

March 31, 2017

Lin Chuwen
141 Santa Helena Avenue, Apt. #5
San Bruno, CA 94066

Dear Ms. Chuwen:

SUBJECT: Coastside Design Review
Marine Boulevard, Moss Beach
APN 037-186-210; County File No. PLN 2016-00429

At its meeting of February 9, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit allow construction of a new 1,339 sq. ft. two-story single-family residence, plus a 485 sq. ft. attached two-car garage, on an existing 3,800 sq. ft., non-conforming legal parcel (Certificate of Compliance recorded on June 24, 2015), as part of a staff-level Coastal Development Permit (CDP). No trees are proposed for removal. The CDP is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required, specifically on Section 6565.20(D) and Section 6565.20(F). As such, requirements and recommendations from the CDRC for further project redesign are as follows:

Requirements:

1. Section 6565.20(F)1. LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE. Submit a detailed landscape plan to include drought tolerant as well as native or non-invasive trees, shrubs and/or groundcover. Install landscaping in proposed mulched areas to enhance property appearance.
2. Section (6565.20(F)2. LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE. Submit and indicate on revised plans manufacturer's specification sheets for all exterior lighting and material details for all paved areas.
3. Section 6565.20(F)4. LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE. Indicate on revised floor plans and elevations, the location of all "Dark Sky" compliant, downward directed exterior lighting fixtures.



4. Section 6565.20(D)3. ELEMENTS OF DESIGN. The roof feature should either be redesigned to include dormers to enhance the articulation and functional aspects of the roof lines.
5. Section 6565.20(D)1.e. ELEMENTS OF DESIGN. The side and back wall facades are flat with little architectural detail. Introduce 'offset' wall planes to help reduce the boxy appearance prevalent on three sides and enhance the visual interest to match the front elevation.
6. Section 6565.20(D)2.b. ELEMENTS OF DESIGN. All windows and doors should be of consistent style.

Recommendations:

1. Section 6464.20(D)1.e. ELEMENTS OF DESIGN. Add another color to enhance visual interest on the sides and back facades of the residence.
2. Instead of its current garage access location, relocate or enclose the main staircase of the residence.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:pac - DPABB0140_WPN.DOCX

cc: Dianne Whitaker, Member Architect
Stuart Grunow, Member Architect
Beverly Garrity, Montara Community Representative



VIEW TO REAR YARD



VIEW TO REAR YARD

NOTE: PERSON SHOWN AS POSSIBLE FUTURE ADDITION AND IS NOT PROPOSED AT THIS TIME



VIEW TO REAR YARD



VIEW TO FRONT YARD



VIEW TO FRONT YARD



VIEW TO SIDE YARD

Lin-Jiang Residence	
0 Marine Boulevard, Moss Beach, CA	
Date: 4/5/2017	Scale: NTS
Three Dimensional Views	
Sheet 2 of 2	
DPG Design	4701 Main Street Oakley, CA 94561 (925)852-1373 CA License #972038

PRODUCT SPECIFICATIONS

Project Name _____ Date _____



Type or Model _____ Qty _____

Model # _____ Prepared By _____

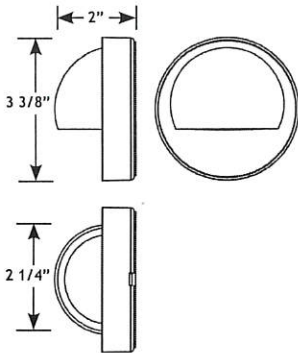
VOLT® Low Voltage Landscape Lighting Deck Light - 600 Series

Product Description

The Deck Light is a high quality low voltage outdoor lighting deck fixture from VOLT. Featuring easy access faceplate, no tools are required. Rotate the faceplate into a lock position onto an o-ring gasket. Sealed solid brass fixture means it's perfect for post lighting on piers or docks as well as decking and other hardscaping. Professional quality internal components make for a fixture that will last a long time, even through harsh outdoor elements.



Product Dimensions



Specifications

- ▶ **Construction:** Cast Brass
- ▶ **Finish:** Bronze or white Powder Coat
- ▶ **Lead Wire:** 48" (standard) or 25' (optional) 16AWG, SPT-2 premium tinned copper
- ▶ **Mounting:** Two Lock Screws
- ▶ **Glass or Lens:** Frosted Glass
- ▶ **Light Source (not included):** Bipin (LED or Halogen)
- ▶ **Maximum Lamp Rating:** 20W
- ▶ **Operating Voltage:** 12V AC
- ▶ **Shipping Weight:** 1 lb
- ▶ **Powered by:** VOLT's Low Voltage Transformer

Features & Benefits

- ▶ Solid Brass Construction.
- ▶ Pre-aged finish; with a natural patina that does not corrode, or the option for a white powder coating.
- ▶ Ceramic white interior reflects light to maximize output and beam spread.
- ▶ Beryllium copper socket - more corrosion resistant than copper.
- ▶ Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaire through the stem.
- ▶ Machine threaded body screws tight onto an O-ring for a moisture tight design.

Warranty

Lifetime Warranty

Certifications



LISTED File #E466348

PLN 2010-00429

San Mateo County
Planning and Building Department

PRODUCT SPECIFICATIONS



VOLT® Low Voltage Landscape Lighting
Deck Light - 600 Series

Lamp Options

Item Number	Description	Power Supply Requirement
G4-15-12v-827	VOLT® 15 watt equivalent LED bi-pin 2700K	2W
G4-15-12v-830	VOLT® 15 watt equivalent LED bi-pin 3000K	2W
8JC10-10W	10W BiPin Halogen Lamp	10W
8JC10-20W	20W BiPin Halogen Lamp	20W

Lamp Specs

15 watt Equivalent
25 Lumens

Ordering Information

Example: Order # 600-48-BZ

600	-48	-BR
Product Family	Wire Length	
600 = Deck Light	48 = 48" 25 = 25'	BR= Bronze WH= White

Specifications subject to change without notice.

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www.voltlighting.com

ss-600-ver2.pdf

PRODUCT SPECIFICATIONS



VOLT® Low Voltage Landscape Lighting
Max Spread, Path & Area Lights - 330 Series

Lamp Options

Item Number	Description	Power Supply Requirement
G4-15-12V-827	VOLT® 15 watt equivalent LED Bi-Pin 2700K	2W
G4-20-12V-827	VOLT® 20 watt equivalent LED Bi-Pin 2700K	3W
G4-35-12V-827	VOLT® 35 watt equivalent LED Bi-Pin 2700K	4W
G4-15-12V-830	VOLT® 15 watt equivalent LED Bi-Pin 3000K	2W
G4-20-12V-830	VOLT® 20 watt equivalent LED Bi-Pin 3000K	3W
G4-35-12V-830	VOLT® 35 watt equivalent LED Bi-Pin 3000K	4W
8JC10-10W	10W Bi-Pin Halogen Lamp	10W
8JC10-20W	20W Bi-Pin Halogen Lamp	20W

Lamp Specs

15 watt Equivalent	20 watt Equivalent	35 Watt Equivalent
115 Lumens	185 Lumens	265 Lumens

Accessories

Item Number	Description
9C-AB	VOLT's Hammer Stake with Solid Brass Top Cover
9SM-AB	Surface Mount - Brass with Bronze Finish
9TRIDENT8	8" Brass Trident Stake with Bronze Finish
9BRASSSTAKE	Brass Stake
9HAMMERSTAKE13	13" XL Hammer Stake
9R-BRASS-RISER-P-1	Solid Brass Extension Pole 6"
9R-BRASS-RISER-P-2	Solid Brass Extension Pole 12"
9R-BRASS-RISER-P-3	Solid Brass Extension Pole 24"
9R-COPPER-RISER-P-1	Solid Copper Extension Pole 6"
9R-COPPER-RISER-P-2	Solid Copper Extension Pole 12"
9R-COPPER-RISER-P-3	Solid Copper Extension Pole 24"

Ordering Information

Example: Order # 330C-48

330		-48
Product Family	Construction	Wire Length
330 = Max Spread	blank = Brass "C" = Copper	48 = 48" 25 = 25'

Specifications subject to change without notice.

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NPDES NOTES

NOTES MUST BE SHOWN AS WORDED, ON THE TITLE SHEET OF THE PLAN.

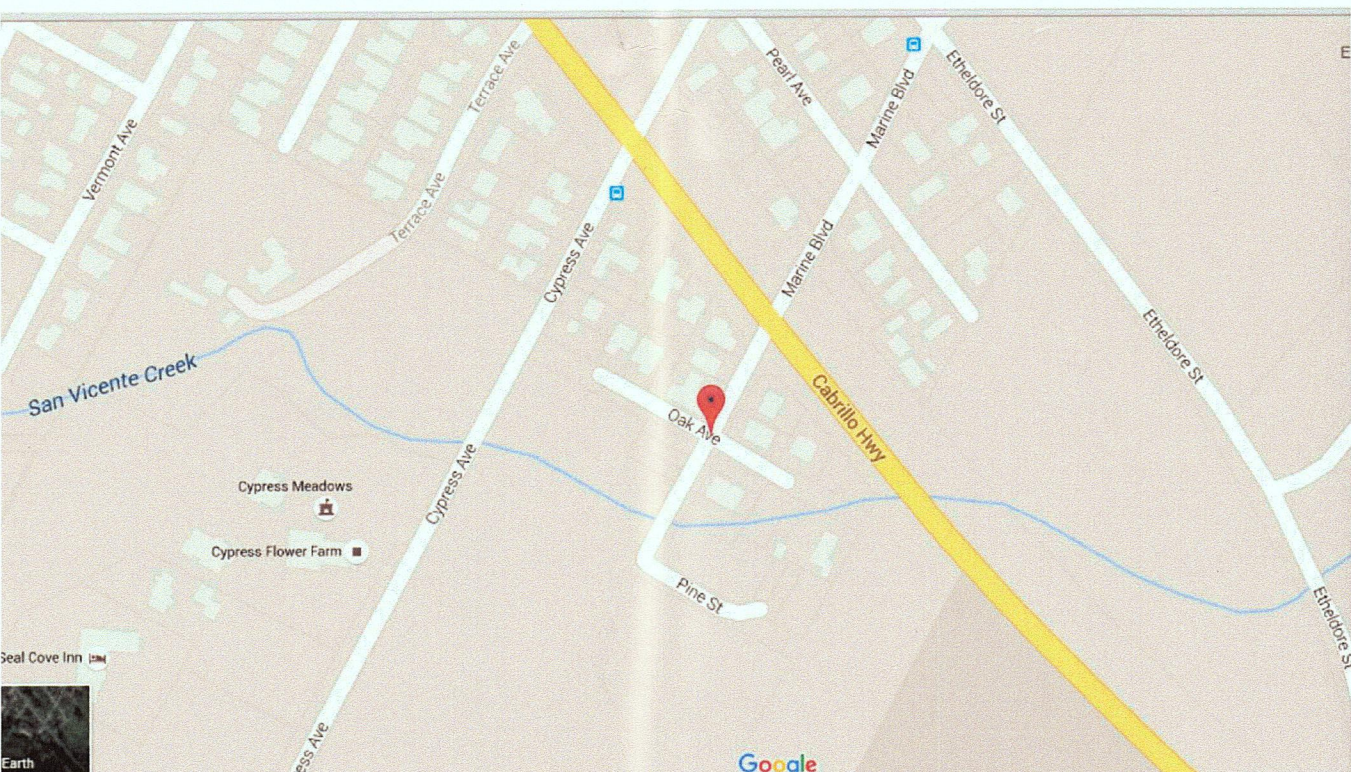
- IN THE CASE OF EMERGENCY, CALL:
AT WORK PHONE # _____
OR CELL PHONE # _____

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION - RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER, CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER - CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON - SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DE - WATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DE - WATERING OF NON - CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DE - SILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS/LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5 - DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION - RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

