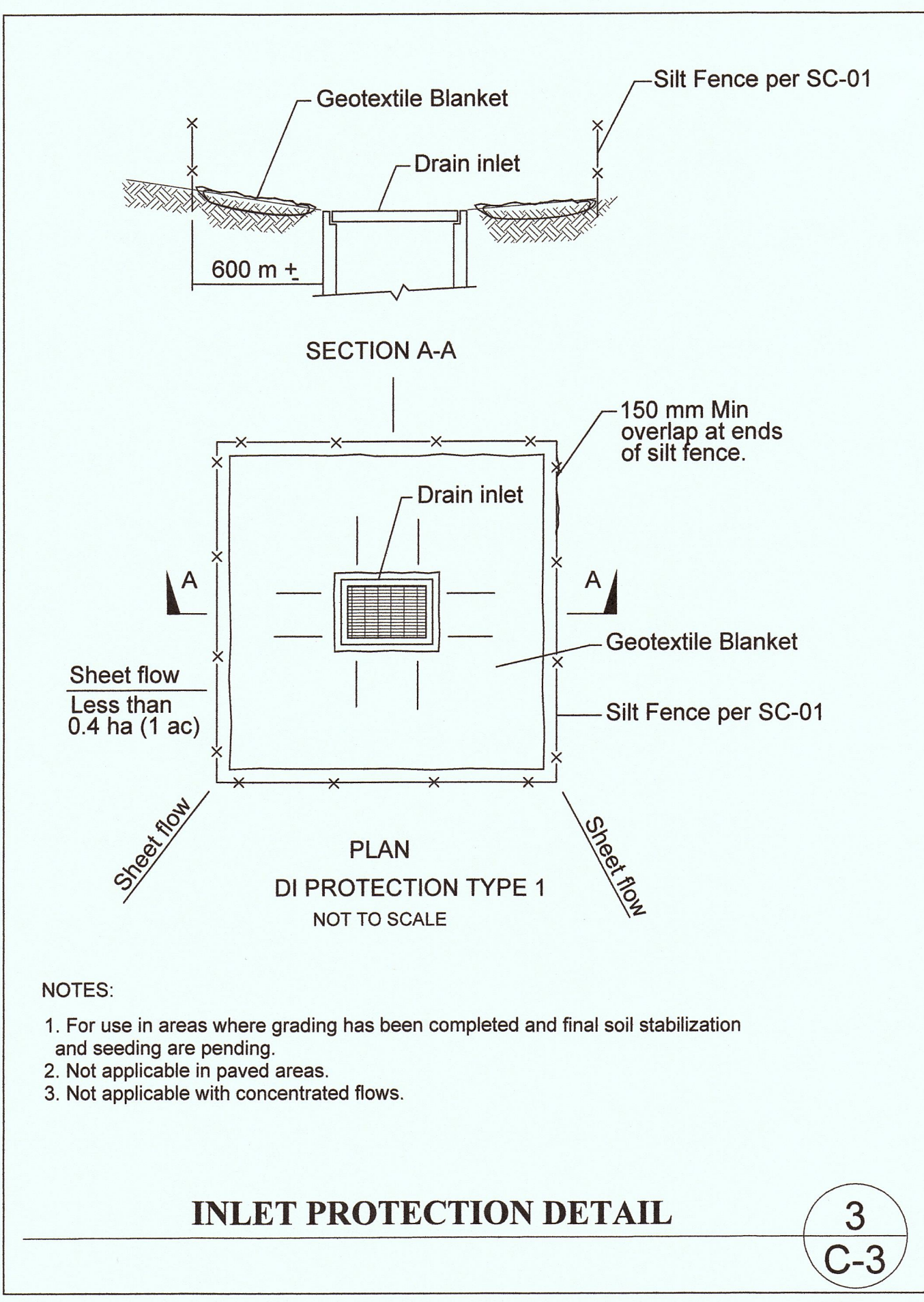
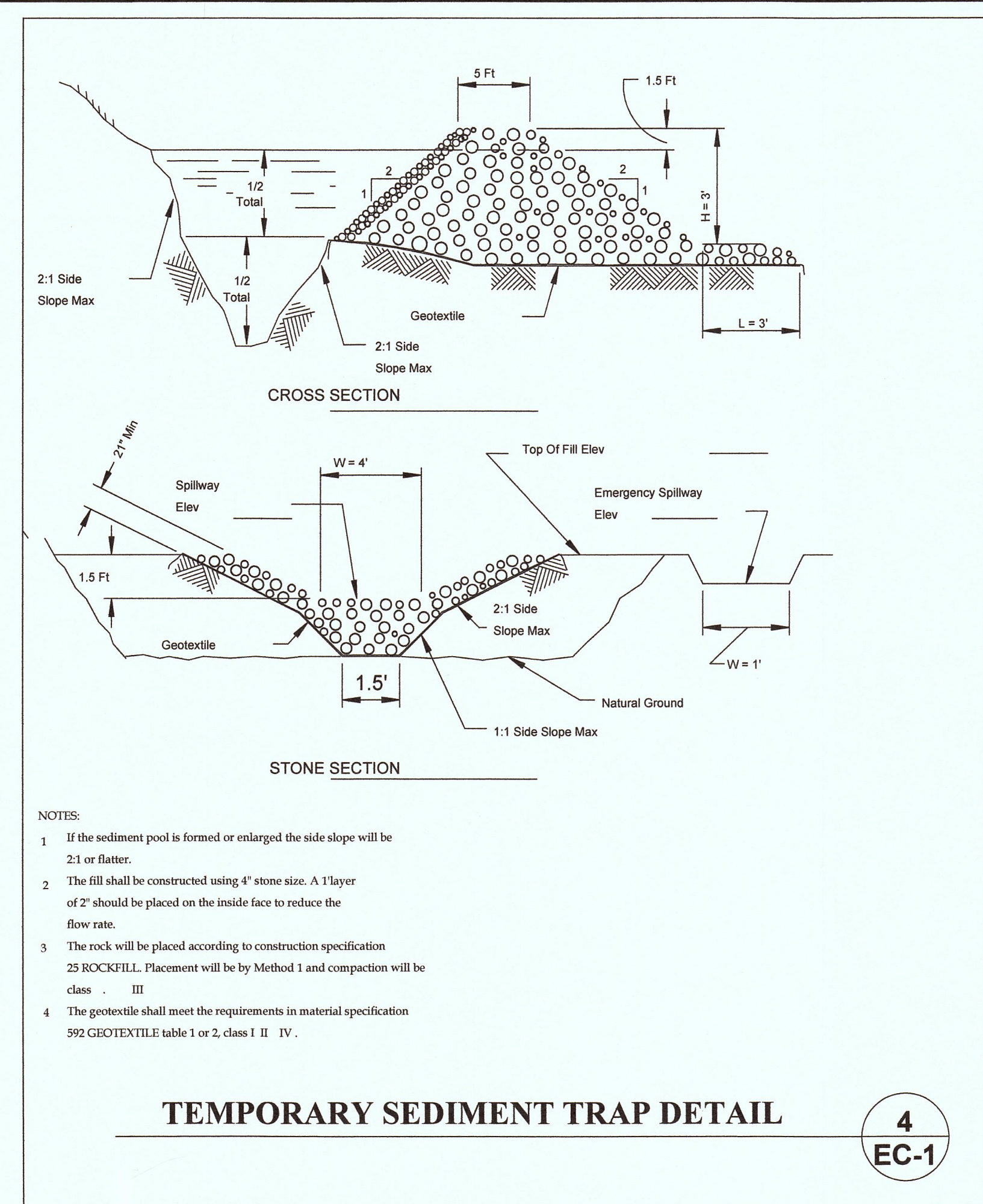
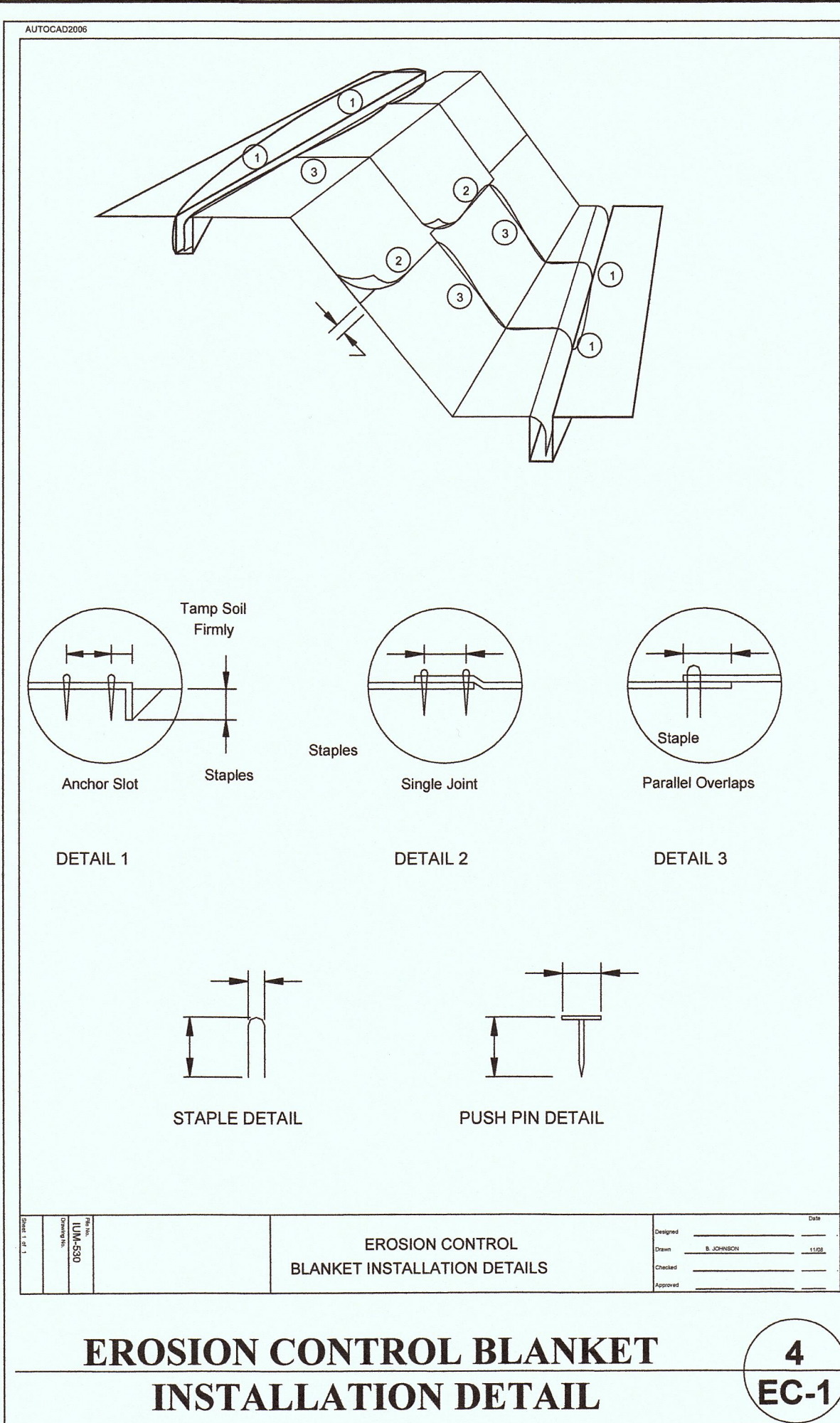
By: _____
Date: _____
Revision: _____
No. _____
REVISIONS: 01-29-17
REVISIONS: 08-25-17
REVISIONS: 08-25-17
REVISIONS: 08-27-17
Drawn By: JLK