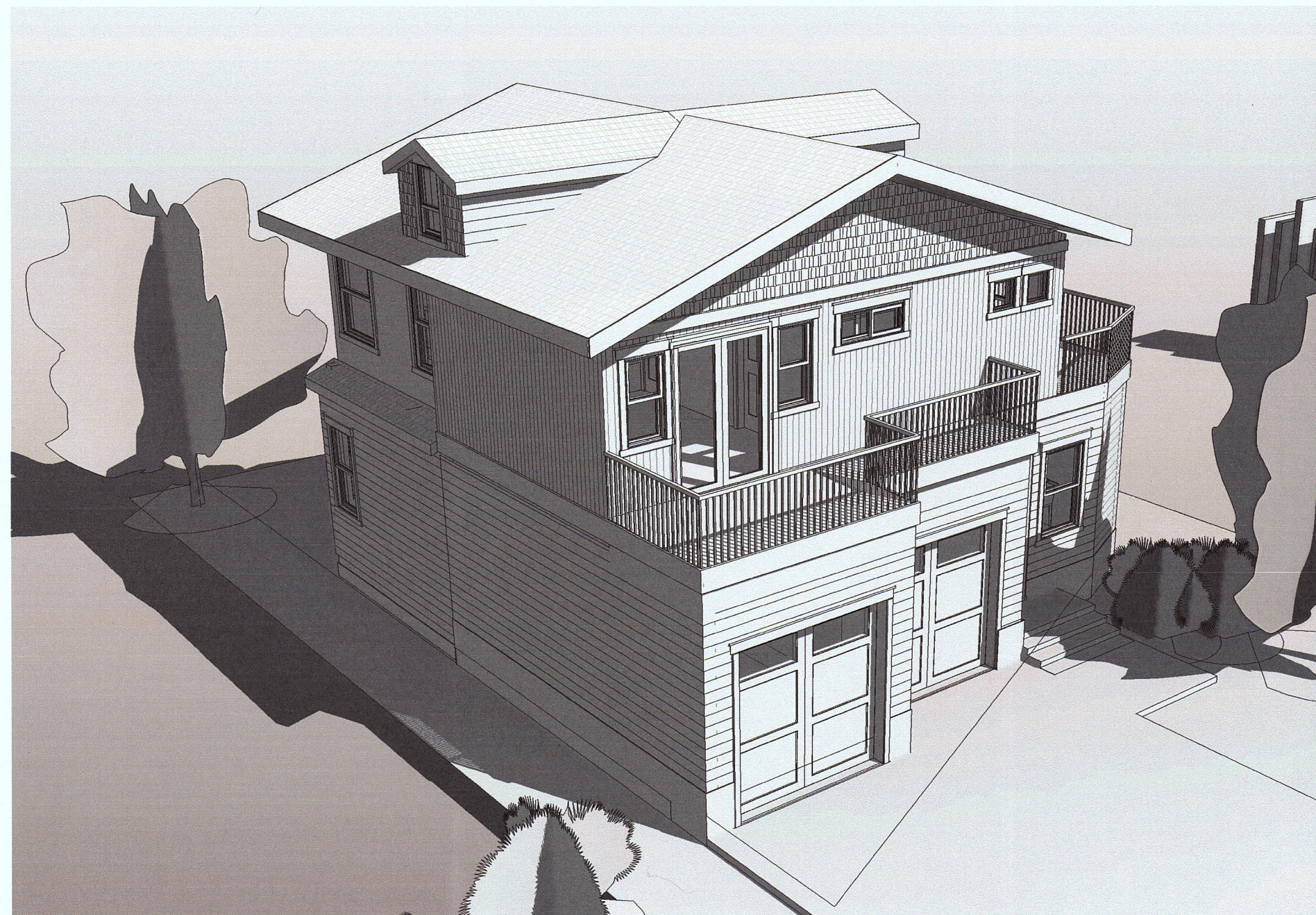
APPLICABLE CODE:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA GREEN BUILDING CODE 2013 T-24 ENERGY CODE

VICINITY MAP



JIANG-LIN RESIDENCE - NEW CONSTRUCTION



ABBREVIATIONS

A/C	Air Conditioning	JAN.	Janitor
ABV.	Above	JT.	Joint
A.C.P.	Asphaltic Concrete Paving		
A.F.F.	Above Finish Floor	LAV.	Lavatory
A.F.S.	Above Finish Slab	LAM.	Laminate
ALT.	Alternate		
ALU	Aluminum	MAX.	Maximum
ARCH	Architect(ural)	MECH.	Mechanical
		MEMB.	Membrane
BD.	Board	M.F.	Manufacturer Finish
BLW.	Below	MFR.	Manufacturer
BLDG.	Building	MIN.	Minimum
BLCK.	Blocking	M.O.	Masonry Opening
BM.	Beam	MTL.	Metal
CAB	Cabinet	(N)	New
C.J.	Ceiling Joist	NIC	Not in Contract
C/J	Control Joint	O.D.	Outside Diameter
CL.	Center Line	NOM	Nominal
CLG.	Ceiling	NTS	Not To Scale
CLR.	Clear	O/	Over
COL.	Column	O.C.	On Center
CONC.	Concrete	O.C.C.	Occupancy
CONT.	Continuous	O.I.D.	Outside Diameter
CPT.	Carpet	O.H.	Overhang
C.T.	Ceramic Tile	OPNG.	Opening
CTR.	Center	OPP.	Opposite
		O.F.C.I	Owner Furnished Contractor Installed
D	Dryer	(P)	Paint
D.A.	Disabled Access	PR.	Pair
D.F.	Drinking Fountain	PLYWD.	Plywood
DIA.	Diameter	PL	Property Line
D.S.	Downspout	PLAST	Plaster
DN.	Down	P.T.	Pressure Treated
DIM	Dimension		
DTL(S).	Detail	Q.T.	Quarry Tile
DWG(S).	Drawing		
(EX)	Existing	R	Riser
EA.	Each	REF.	Refer (to)
E/J	Expansion Joint	REQD.	Required
ELEC.	Electrical	REINF.	Reinforcing
EL.	Elevation	R.O.	Rough Opening
ELEV.	Elevator	Rm.	Room
EQ.	Equal		
EQUIP.	Equipment	S.A.C.	Suspended Acoustical Ceiling
E.W.C.	Electric Water Cooler	S.C.	Solid Core
EXT.	Exterior	SQ. FT./SF.	Square Foot
		SIM.	Similar
FAU.	Forced Air Unit	SPEC.	Specifications
FIN.	Finish	STL.	Steel
F.D.	Floor Drain	S.STL.	Stainless Steel
FT.	Feet	STD.	Standard
FDN.	Foundation	STRUCT.	Structural (Engineer)
F.E.	Fire Extinguisher	SUSP.	Suspended
F.E.C.	Fire Extinguisher Cabinet	SHIT.	Sheet
		T	Tread
F.F.	Finish Floor	T.O.B.	Top of Beam - Steel
F.S.	Finish Slab	T.O.C.	Top of Concrete
F.O.C.	Face of Concrete	T.O.S.	Top of Sheathing
F.O.F.	Face of Finish	T.O.SL.	Top of Slab
F.O.M.	Face of Masonry	T.O.W.	Top of Wall
F.O.S.	Face of Stud	T.P.	Top Plate
F.R.	Fire-Retardant	TYP.	Typical
FUR.	Furring	TEMP	Tempered
		THK.	Thick
GA.	Gauge or Gage		
GI.	Galvanized Iron		
GALV.	Galvanized	UL	Underwriters Laboratory
GL.	Glass	U.N.O.	Unless Noted Otherwise
G.C.	General Contractor		
G.W.B.	Gypsum Wall Board	V.C.T.	Vinyl Composition Tile
G.W.B.-M.R.	GWB Moisture Resistant	VERT.	Vertical
G.W.B.-X	GWB Fire Rated "X"	V.W.C.	Vinyl Wall Covering
		VIF	Verify in Field
H.B.	Hose Bib	W	Washer
H.C.	Hollow Core	With	With
HDR.	Header	WI	Wrought Iron
HDWR.	Hardware	W.I.C.	Walk in Closet
H.M.	Hollow Metal	WC	Water Closet
HORZ.	Horizontal	WD	Wood
HT.	Height	WHD	Water Heater
HVAC.	Heating, Ventilation, and Air-conditioning	WH.	Water Heater
		W.R.	Water Resistant
		W.W.F.	Welded Wire Fabric
I.D.	Inside Diameter		
INSUL	Insulation		
INT	Interior		

GREEN BUILDING CODE NOTES

- THE CONSTRUCTION DOCUMENTS SHALL PROVIDE SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE, AND SCOPE OF THE PROPOSED GREEN BUILDING FEATURES. CGBC 102.2
- PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBC TABLE 4.303.3. CGBC 4303.3
- SEAL OPENINGS IN THE BUILDING ENVELOPE IN COMPLIANCE WITH THE CALIFORNIA ENERGY CODE (CEC), AMMLAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. CGBC 4.406.1
- REDUCE CONSTRUCTION WASTE BY RECYCLING OR SALVAGING FOR RE-USE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET THE LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT. CGBC 4.408.1
- CONSTRUCTION WASTE MANAGEMENT PLAN AND DOCUMENTATION DEMONSTRATING COMPLIANCE WITH THE PLAN SHALL BE SUBMITTED THAT:
 - IDENTIFIES THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
 - SPECIFIES IF MATERIALS WILL BE SORTED ON-SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY.
 - IDENTIFIES THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTION WILL BE TAKEN.
 - IDENTIFIES CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.
 - SPECIFIES THAT THE AMOUNT OF MATERIALS
- AN OPERATION AND MAINTENANCE MANUAL WITH CONTENT PER CGBC 4.410.1 AND IN A FORMAT ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. CGBC 4.410.1. REFER TO HCD RESIDENTIAL GUIDE FOR MANUAL FORMAT AND SUGGESTED CONTENT.
- GAS FIREPLACES TO BE DIRECT-VENT SEALED-COMBUSTION TYPE. WOODSTOVES OR PELLET STOVES SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS. CGBC 4.503.1 NOTE: REFERENCE SCAQMD RULE 445.
- ALL DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE PROTECTED DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL START-UP WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST AND DEBRIS WHICH MAY COLLECT IN THE SYSTEM. CGBC 4.504.1
- FINISH MATERIALS SHALL COMPLY WITH CGBC 4.504.2.
- ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR MEET THE REQUIREMENT OF SCAQMD RULE 1168 VOC LIMITS AND PROHIBITION ON THE USE OF CERTAIN TOXIC CHEMICALS, EXCEPT PER SUBSECTION 2. CGBC 4.504.2.1, SUBSECTION 1
- AEROSOL ADHESIVES, SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON THE USE OF CERTAIN TOXIC COMPOUNDS, OF CCR, TITLE 17, COMMENCING WITH SECTION 94507. 4 CGBC.504.2.1, SUBSECTION 2
- VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (ARCHITECTURAL PAINTS) SHALL COMPLY WITH CGBC TABLE 4.504.3.
- AEROSOL PAINTS AND COATINGS SHALL MEET THE REQUIREMENTS OF SECTIONS 94522(A)(3), 94522(C)(2), AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17 COMMENCING WITH SECTION 94520. CGBC 4.504.2.3
- VERIFICATION OF COMPLIANCE WITH FINISH MATERIALS SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTS MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
 - MANUFACTURER'S PRODUCT SPECIFICATION.
 - FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
 - OTHER METHODS APPROVED BY THE LOCAL JURISDICTION.
- CARPETS SHALL MEET ONE OF THE FOLLOWING: 1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM, 2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCs (SPECIFICATION 01350), 3. NSF/ANSI 140 AT THE GOLD LEVEL. 4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD. CGBC 4.504.3
- CARPET CUSHION SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM, CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF CGBC TABLE 4.504.1. CGBC 4.504.3.1, 4.504.3.2
- FOR RESILIENT FLOORING, AT LEAST 50 PERCENT OF THE FLOOR AREA SHALL COMPLY WITH VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM. CGBC 4.504.4
- HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE LIMITS IN CGBC TABLE 4.504.5. CGBC 4.504.5
- DOCUMENTATION SHALL BE PROVIDED TO INDICATE COMPLIANCE WITH CGBC 4.504 AND SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING: PRODUCT CERTIFICATIONS AND SPECIFICATIONS, CHAIN OF CUSTODY CERTIFICATIONS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY. CGBC 4.504.5.1
- CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CCR TITLE 24, PART 2, CHAPTER 19 SHALL ALSO COMPLY WITH THIS SECTION. PROVIDE A CAPILLARY BREAK INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
 - A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE, WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, AND A CONCRETE DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING.
 - OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
 - A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL. CGBC 4.505.2.1
 - REFERENCE ACI 302.
- ADD A NOTE TO PLANS THE BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. CGBC 4.505.3
- MOISTURE CONTENT OF BUILDING MATERIALS, AND VERIFICATION, SHALL MEET THE REQUIREMENTS OF CGBC 4.505.3.
- BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A HUMIDISTAT CAPABLE OF BEING ADJUSTED BETWEEN THE RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT. CGBC 4.505
- COVERS FOR WHOLE HOUSE EXHAUST FANS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2 AND CLOSE WHEN THE FAN IS OFF. CGBC 4.507.

OWNER:
JIANG-LIN
0 MARINE BLVD.
MOSS BEACH, CA

MODULAR MANUFACTURER
CUTTING EDGE HOMES
270 E DOUGLAS AVE.
EL CAJON, CA 92020
310-867-3993

Sheet List	
Sheet Name	Sheet Number
Title Sheet	A0
Site Plan	A1
Floor Plans	A2
Roof Plan	A3
Elevations	A4
Elevations	A4.1
Building Section	A5
3D View	A6
Window Schedule	A7

SCOPE:

- NEW CONSTRUCTION FOR MODULAR HOME

PROJECT DATA:

BUILDING(S) OCCUPANCY: R-1

ZONE: R1/S17/DR

CONSTRUCT TYPE: V-B

STORIES: 2

SQUARE FOOTAGE BREAKDOWN	
Name	Area
PROPOSED FIRST FLOOR	626 SF
PROPOSED SECOND FLOOR	713 SF
SITE BUILT DECK	109 SF
SITE BUILT GARAGE	485 SF
SITE BUILT PORCH	24 SF
SITE BUILT DECK	222 SF

PARCEL COVERAGE

1136 (HOUSE + GARAGE) / 3800 (LOT SIZE) X 100 = 30%

PARCEL COVERAGE = BUILDINGS, ACCESSORY BUILDING, OR STRUCTURES SUCH AS PATIOS DECKS, BALCONIES & OTHER SIMILAR OVER 18" ABOVE GROUND

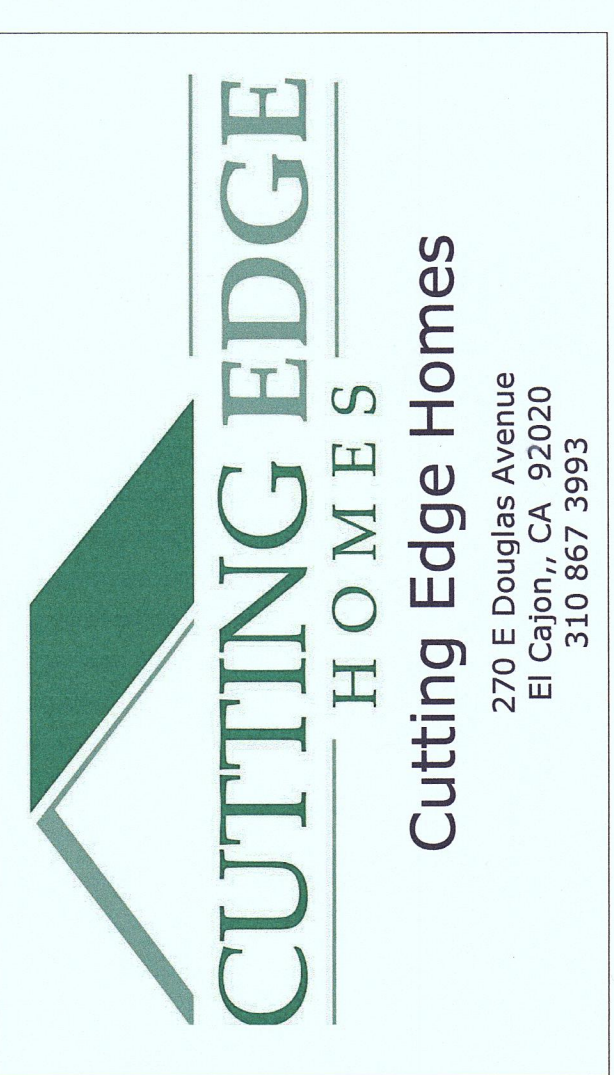
BUILDING FLOOR AREA

HOUSE 1ST FLR (626 SF) + HOUSE 2ND FLR (713 SF) + SITE BUILT GARAGE (485 SF) =

1824 SF / 3800 = 0.428 (MAX 0.48)



PLN2016-00429



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LIN & JIANG
RESIDENCE
0 MARINE BLVD.
MOSS BEACH, CA 94038

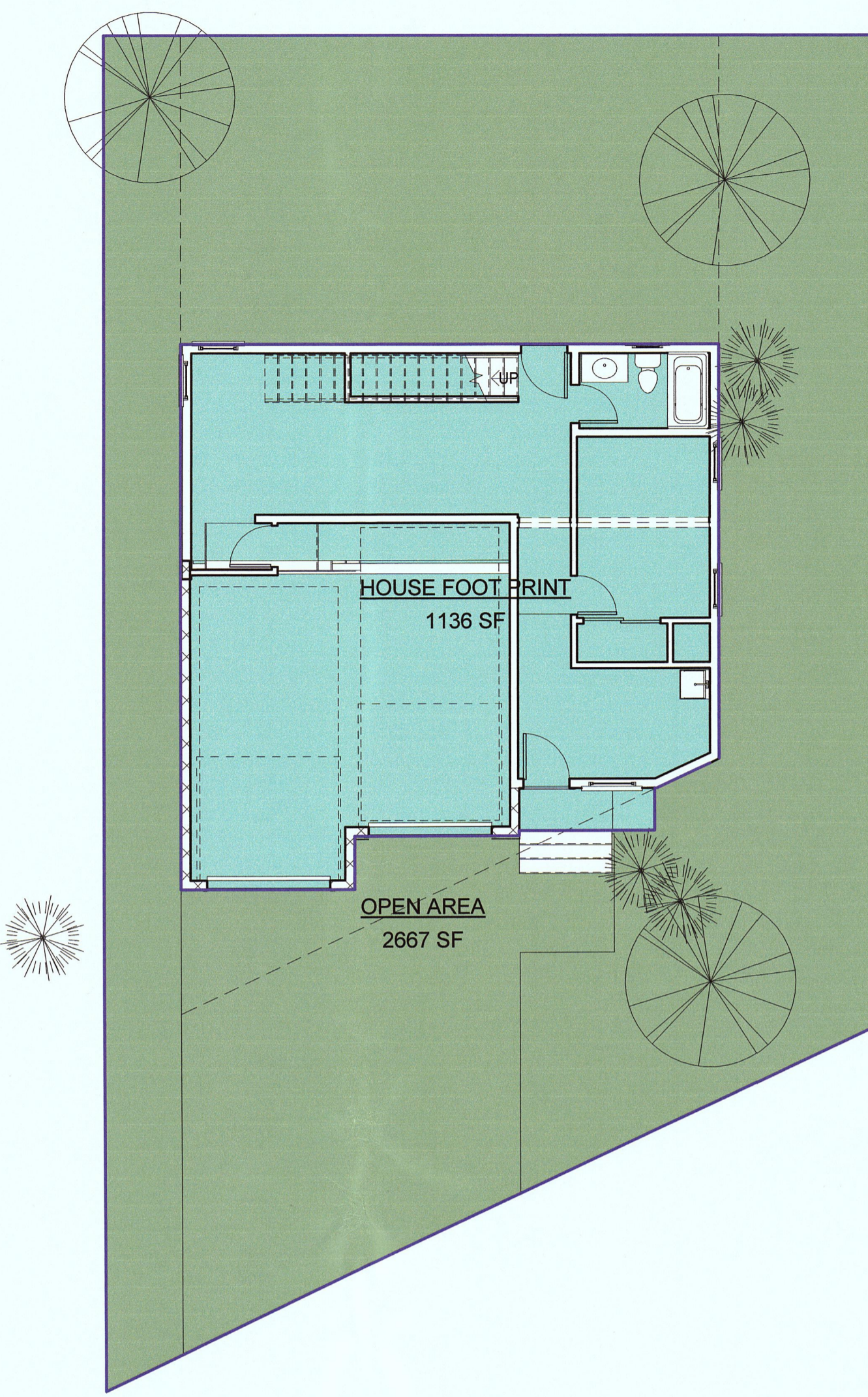
No.	Description	Date
A	PRELIMINARY DESIGN	2015.09.16
B	REVISED DRAWINGS	2015.10.03
C	PLANNING SUBMITTAL	2015.12.31
D	PLANNING CHANGES	2016.05.23
E	PLANNING CHANGES	2016.12.27

LIN & JIANG
RESIDENCE
2 STORY HOME
Title Sheet

Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

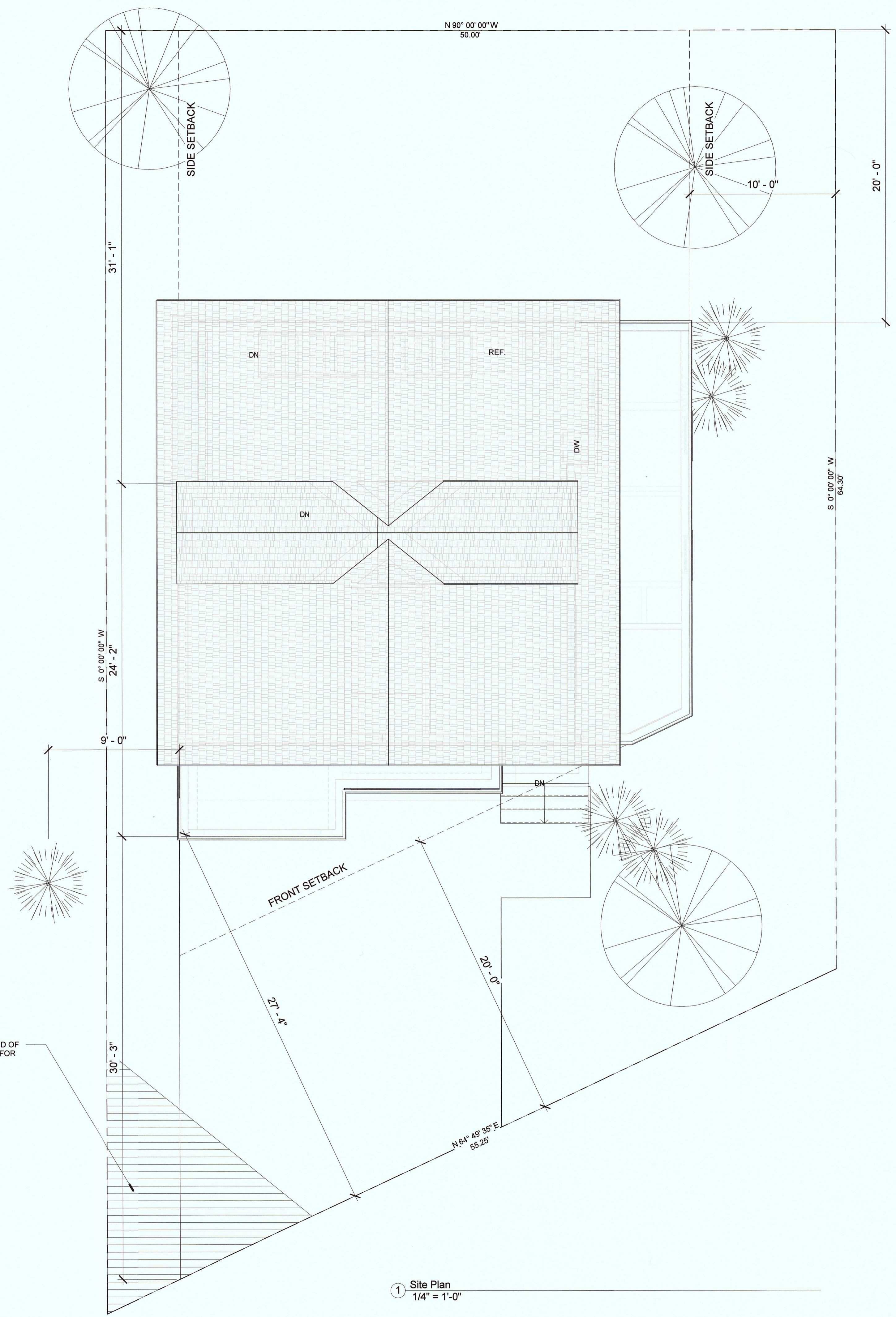
A0

Scale



② GRADE
1/8" = 1'-0"