JLK ASSOCIATES
SURVEYORS / ENGINEERS
73 CEDAR LANE
SAN JOSE, CA. 95127
408-729-3734

GRADING & DRAINAGE PLAN
PRELIMINARY
Sevilla Avenue Lot 8
HALF MOON BAY
SAN MATEO COUNTY
STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER
ALI ABIANI
NO C 57818
CIVIL
STATE OF CALIFORNIA

SCALE: AS NOTED
SHEET: **C-1**



EROSION CONTROL & BMP NOTES

- UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS DIRECTED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY WHICH DISTURBS SOIL.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES AT LEAST THREE TIMES DAILY, AS NECESSARY TO ELIMINATE VISIBLE DUST PLUMES.
- COVER ALL TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET FREEBOARD LEVEL WITHIN THOSE TRUCK BEDS. ENCLOSE, COVER, OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES OR DEBRIS, SOIL, SAND, OR OTHER MATERIALS.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP STREET DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- INSTALL WATTLE BARRIER ALONG THE FRONTAGE OF THE JOB SITE. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.

By: _____
Date: _____
Revision: _____
No. _____
REVISION: 01-29-17
REVISION: 02-29-17
REVISION: 06-25-17
REVISION: 08-25-17
Drawn By: J.L.K.

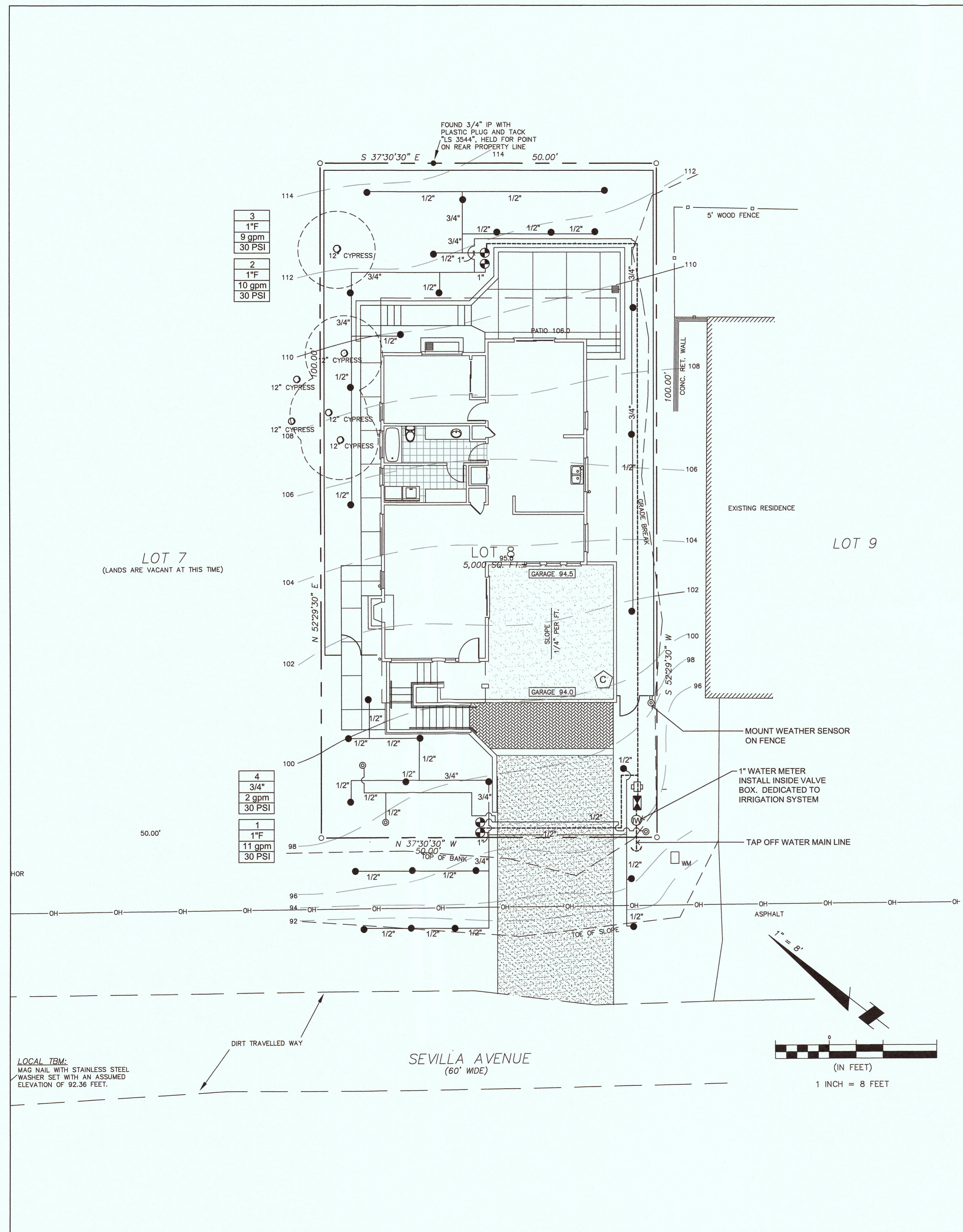
JLK ASSOCIATES
SURVEYORS / ENGINEERS
73 CEDAR LANE
SAN JOSE, CA. 95127
408-729-3734