Area Schedule	
Name	Area
HOUSE FOOT PRINT	1136 SF
OPEN AREA	2667 SF
	3803 SF



① Site Plan
1/4" = 1'-0"

VISION TRIANGLE CLEARED OF TREES AND VEGETATION FOR LINE OF SITE



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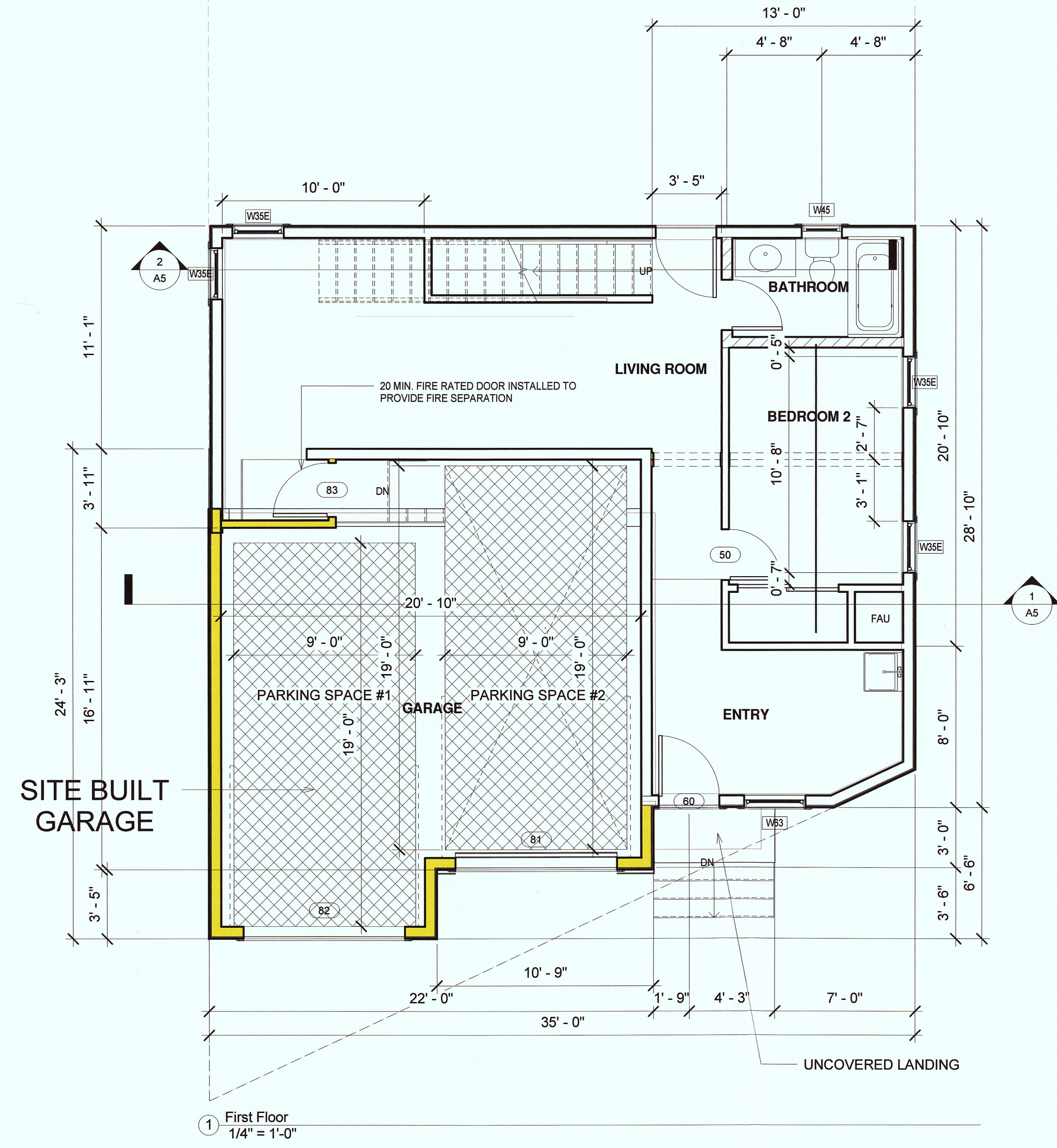
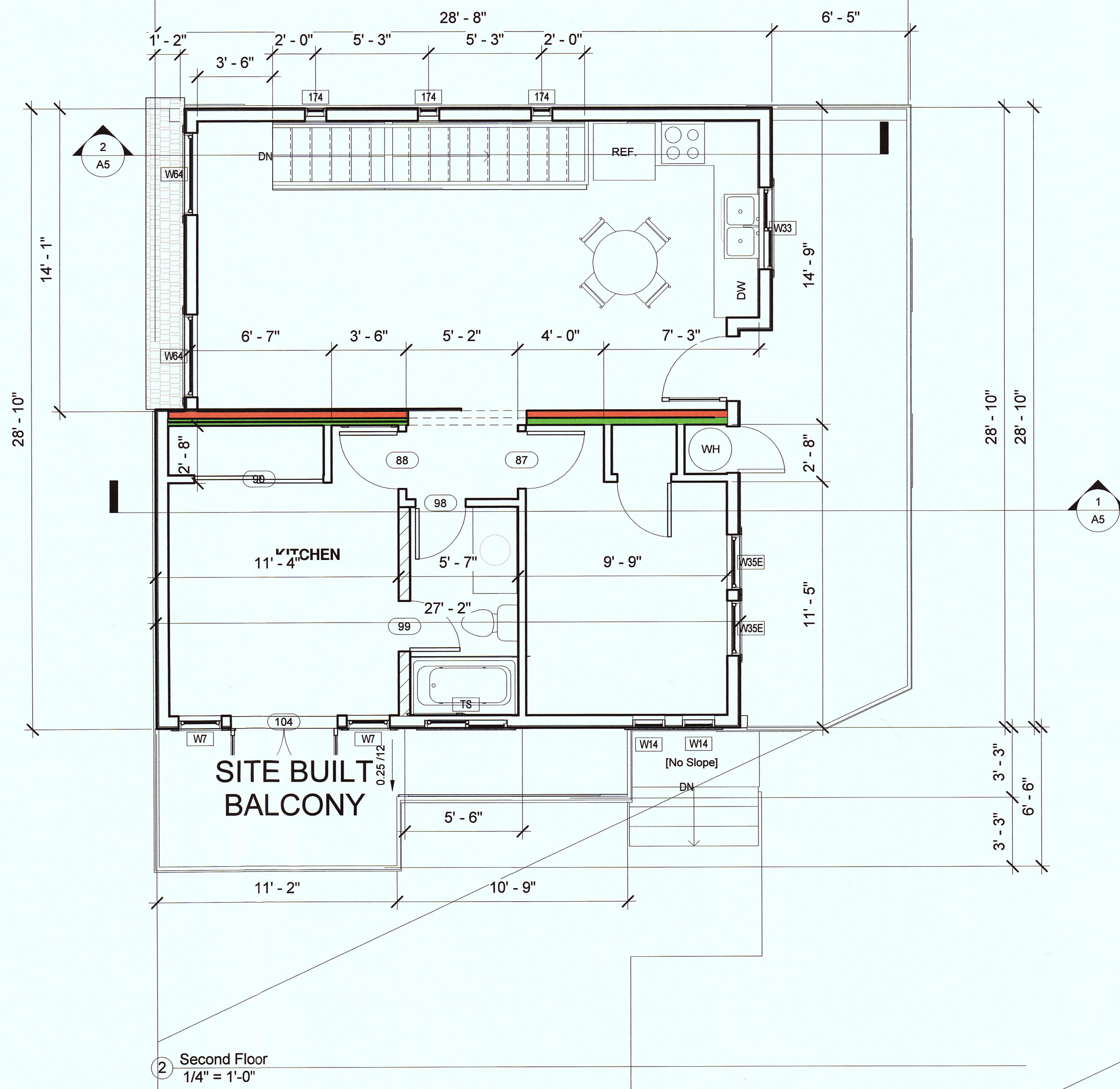
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**LIN & JIANG
RESIDENCE
2 STORY HOME
Site Plan**

Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

A1

Scale As indicated



WALL LEGEND

	STANDARD 2 X 6 EXTERIOR WALL
	SITE BUILT 2 X 6 WALL
	INTERIOR 2 X 6 PLUMBING WALL
	STRUCTURAL INTERIOR WALL
	NON STRUCTURAL INTERIOR WALL
	HALF WALL INTERIOR
	RAILING



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RESIDENCE
0 MARINE BLVD.
MOSS BEACH, CA 94038**

No.	Description	Date
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C	PLANNING SUBMITTAL	2015.12.31
D	PLANNING CHANGES	2016.05.23
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**LIN & JIANG
RESIDENCE
2 STORY HOME
Floor Plans**