PRELIMINARY / EROSION CONTROL PLAN
Sevilla Avenue Lot 8
HALF MOON BAY
SAN MATEO COUNTY
STATE OF CALIFORNIA

REG. STEREO PROFESSIONAL ENGINEER
ALI ABIANI
NO C 57818
CIVIL
STATE OF CALIFORNIA

SCALE: AS NOTED

SHEET:
C - 3



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
●	PEPCO OCTA-BUBBLER WITH FLOW CONTROL DEVICE D8160 BLUE 2 GPH PORTS FOR 1 GALLON PLANTS, D8560 BLACK 6 GPH FOR 5 GALLON PLANTS, D8960 RED 10 GPH FOR 15 GALLON PLANTS. INSTALL 1/4" IRRIGATION TUBING, STAKE AND BUG CAP TO EACH PLANT.
⊙	RAIN BIRD ROOT WATERING TUBE (18") WITH .50 GPM BUBBLER, 4" GRATE. RWS-M-B-1402. INSTALL 1 PER TREE.
-----1"-----	3/4" DIAMETER SCHEDULE 40 PVC IRRIGATION MAIN LINE, BURY 18" DEEP.
-----1/2"-----	CLASS 200 PVC LATERAL LINE, SIZE PIPE AS NOTED. BURY 12" BELOW FINISH GRADE MINIMUM.
⊠	BACKFLOW PREVENTION DEVICE: FEBCO 765 PRESSURE VACUUM BREAKER, 1" SIZE, INSTALL ON COPPER RISER, 18" ABOVE FINISH GRADE.
⊕	WEATHERMATIC 21000 CONTROL VALVES WITH FLOW CONTROL.
2	INDICATES VALVE STATION (IRRIGATION ZONE)
1"F	INDICATES VALVE SIZE, F = 'WYE' FILTER AFTER VALVE
2 gpm	INDICATES FLOW RATE IN GALLONS PER MINUTE
30 PSI	INDICATES MINIMUM OPERATIONAL PRESSURE
⊕	3/4" BRASS HOSE BIB ON 3/4" COPPER RISER. ATTACHED TO WALL 16" ABOVE FINISH GRADE.
C	RAIN BIRD ESP-SMT ₈ , 8 STATIONS SMART CONTROLLER WITH WEATHER SENSOR. MOUNT WEATHER SENSOR ON TOP OF SIDE FENCE, AS RECOMMENDED BY MANUFACTURER. ENSURE SENSOR IS FREE FROM OBSTRUCTIONS TO ALLOW FOR COLLECTION OF ACCURATE MEASURE OF RAINFALL.
□	TORO FLOW SENSOR, TFS-100 (1"), WIRE TO IRRIGATION CONTROLLER

- IRRIGATION NOTES:**
- CONTRACTOR TO TEST WATER SUPPLY FOR AVAILABILITY OF 35 GPM AND VERIFY MINIMUM STATIC WATER PRESSURE OF 55 PSI AT POINT OF CONNECTION.
 - ALL MAIN LINES AND WIRING UNDER PAVEMENT SHALL BE SLEEVED WITH 24" COVER, 18" COVER FOR LATERAL LINES.
 - TEST PIPES FOR LEAKS BEFORE BACKFILL.
 - MAINTENANCE TO CHECK AND FLUSH VALVE FILTER MONTHLY.

IRRIGATION STATIONS INFORMATION

VALVE #	VALVE SIZE	FLOW RATE (GPM)	APPLICATION RATE (IN/HR)	DESIGN OPERATION PRESSURE (PSI)	HYDROZONE / PLANT TYPES
1	1"	11	N/A (DRIP)	30 PSI	Low / shrubs
2	1"	10	N/A (DRIP)	30 PSI	Moderate / shrubs
3	1"	9	N/A (DRIP)	30 PSI	Low / shrubs
4	3/4"	2	BUBBLER	30 PSI	Low / tree

IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 P.M. AND 10:00 A.M.