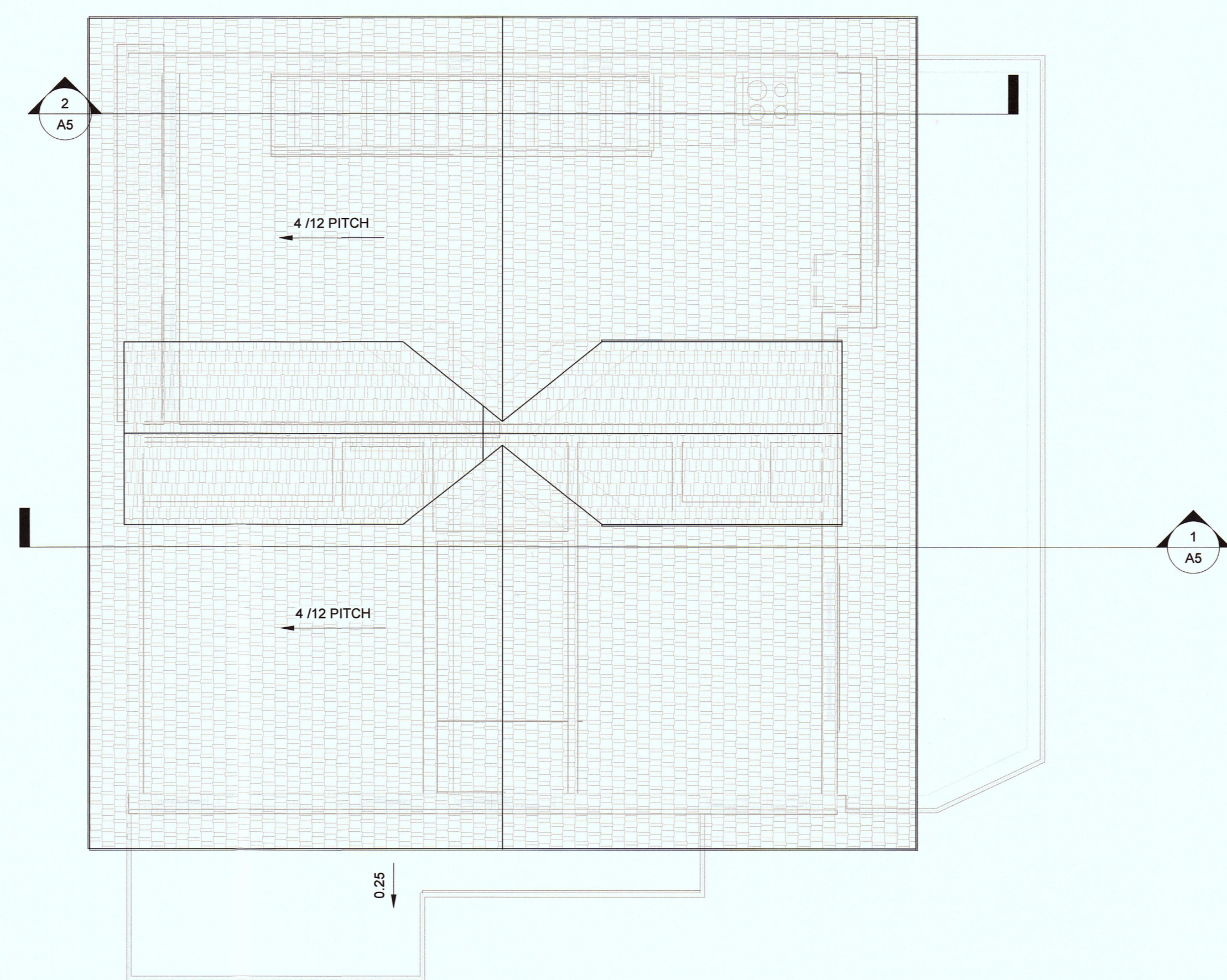
Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

A2
Scale 1/4" = 1'-0"



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MOSS BEACH, CA 94038**



① Roof Plan
1/4" = 1'-0"

No.	Description	Date
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**LIN & JIANG
RESIDENCE
2 STORY HOME
Roof Plan**

Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

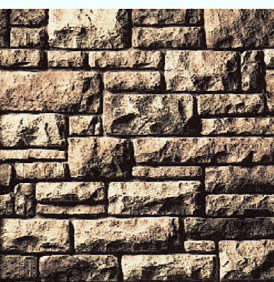
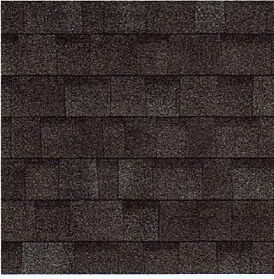
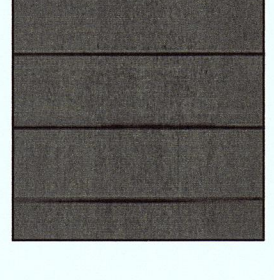

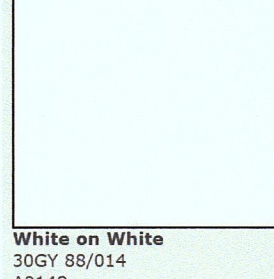

A3

Scale 1/4" = 1'-0"



① North
1/4" = 1'-0"

Materials Legend

-  STONE - LIMESTONE RUSTIC (OR SIMILAR)
-  30 YEAR COMP SHINGLE BY OWENS CORNING
TYPE: DRIFTWOOD
-  FIBER CEMENT HORIZONTAL WALL SIDING
COLOR: EUCALYPTUS TREE
-  FIBER CEMENT BOARD & BATTEN
COLOR: EUCALYPTUS TREE
-  WINDOW TRIM : 5/4
FASCIA BOARD: 7.5" MIN.
COLOR: WHITE ON WHITE
-  SHINGLES AT GABLES
COLOR: WHITE SHAKE

PLANNING REQUIREMENTS:
 MAX HEIGHT: 28'-0"
 MAX PARCEL COVERAGE: 16'-0" + 35%



② South
1/4" = 1'-0"



Cutting Edge Homes
 270 E Douglas Avenue
 El Cajon, CA 92020
 310 867 3993

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**LIN & JIANG
 RESIDENCE**
 0 MARINE BLVD.
 MOSS BEACH, CA 94038

No.	Description	Date
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B	REVISED DRAWINGS	2015.10.03
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E	PLANNING CHANGES	2016.12.27


**LIN & JIANG
 RESIDENCE**
 2 STORY HOME
 Elevations

Project number	15-1715
Date	2015-09-16
Drawn by	E.D.S
Checked by	C.F

A4

Scale 1/4" = 1'-0"

Materials Legend

-  STONE - LIMESTONE RUSTIC (OR SIMILAR)
-  30 YEAR COMP SHINGLE BY OWENS CORNING
TYPE: DRIFTWOOD
-  FIBER CEMENT HORIZONTAL WALL SIDING
COLOR: EUCALYPTUS TREE
-  FIBER CEMENT BOARD & BATTEN
COLOR: EUCALYPTUS TREE
-  WINDOW TRIM : 5/4
FASCIA BOARD: 7.5" MIN.
COLOR: WHITE ON WHITE
-  SHINGLES AT GABLES
COLOR: WHITE SHAKE



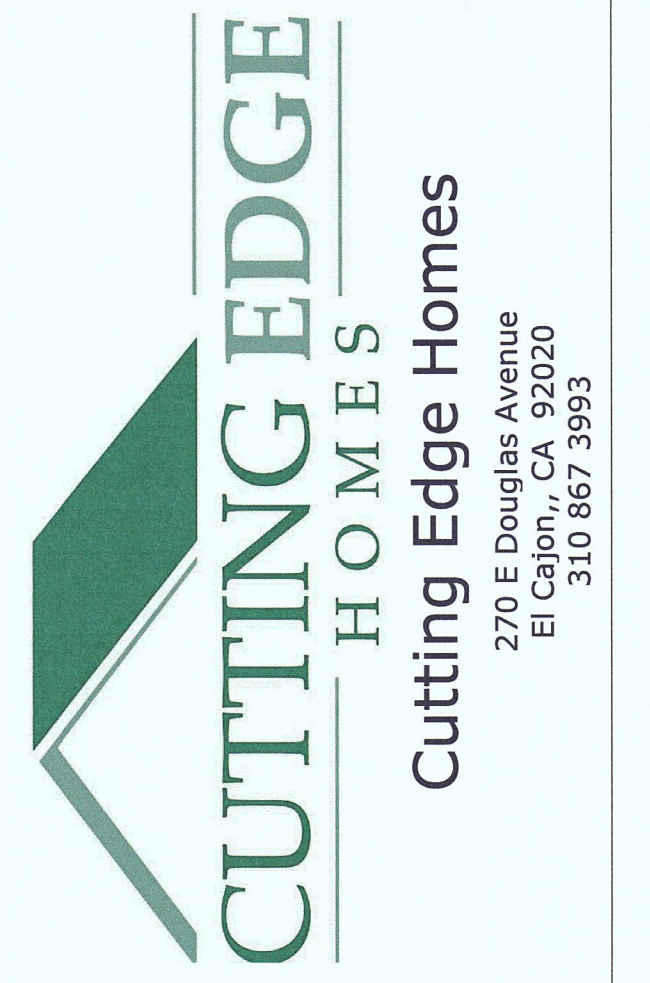
- T.O. Roof 2
27' - 1 1/2"
- Roof
20' - 5"
- Second Floor
12' - 5"
- T.O.P. 1ST
10' - 5"
- First Floor
1' - 5"
- GRADE
0' - 0"

① East
1/4" = 1'-0"



- T.O. Roof 2
27' - 1 1/2"
- Roof
20' - 5"
- Second Floor
12' - 5"
- T.O.P. 1ST
10' - 5"
- First Floor
1' - 5"
- GRADE
0' - 0"

② West
1/4" = 1'-0"



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MOSS BEACH, CA 94038**

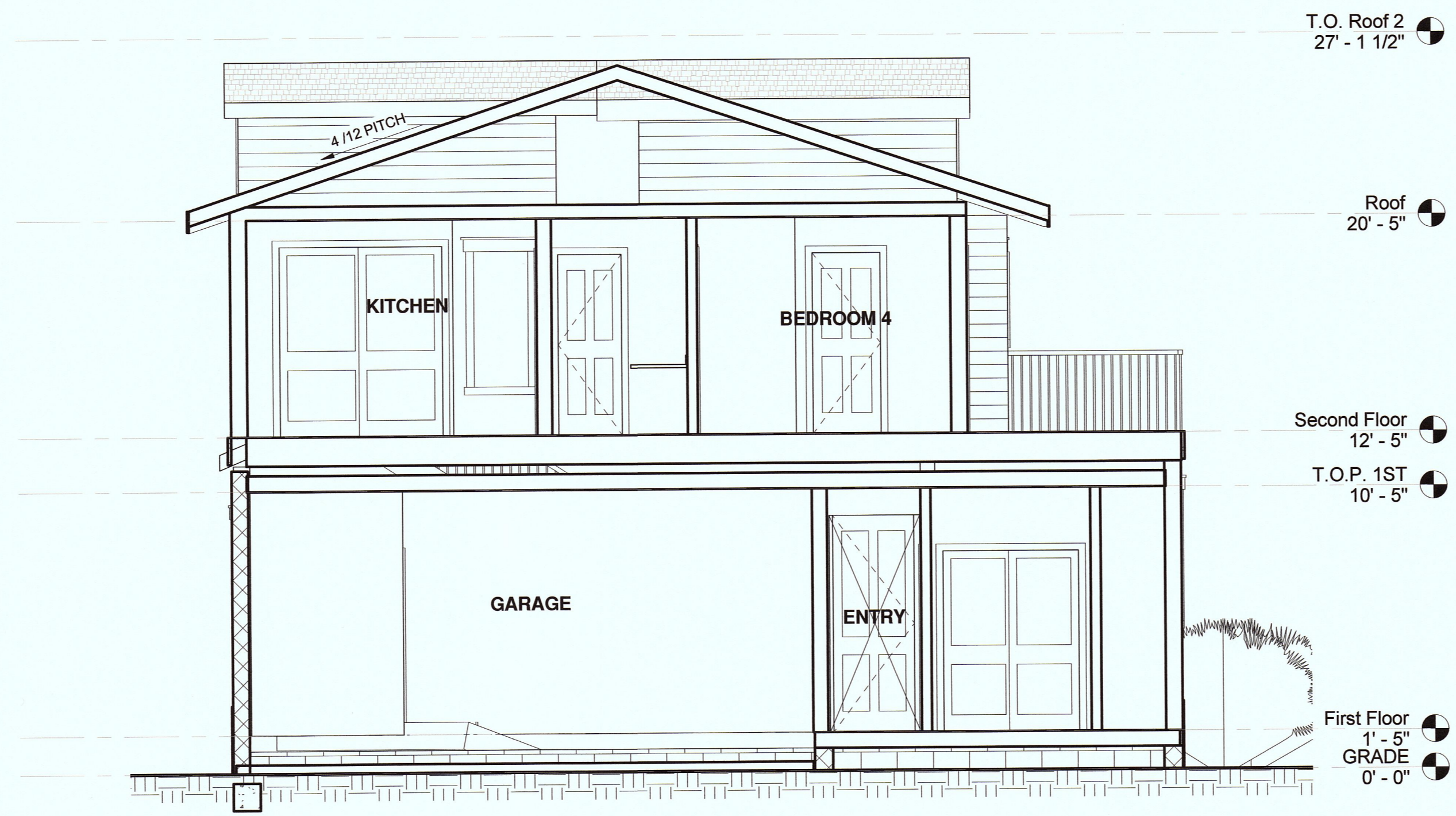
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**LIN & JIANG
RESIDENCE
2 STORY HOME
Elevations**