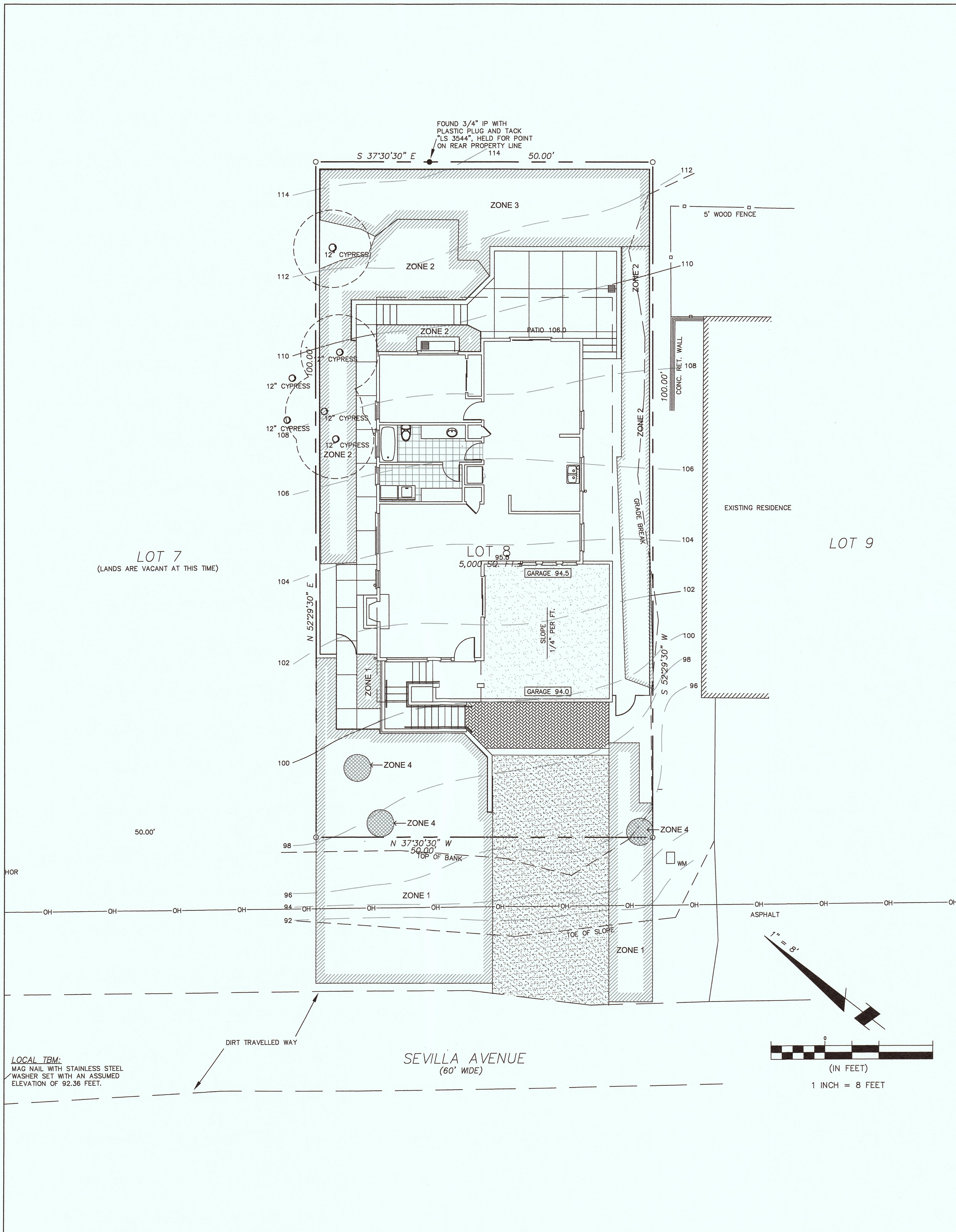
REVISIONS	BY

ANYI HUANG
 LANDSCAPE ARCHITECT, CALIC #4987
 2647 ROYAL ANN DRIVE
 UNION CITY, CA 94587
 anyi@anyilandscape.com
 650-533-0107

LANDSCAPE IRRIGATION PLAN

NEW RESIDENCE
 438 SEVILLA AVE.
 EL GRANADA, CALIFORNIA

DATE: 2/28/2017
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AH
 PROJECT # 17028
 SHEET L - 2.0
 TOTAL SHEETS: 4



WATER EFFICIENT LANDSCAPE WORKSHEET

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Reference Evapotranspiration (ETo)				34			
Regular Landscape Areas							
1 / low water use shrubs	0.3	drip	0.81	0.37	1214	449.63	9478.19
2 / moderate water use	0.5	drip	0.81	0.62	715	441.36	9303.83
3 / low water use	0.3	drip	0.81	0.37	497	184.07	3880.28
4 / trees, low water use	0.3	drip	0.81	0.37	36	13.33	104.10
Totals					2462	1088.40	
Special Landscape Areas							
					1	0	0.00
Totals					0	0	0.00
ETWU Total						22766.40	
Maximum Allowed Water Allowance (MAWA)						28544.43	
Hydrozone # / Planting Description	Irrigation Method	Irrigation Efficiency	ETWU (Annual Gallons Required) = ETo X 0.62 x ETAF x Area				
1.) front lawn	overhead spray	0.75 for spray head	where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year				
2.) low water use plantings	or drip	0.81 for drip					
3.) medium water use planting							
MAWA (Annual Gallons Allowed) = (ETo)(0.62)[(ETAF x LA) + ((1-ETAF) x SLA)]				MAWA = 34(0.62)[(0.55 x 2462) + (1-0.55) x 0] = 28544			
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.							
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	1088.40						
Total Area	2462.00						
Average ETAF	0.442078						
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas							
All Landscape Areas							
Total ETAF x Area	1088.40						
Total Area	2462.00						
Sitewide ETAF	0.442078						

REVISIONS	BY

ANYI HUANG
 LANDSCAPE ARCHITECT, CALIC #4987
 2647 ROYAL ANN DRIVE
 UNION CITY, CA 94587
 anyi@anylandscape.com
 650-533-0107

**WATER EFFICIENT LANDSCAPE
 CALCULATION SHEET**

NEW RESIDENCE
 438 SEVILLA AVE.
 EL GRANADA, CALIFORNIA

DATE: 2/28/2017
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AH
 PROJECT # 17028
 SHEET L - 2.1
 TOTAL SHEETS: 4

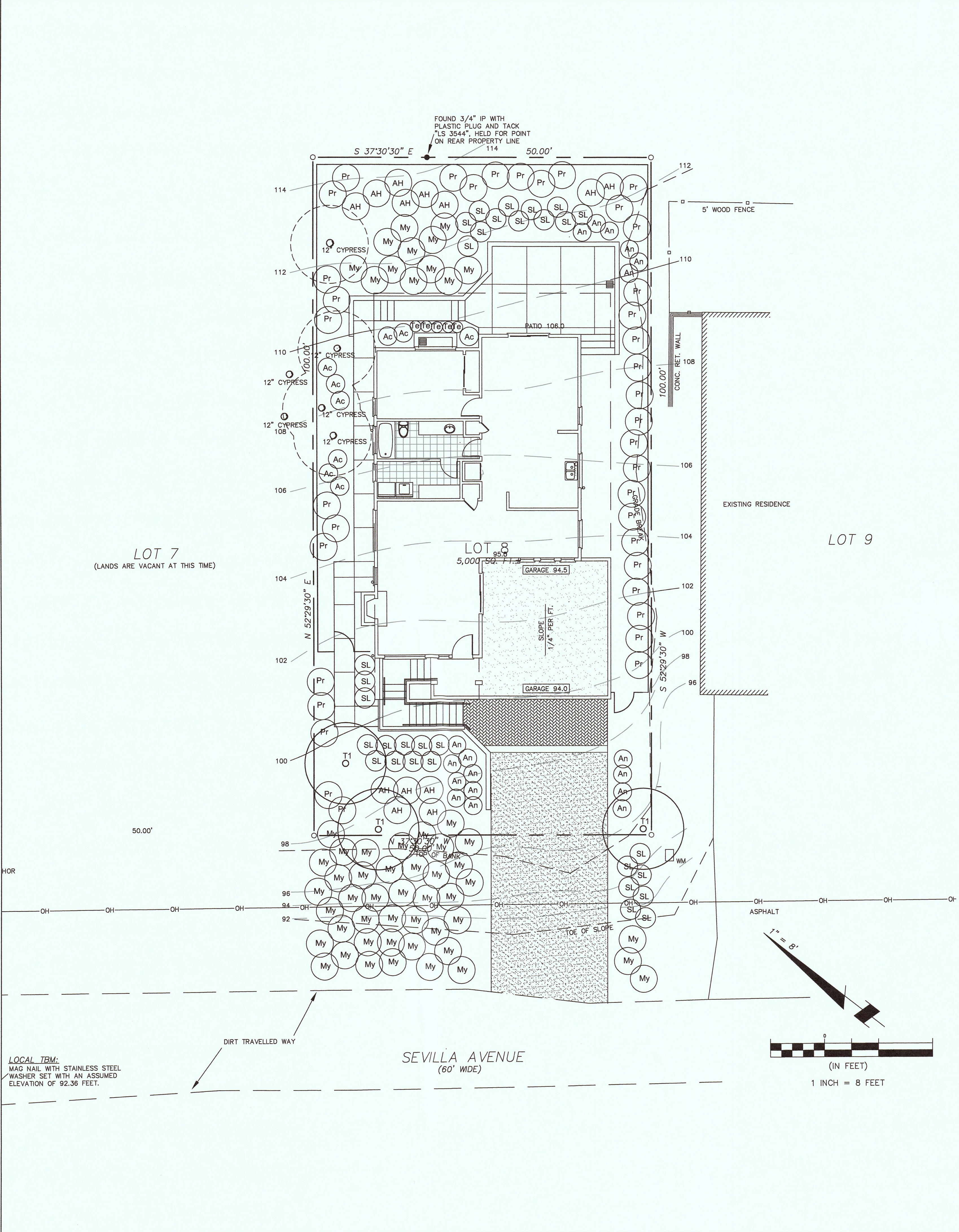
REVISIONS	BY

ANYI HUANG
 LANDSCAPE ARCHITECT, CALIC #14987
 2647 ROYAL ANN DRIVE
 UNION CITY, CA 94587
 anyi@anylandscape.com
 650-533-0107

LANDSCAPE PLANTING PLAN

NEW RESIDENCE
 438 SEVILLA AVE.
 EL GRANADA, CALIFORNIA

DATE: 2/28/2017
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AH
 PROJECT # 17028
 SHEET L - 3.0
 TOTAL SHEETS: 4

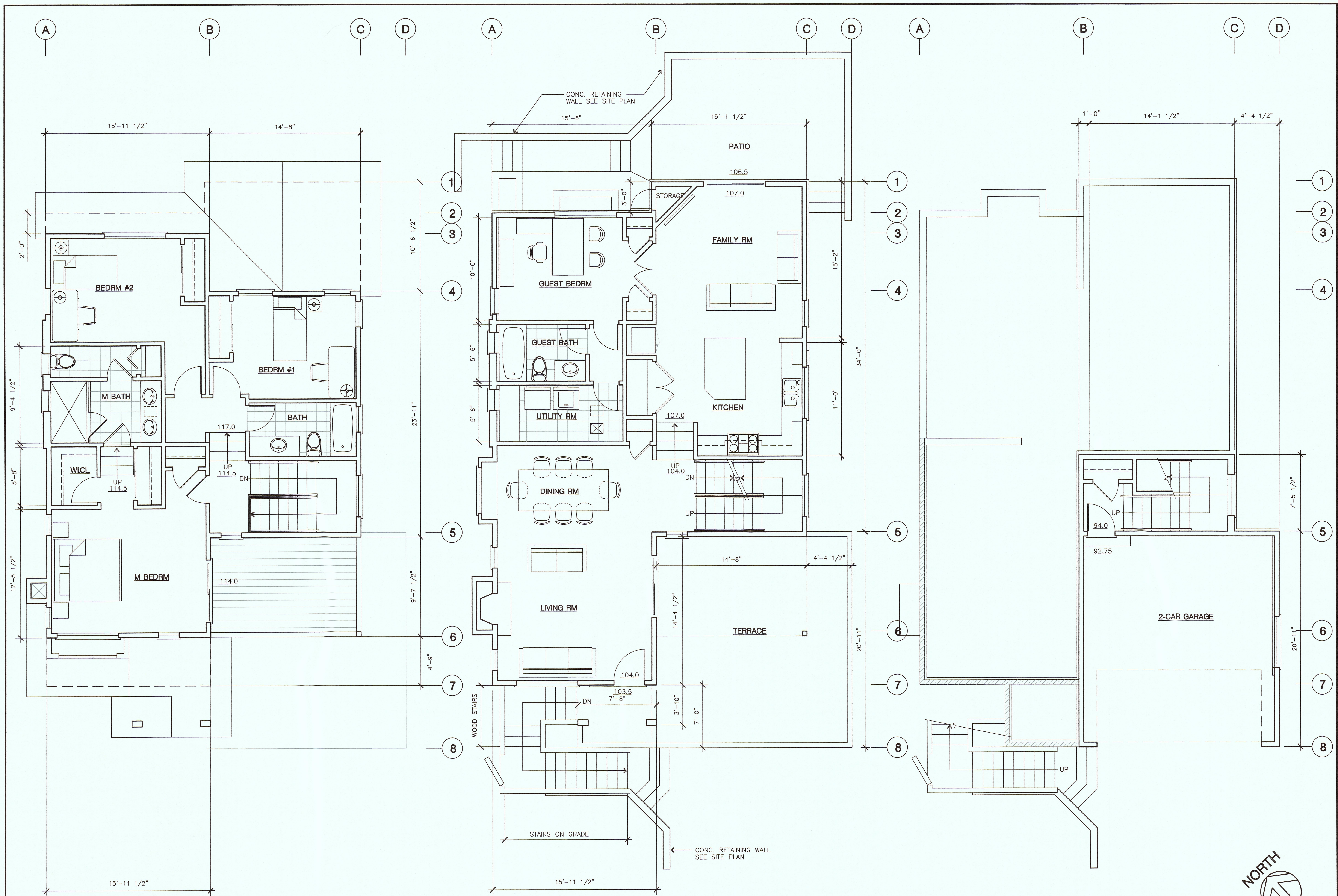


PLANTING LEGEND

Key	Botanical Name - Common Name	Quantity	Size	Note	WULCO
Ac	Acanthus mollis - Bear's Breech	9	1 gallon		M
AH	Arctostaphylos densiflora 'Howard McMinn' - Manzanita	13	5 gallon		L
An	Anemathelle lessoniana - New Zealand Wind Grass	18	1 gallon		M
My	Myoporum 'Putah Creek' - Myoporum	55	1 gallon		L
Pr	Prunus caroliniana - Carolina Cherry	38	5 gallon		L
SL	Salvia lucanthe 'Santa Barbara' - Mexican Sage	31	1 gallon		L
Te	Teucrium x lucidrys - Germander	5	1 gallon		L
Tree					
T1	Rhus lancea - African Sumac	3	24" box	standard	L

WULCO CATEGORIES OF WATER NEEDS: L = LOW WATER USE, M = MODERATE WATER USE

- PLANTING NOTES**
- Before planting till the following materials into the top 6" of soil (for each 1,000 S.F.):
 - 6 cubic yards (2" deep) green waste compost
 - 10 LB fertilizer (N16/P6/K8) w/ 2% iron
 - 5 LB sulfate of ammonia
 - Areas within the drip line of existing trees and shrubs to remain shall be prepared by hand digging to prevent damage to any roots.
 - Finish grade in shrub and groundcover areas shall be 1" below adjoining paving or header, and 1/2" below at artificial turf areas.
 - All nursery stakes shall be removed at the time of planting. Stake each tree using 2 lodge poles and rubber tree ties.
 - Mulch all planted areas with a 3" thick layer of medium recycled wood chips, provide sample for approval.
 - The landscape architect and the owner reserve the right to reject any or all plant material, if such material does not meet the American Standards for Nursery Stock (ANSI). Plant materials shall be guaranteed against latent defects, injuries, pests, diseases or death of plants due to improper planting. The Contractor shall promptly replace plants that have died or are not in a vigorous, healthy condition with plants of the same kind and size as originally specified at no expense to the Owner.
 - Plant locations are diagrammatic, and are subject to change in the field by the landscape architect. The landscape architect and the owner reserve the right to make substitutions, additions and deletions in planting schedule while the work is in progress. Such changes shall be accompanied by equitable adjustments in the contract price, if and when necessary.
 - Landscape architect to approve plant locations prior to planting.
 - The contractor shall maintain the site for 60 calendar days following the acceptance of the work by the landscape architect, and shall make corrections, repairs, and replacements to the planting and irrigation, if needed, as recommended by the landscape architect at the completion of the maintenance period.
 - The Contractor shall be responsible to continuously maintain grades, plant material, and irrigation through the maintenance period until final acceptance of the work by the Owner. The area shall be kept free of debris and all planted area shall be weeded and cultivated at intervals of not more than 2 weeks. All planted areas shall receive a complete fertilizer, 16-6-8, at the rate of 1 pound per 1000 square feet, once a month. Watering, spraying, and pest control, as may be required, shall be included in the maintenance period.