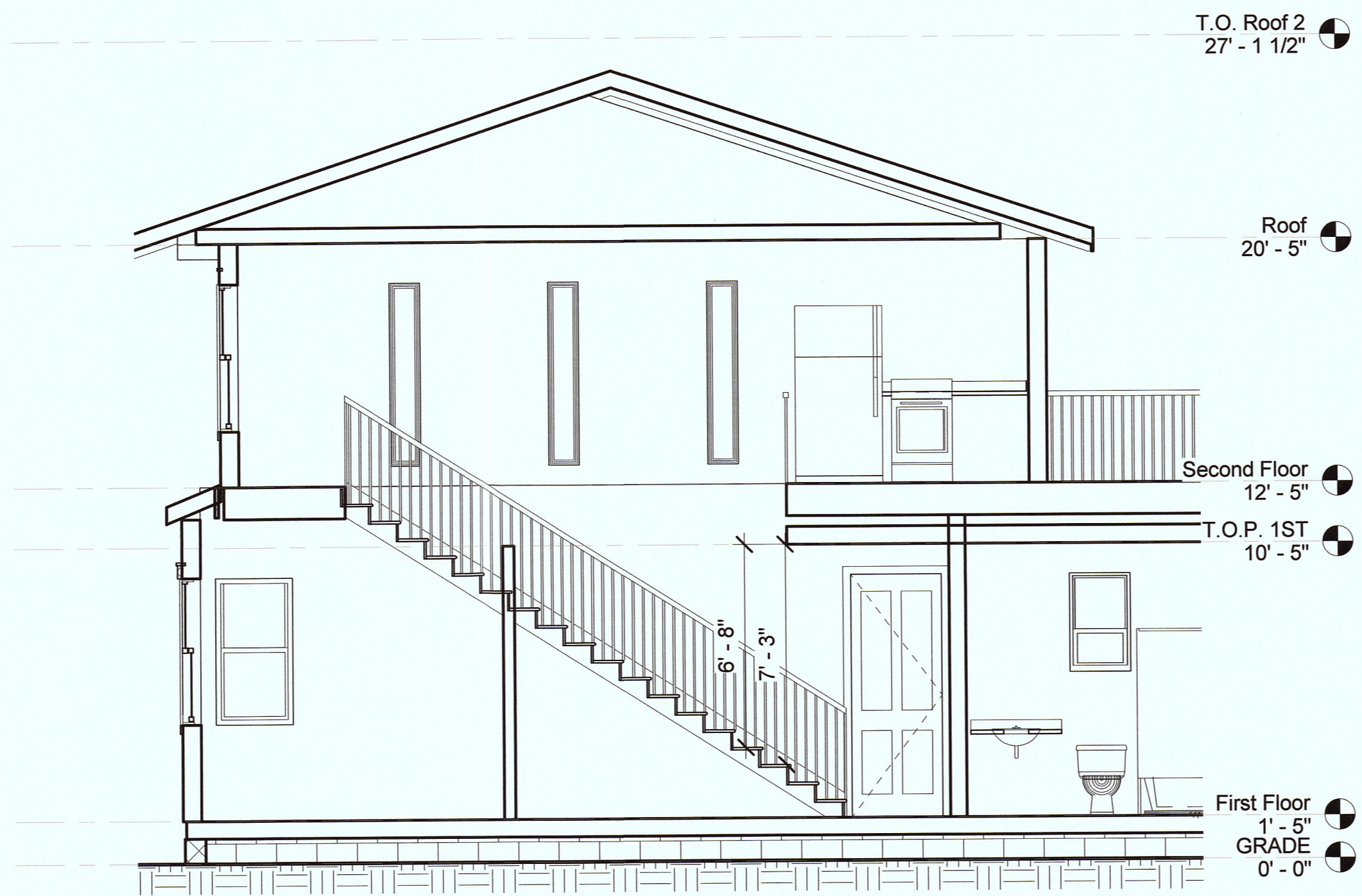
Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

A4.1

Scale 1/4" = 1'-0"



① Section 1
1/4" = 1'-0"



② Section 2
1/4" = 1'-0"



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MOSS BEACH, CA 94038

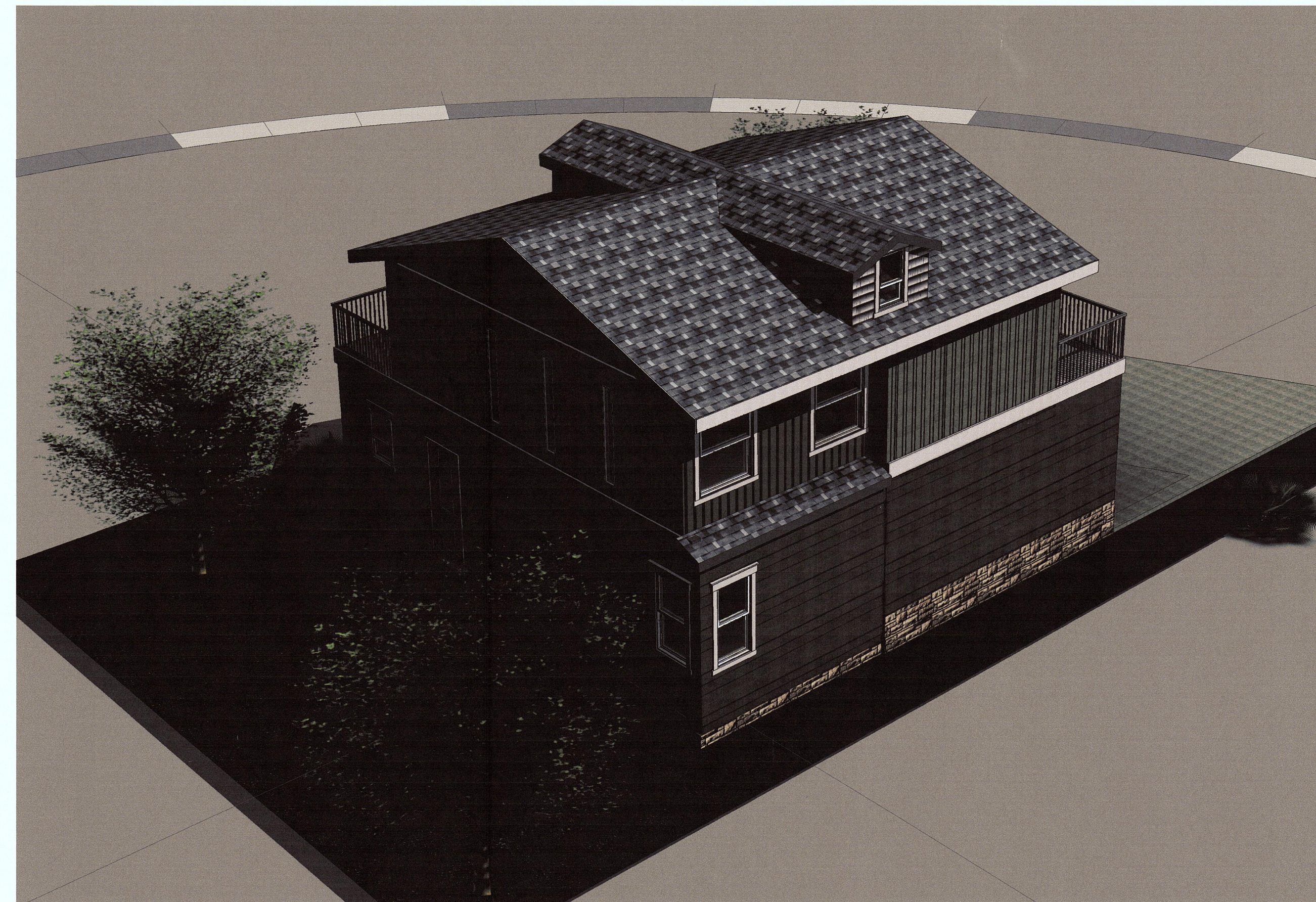
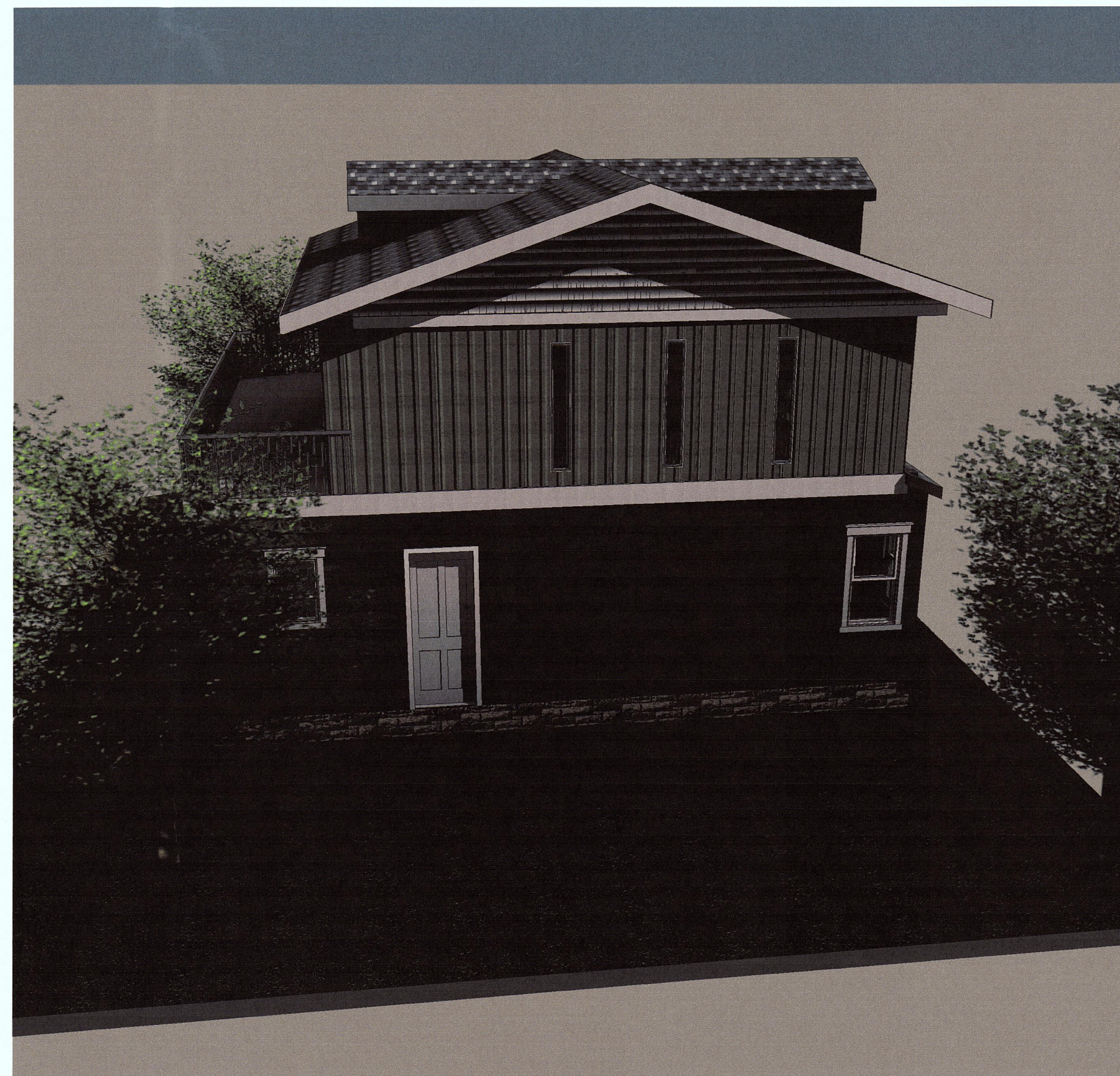
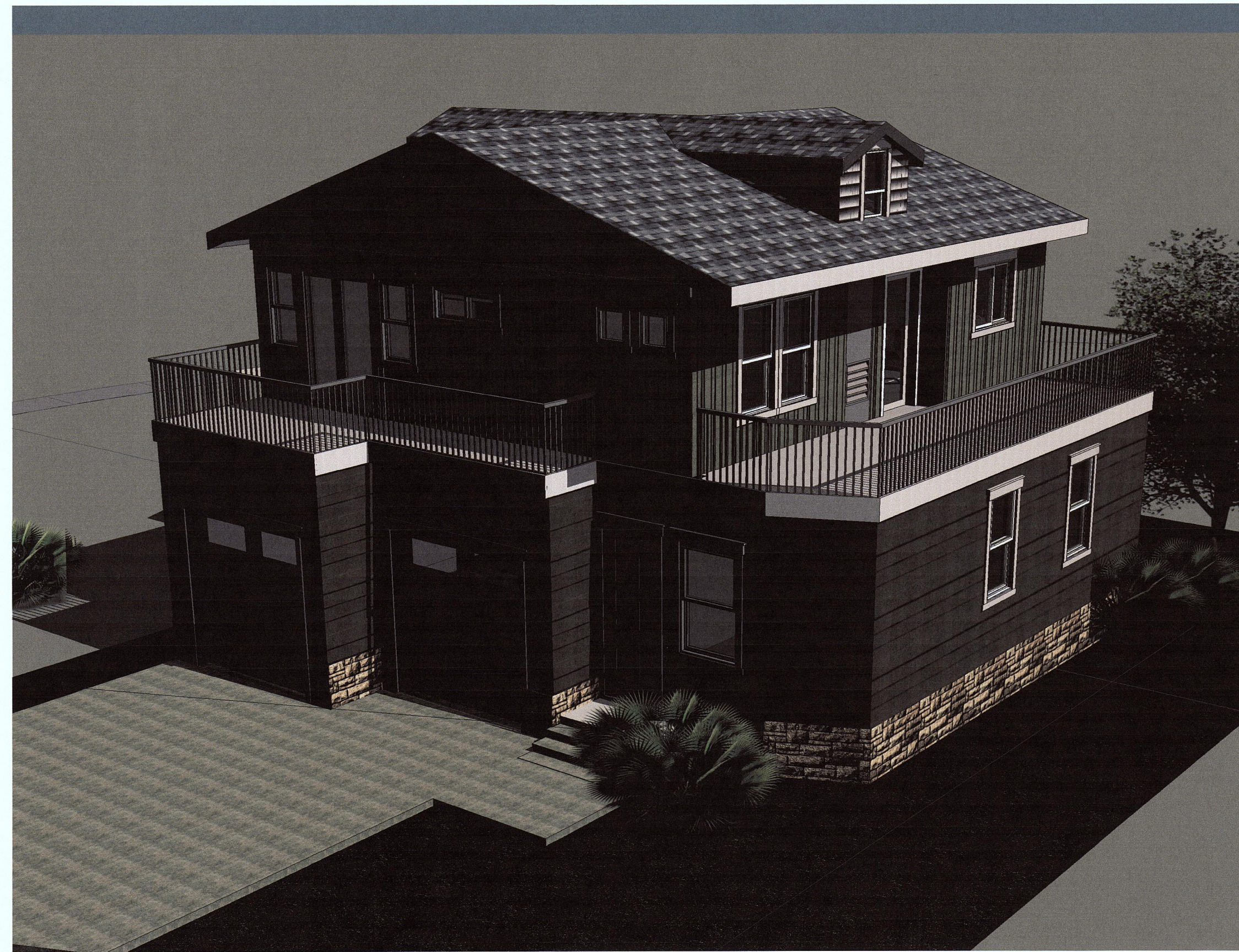
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**LIN & JIANG
RESIDENCE**
2 STORY HOME
Building Section

Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

A5

Scale 1/4" = 1'-0"



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 El Cajon, CA 92020
 310 867 3993

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 0 MARINE BLVD.
 MOSS BEACH, CA 94038**

No.	Description	Date
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B	REVISED DRAWINGS	2015.10.03
C	PLANNING SUBMITTAL	2015.12.31
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**LIN & JIANG
 RESIDENCE
 2 STORY HOME
 3D View**

Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

A6

Scale

Revised:

4/23/2016

WINDOW NUMBER	CALL OUT	ROUGH OPENING	DESCRIPTION	SQ. FT. LIGHT	SQ. FT. VENT	SQ. FT. R.O.	SQ. FT. LT. AREA	SQ. FT. VT. AREA
W-5	40 x 38 H	40 1/2 x 38 1/2	H.S.	8.01	4.33	10.83	100.13	108.25
W-8	96 x 39 H	96 1/2 x 40	H.S. XOX	21.26	11.19	26.81	265.75	279.75
W-9E	96 x 58 H	96 1/2 x 59	H.S. XOX	31.85	16.18	39.54	398.13	404.50
W-10E	78 x 58 H	78 1/2 x 59	H.S. XOX	26.01	15.37	32.16	325.13	384.25
W-12	46 x 10 H	46 1/2 x 10 1/4	H.S.	1.57	1.25	3.23	19.63	31.25
W-16	24 x 27 H	24 1/2 x 27 1/4	H.S. OBS	2.83	1.61	4.63	35.38	40.25
W-17	46 x 48 H OBS	46 1/2 x 48 1/4	H.S. (SAFETY) OBS	12.12	6.46	15.54	151.50	161.50
W-19	46 x 48 H	46 1/2 x 48 1/4	H.S. (SAFETY)	12.12	6.46	15.54	151.50	161.50
W-20	24 x 80 V	24 1/2 x 80 1/2	PARTIAL FIXED 1/4 VENT	10.17	3.98	13.70	127.13	99.50
W-21E	36 x 80 V (mulled)	36 1/2 x 80 1/2	PARTIAL FIXED 1/4 VENT	16.10	6.19	20.40	201.25	154.75
W-22E	46 x 80 V (mulled)	46 1/2 x 80 1/2	PARTIAL FIXED 1/4 VENT	21.04	8.04	25.99	263.00	201.00
W-24	46 x 52 VS	46 1/2 x 52 1/2	PARTL FIXED 1/4 VENT(SAFETY)	12.91	3.42	16.95	161.375	85.5
W-25	36 x 52 V	36 1/2 x 52 1/2	PARTIAL FIXED 1/4 VENT	9.9	2.63	13.31	123.75	65.75
W-28E	30 x 80 V (mulled)	30 1/2 x 80 1/2	V.S. 1/2 VENT	13.14	5.11	17.05	164.25	127.75
W-32E	46 x 39 H	46 1/2 x 40	H.S.	9.82	5.27	12.92	122.75	131.75
W-33	46 x 39 H OBS	46 1/2 x 40	H.S. (SAFETY) OBS	9.82	5.27	12.92	122.75	131.75
W-34	46 x 39 H	46 1/2 x 40	H.S. (SAFETY)	9.82	5.27	12.92	122.75	131.75
W-35E	30 x 58 V	30 1/2 x 59	V.S. 1/2 VENT	9.48	5.08	12.5	118.5	127
W-36	46 x 39 P OBS	46 1/2 x 40	P.W. (SAFETY)	9.82	5.27	12.92	122.75	131.75
W-37		24 1/2 x 58 7/8	V.S.	7.31	3.98	10.01	91.375	99.5
W-38		14 1/2 x 58 7/8	V.S.	3.7	2.13	5.93	46.25	53.25
W-45	24 x 39 V	24 1/2 x 40	V.S.	4.65	2.41	6.8	58.125	60.25
W-47		21 1/2 x 59	V.S.	6.23	3.42	8.81	77.875	85.5
W-60		54 1/2 x 27 1/4	H.S.	7.65	4.08	10.31	95.625	102
W-61		30 1/2 x 27 1/4	H.S.	3.81	2.07	5.77	47.625	51.75
W-63E	36 x 58 V	36 1/2 x 59	V.S. 1/2 VENT	11.65	6.19	14.95	145.625	154.75
W-64E	46 x 58 V	46 1/2 x 59	V.S. 1/2 VENT	15.27	8.04	19.05	190.875	201
W-72	30 x 39 V	30 1/2 x 40	V.S. 1/2 VENT	6.03	3.08	8.47	75.38	77.00
W-73	30 x 36 V	30 1/2 x 36 1/4	V.S. 1/2 VENT	5.37	2.73	7.60	67.13	68.25
W-75	24 x 54 VS	24 1/2 x 54 1/2	V.S. VENT (SAFETY)	6.60	3.32	9.27	82.50	83.00
W-76	14 x 39 VO	14 1/2 x 40	V.S. VENT OBS	2.35	1.29	4.02	29.38	32.25
W-79	24 x 54 V	24 1/2 x 54 1/2	V.S. VENT OBS (SAFETY)	6.60	3.32	9.27	82.50	83.00
W-91	30 x 27 V	30 1/2 x 27 1/4	V.S. 1/2 VENT	3.73	2.06	5.77	46.625	51.5

OPENABLE WINDOWS

CuttingEdgeHomes.Net

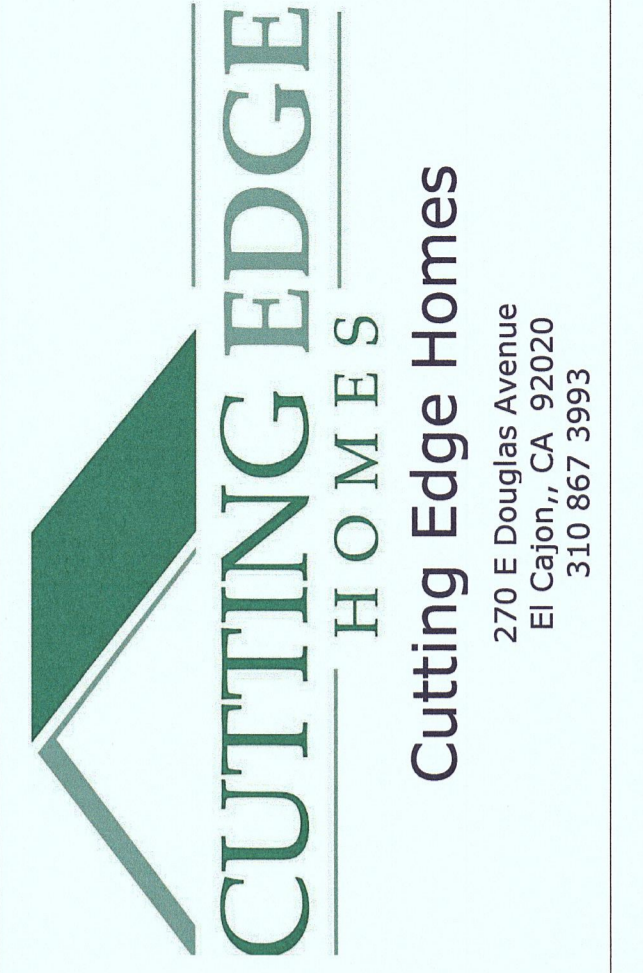
Revised:

4/23/2016

WINDOW NUMBER	CALL OUT	ROUGH OPENING	DESCRIPTION	SQ. FT. LIGHT	SQ. FT. VENT	SQ. FT. R.O.	SQ. FT. LT. AREA	SQ. FT. VT. AREA
W-13	46 x 10 P	46 1/2 x 10 1/4	FIXED	2.23	0	3.23	27.875	0
W-14*	18 x 18 BLOCK	17 5/8 x 17 5/8	18" SQUARE ACRILIC BLOCK	1.77	0	2.16	22.125	0
W-15*	48 x 48 BLOCK	48 1/4 x 48 1/4	48" SQUARE ACRILIC BLOCK	14.69	0	16.17	183.625	0
W-23	36 x 10 P	36 1/2 x 10 1/4	FIXED	1.72	0	2.53	21.5	0
W-26	12 x 72 P	12 1/2 x 72 1/4	FIXED (SAFETY)	4.64	0	6	58	0
W-29	72 x 12 P	72 x 12 1/4	FIXED	4.5	0	6.13	56.25	0
W-30	75 x 12 P	75 x 12 1/4	FIXED	4.71	0	6.38	58.875	0
W-31	PRISM	62 1/2 x 15 x 26 1/2 x 15	FIXED PENTAGON	4.7	0	4.76	58.75	0
W-46	30x12 P	30 1/2 x 12 1/2	FIXED	1.89	0	2.65	23.625	0
W-48	36 x 25 P	36 1/2 x 25	FIXED	5.17	0	6.33	64.625	0
W-49	30 x 25 P	30 1/2 x 25	FIXED	4.24	0	5.3	53	0
W-50	46 x 25 P	46 1/2 x 25	FIXED	6.7	0	8.07	83.75	0
W-57		28 x 4 1/2 x 23 1/2	FW TRAP	1.9	0	2.7	23.75	0
W-58		28 x 23 1/2 x 4 1/2	FW TRAP	1.9	0	6.2	23.75	0
W-59		28 x 27 1/4 x 36 1/2 x 27 1/4	FIXED PENTAGON	5.1	0	2.7	63.75	0
W-89	24 x 14 P	24 1/2 x 14 1/4	FIXED	1.71	0	2.42	21.375	0
W-90	36 x 14 P	36 1/2 x 14 1/4	FIXED	2.66	0	4.6	33.25	0
W-92	73 x 14 P	73 1/4 x 14 1/4	FIXED	5.56	0	7.25	69.5	0

FIXED WINDOWS

CuttingEdgeHomes.Net



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**LIN & JIANG
RESIDENCE
0 MARINE BLVD.
MOSS BEACH, CA 94038**

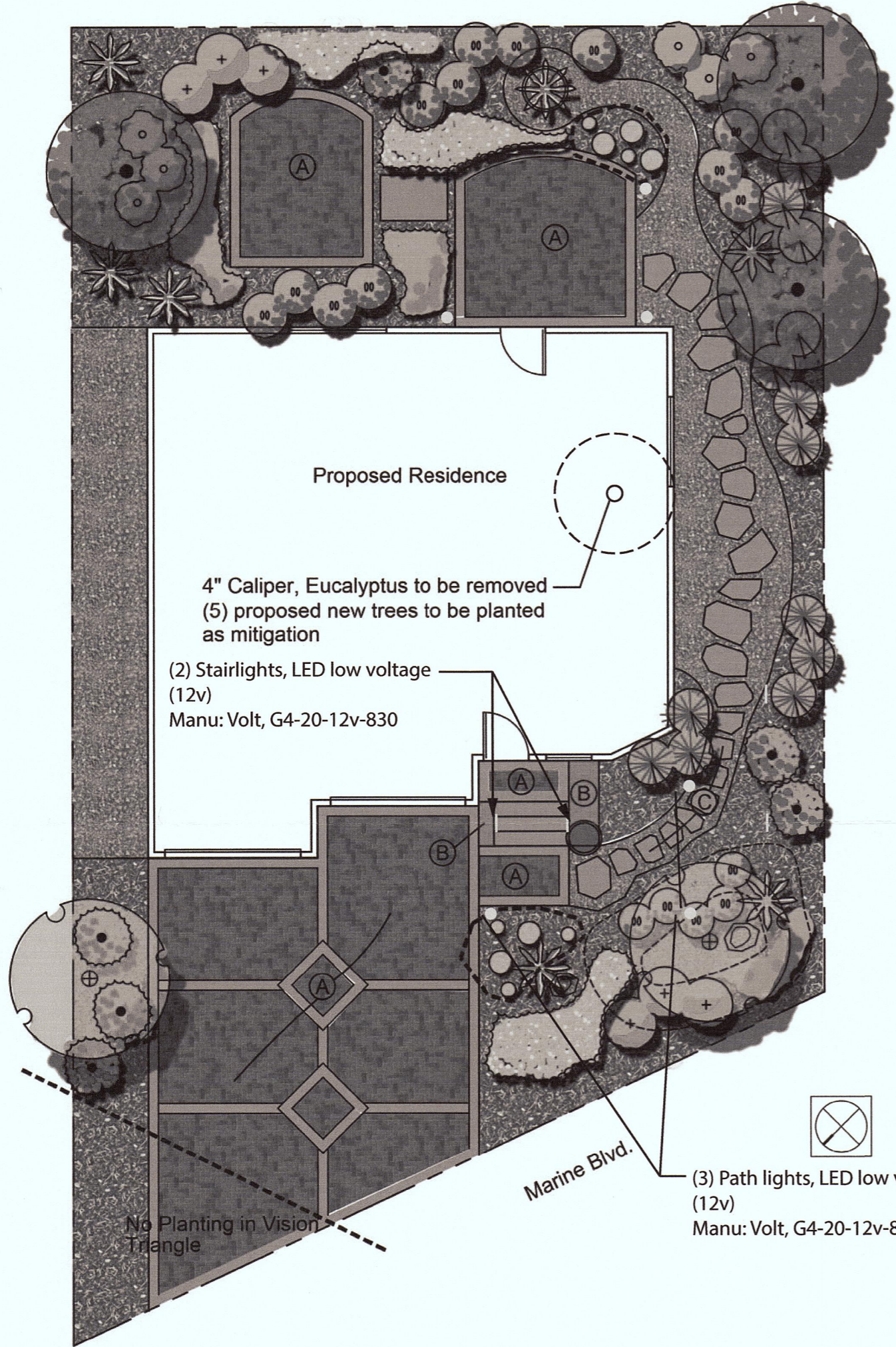
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**LIN & JIANG
RESIDENCE
2 STORY HOME
Window Schedule**

Project number	15-1715
Date	2015-09-16
Drawn by	Author
Checked by	Checker

A7

Scale

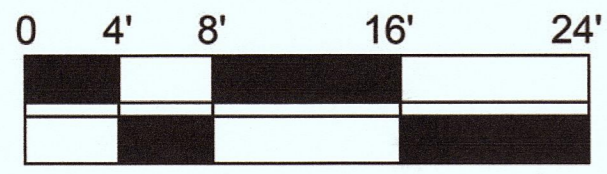


Planting Legend		Qty	Size	WUCOLS Plant Factor
Sym.	Bot. Name/Common Name			
	Arbutus unedo Strawberry Tree	3	24" b.	L (.3)
	Chitalpa tashkentensis Chitalpa	2	24" b.	L (.3)
	Agave a. "Variegata" Variegated Century Plant	6	15 g.	VL (.1)
	Anigozanthos "Big Red" Red Kangaroo Paw	17	5 g.	L (.3)
	Echium candicans Pride of Madeira	6	15 g.	L (.3)
	Lavendula augustifolia English Lavender	6	5 g.	L (.3)
	Muhlenbergia rigens Deer Grass	14	5 g.	L (.3)
	Salvia greggii Red Sage	6	5 g.	L (.3)
	Lantana montevidensis Trailing Lantana	34	1 g. 67 S.F. 18" O.C.	L(.3)
	Myoporum parvifolium Myoporum	34	1 g. 67 S.F. 18" O.C.	L(.3)
	Succulents Aeonium "Jolly Green" Echeveria secunda Echeveria agavoides Crassula spp.			VL(.1)
	3" Layer Bark Mulch			
	3" Layer Decomposed Granite			

- General Notes**
- Total Landscape Square Footage - 1,776 s.f.
Hardscape = 914 s.f.
* Less than 2,500 s.f., Exempt from Water Efficient Landscape Worksheet
 - All landscaped areas shall receive compost at a rate of four(4) cubic yards per 1,000 s.f. to a minimum depth of 6". *Unless otherwise specified from agronomic soils report.
 - There is no purposed turf for this project.
 - Irrigation controller shall use ET data or soil moisture data as a base program. A rain sensor shall also be installed. Controller shall not lose programming information in case of power outage.
 - All irrigation systems shall be drip (low flow) irrigation.
 - All plant material is a WUCOLS plant factor of .3 or less.

Construction Legend

A	Interlocking pavers
B	Stone Veneer Walls
C	Flagstone Sep Stones



Scale: 1/8"=1'-0"

PLN2016-00429

San Mateo County
 Planning and Building Department
 MAY 08 2017
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PRODUCT SPECIFICATIONS
VOLT
 Model # _____ Prepared By _____
VOLT® Low Voltage Landscape Lighting
Max Spread, Path & Area Lights - 330 Series

Product Description
 The Max Spread Path & Area Light is a high-quality outdoor light that lives up to its name. Featuring a tall stem and large flat hat, the luminaire projects an extra-wide beam of illumination with a diameter of about 16 ft. This allows you to use fewer lights to illuminate a path or garden area.
 Two models are available - one constructed of solid brass, the other of copper. Corrosion-resistant internal components and an easy-to-change bulb socket-and-enclosure ensure years of optimal performance - carries a lifetime warranty.

Product Dimensions

Specifications

- Construction: Cast Brass or Cast Copper
- Finish: Bronze, Raw Copper
- Load Wire: 48" (standard) or 25" (optional) 16AWG, SPT-2
- Mounting: 10" Hammer Stake with cutout for wire exit
- Glass or Lens: Clear Protective Glass Globe
- Light Source (not included): Bi-Pin (LED or Halogen)
- Maximum Lamp Rating: 20W
- Operating Voltage: 12V AC
- Shipping Weight: 2 lbs
- Powered by: VOLT's Low Voltage Transformer

Warranty
Lifetime Warranty

Certifications
UL LISTED File #E646348

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 www.voltlighting.com

PRODUCT SPECIFICATIONS
VOLT
 Model # _____ Prepared By _____
VOLT® Low Voltage Landscape Lighting
Deck Light - 600 Series

Product Description
 The Deck Light is a high quality low voltage outdoor lighting deck fixture from VOLT. Featuring easy access faceplate, no tools are required. Rotate the faceplate into a lock position onto an o-ring gasket. Sealed solid brass fixture means it's perfect for post lighting on piers or docks as well as decking and other handiwork. Professional quality internal components make for a fixture that will last a long time, even through harsh outdoor elements.

Product Dimensions

Specifications

- Construction: Cast Brass
- Finish: Bronze or White Powder Coat
- Load Wire: 48" (standard) or 25" (optional) 16AWG, SPT-2 premium tinned copper
- Mounting: Two Lock Screws
- Glass or Lens: Frosted Glass
- Light Source (not included): Bi-pin (LED or Halogen)
- Maximum Lamp Rating: 20W
- Operating Voltage: 12V AC
- Shipping Weight: 1 lb
- Powered by: VOLT's Low Voltage Transformer

Warranty
Lifetime Warranty

Certifications
UL LISTED File #E646348

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 www.voltlighting.com



All proposed fixtures are fully shielded and "Dark Sky" approved.



VICINITY MAP

Lin-Jiang Residence
 0 Marine Boulevard, Moss Beach CA

Date: 4/5/2017 Scale: 1/8"=1'-0"

Landscape Planting Plan
 Sheet 1 of 2

DOG design
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 Oakland, CA 94561
 (925)852.1373
 Ca License: #972938