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
△	DESIGN REV. 3-6-17
△	DESIGN REV. 7-31-17
△	CDR. REV. 10-12-17
△	
△	

DL Architectural & Planning
616 RAMONA ST. STE 21
PALO ALTO, CA (650) 321-2808

NEW RESIDENCE
FOR: John & Holly Reavill
438 SEVILLA AVENUE
SAN MATEO COUNTY, CA

PROPOSED FLOOR PLANS

DATE	2-1-2017
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-2
OF SHEETS	

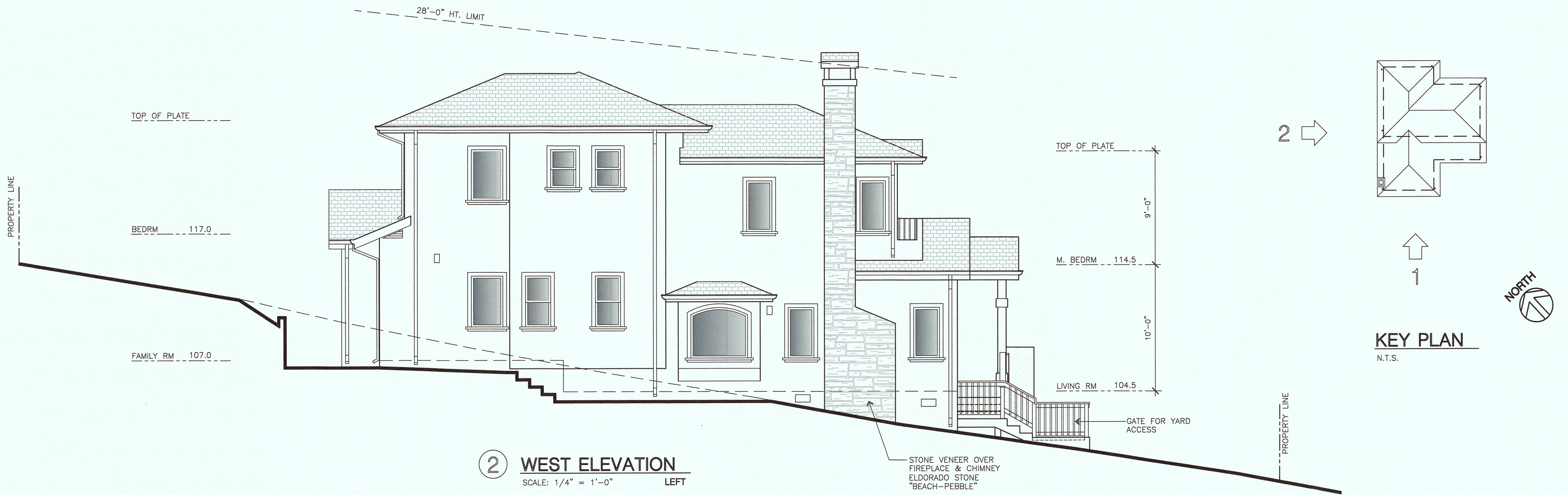
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△	DESIGN REV. 7-31-17
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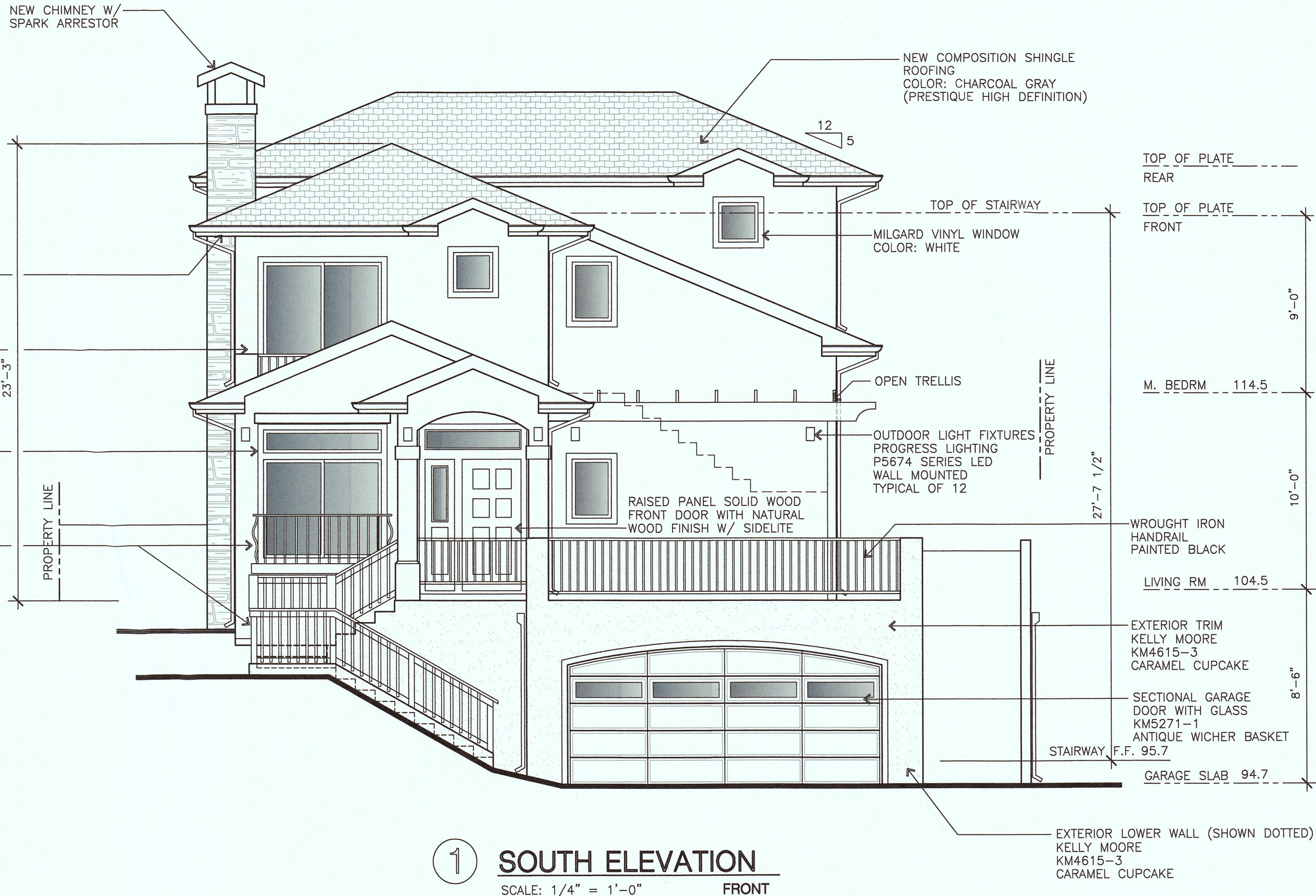
NEW RESIDENCE
 FOR: John & Holly Reavill
 438 SEVILLA AVENUE
 SAN MATEO COUNTY, CA

PROPOSED BUILDING ELEVATIONS

DATE	2-1-2017
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-3
OF SHEETS	



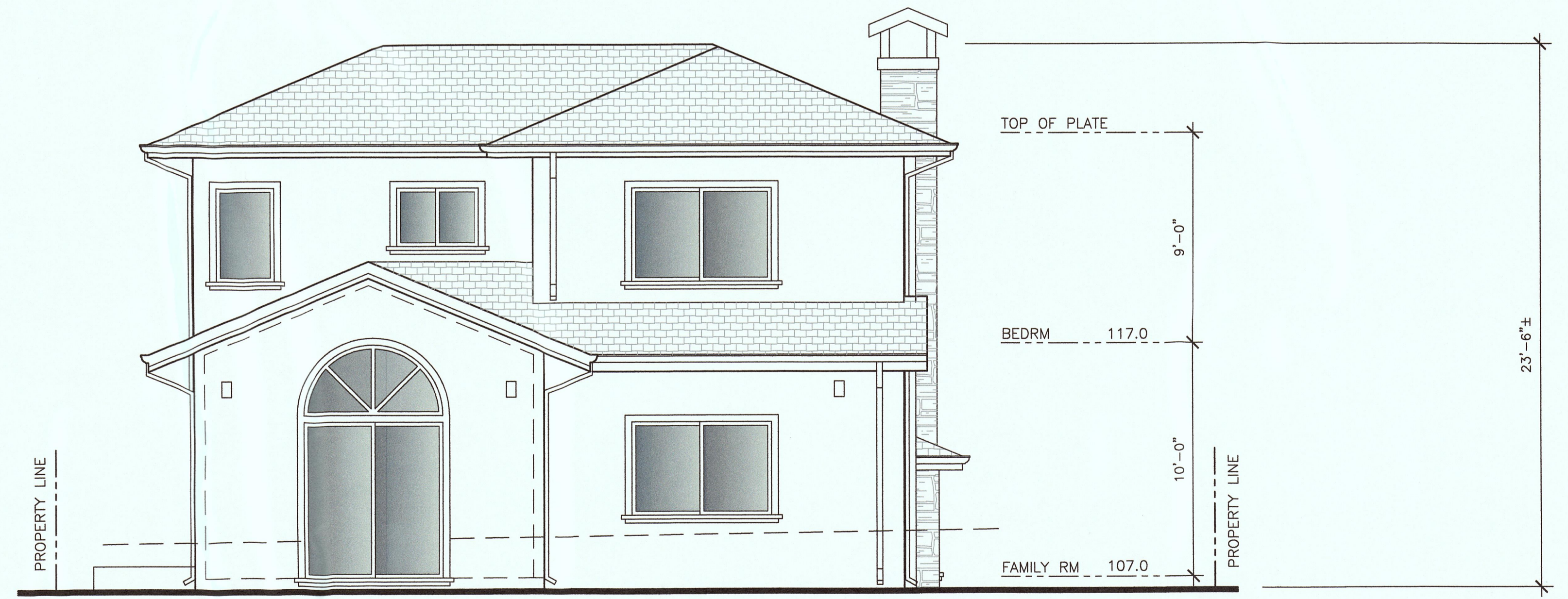
2 WEST ELEVATION
 SCALE: 1/4" = 1'-0" LEFT



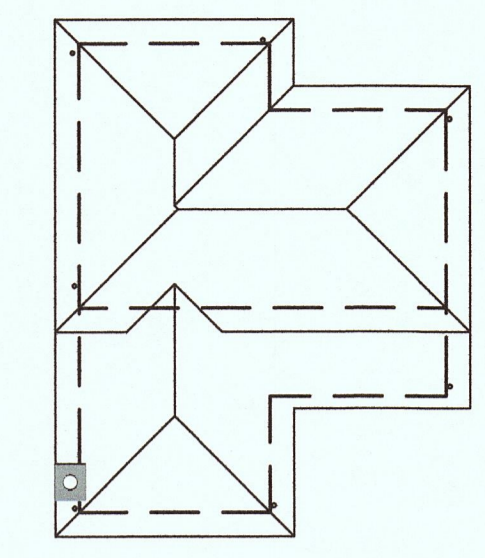
1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" FRONT



4 EAST ELEVATION
 SCALE: 1/4" = 1'-0" RIGHT



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0" (REAR)



KEY PLAN
 N.T.S.



REVISIONS	
△	DESIGN REV. 3-6-17
△	DESIGN REV. 7-31-17
△	CDR. REV. 10-12-17
△	
△	

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 PALO ALTO, CA (650) 321-2808

NEW RESIDENCE
 FOR: John & Holly Reavill
 438 SEVILLA AVENUE
 SAN MATEO COUNTY, CA

PROPOSED BUILDING ELEVATIONS

DATE	2-1-2017
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-4
OF SHEETS	

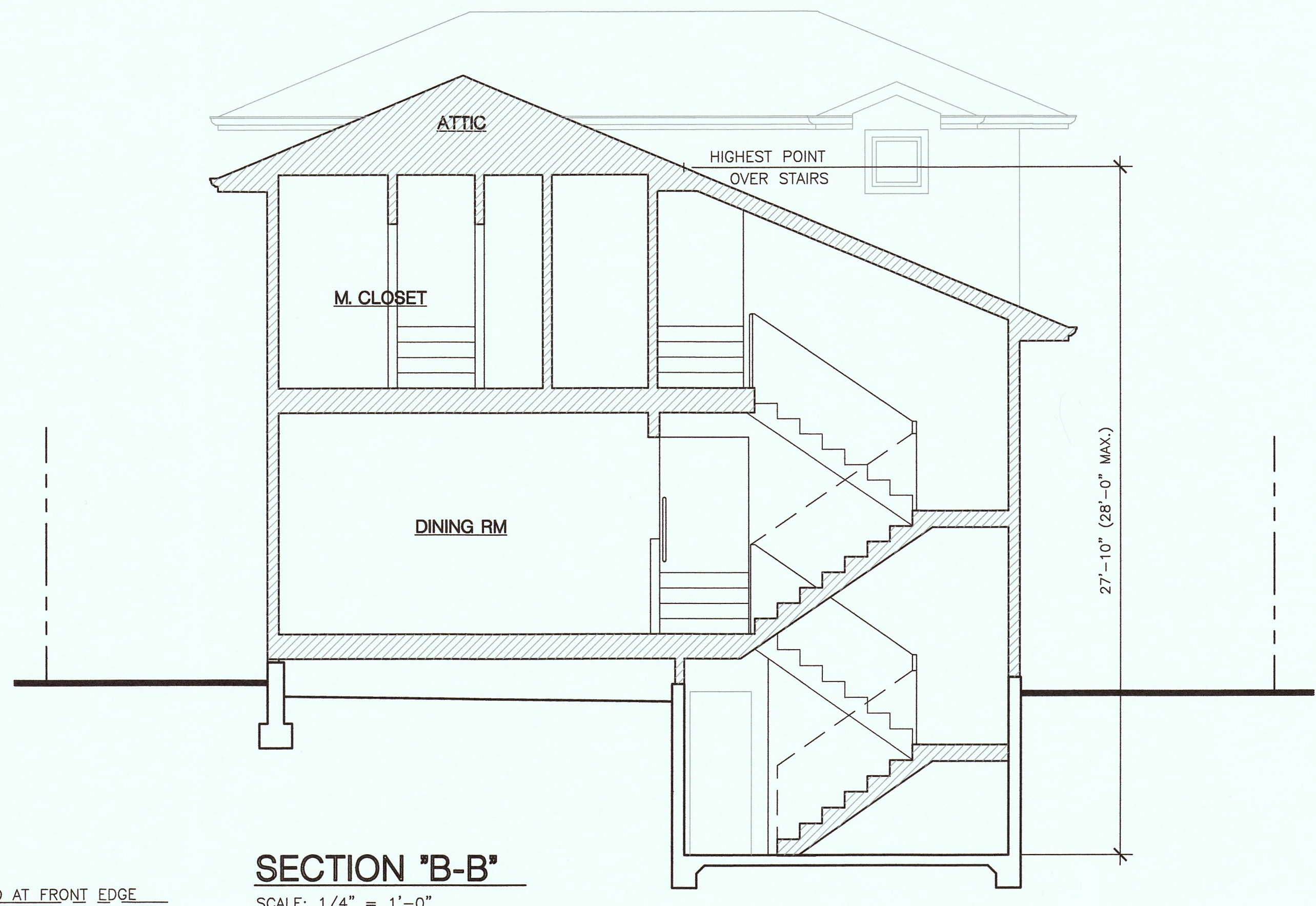
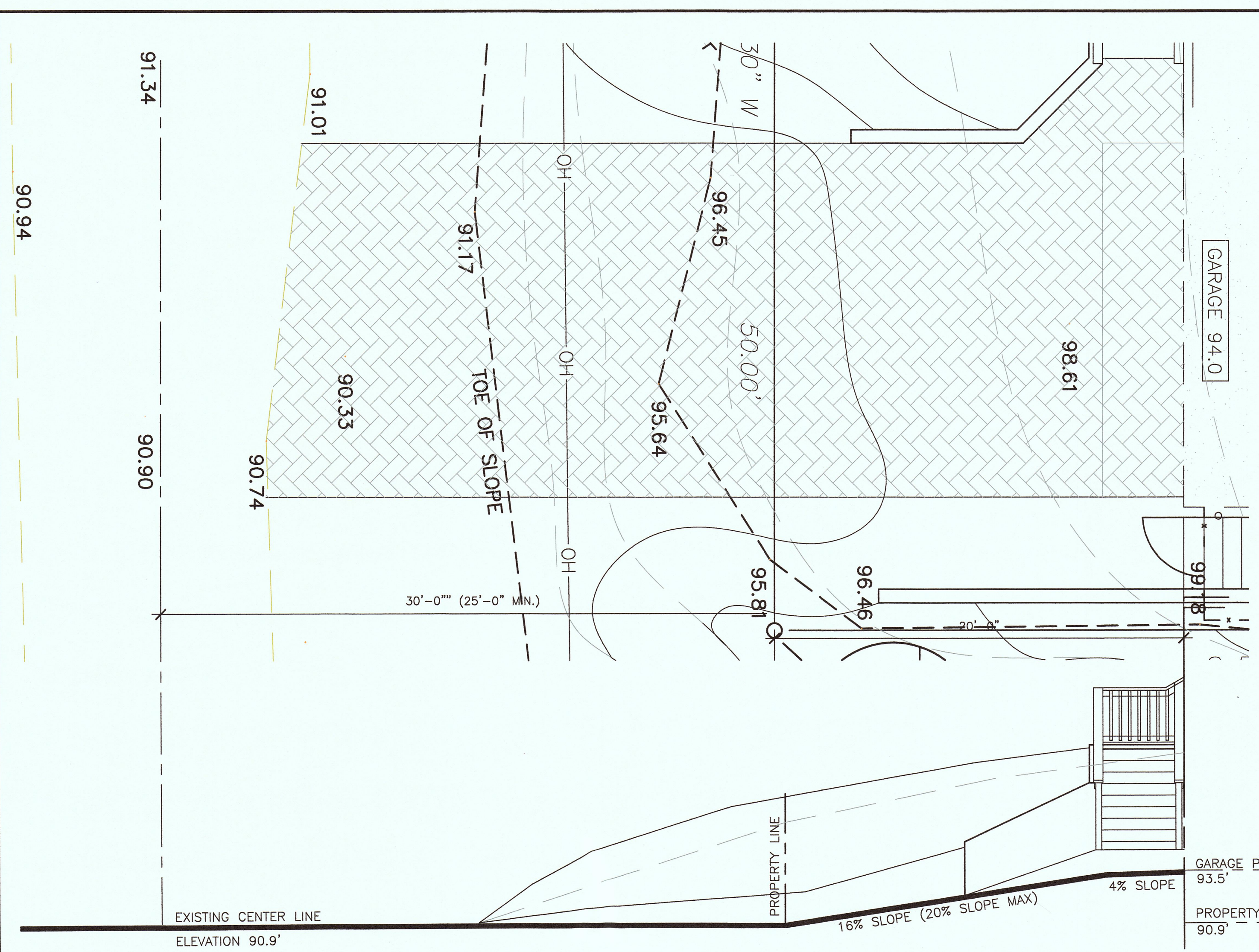
REVISIONS	
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 616 RAMONA ST. STE 21
 PALO ALTO, CA (650) 321-2808

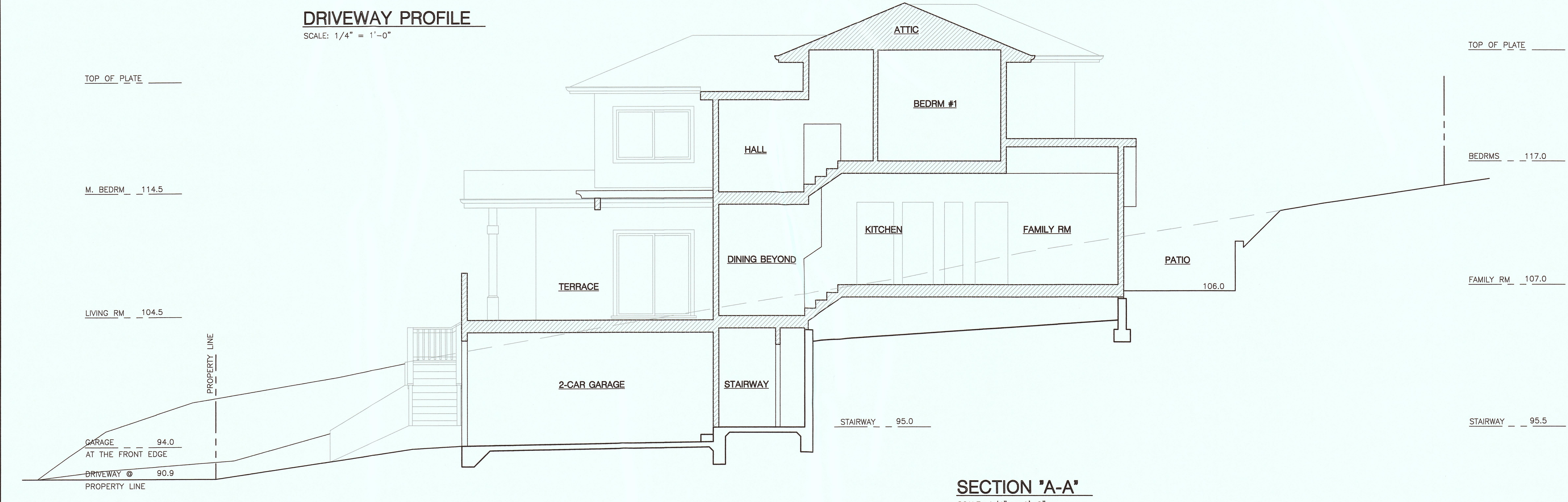
NEW RESIDENCE
 FOR: John & Holly Reavill
 438 SEVILLA AVENUE
 SAN MATEO COUNTY, CA

BUILDING SECTIONS

DATE	2-1-2017
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	-
OF SHEETS	SK-5



TOP OF PLATE	
M. BEDRM	114.5
LIVING RM	104.5
STAIRWAY	95.5



TOP OF PLATE	
BEDRMS	117.0
FAMILY RM	107.0
STAIRWAY	95.5

TOP OF PLATE	
M. BEDRM	114.5
LIVING RM	104.5
GARAGE AT THE FRONT EDGE	94.0
DRIVEWAY @ PROPERTY LINE	90.9