

# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

PLN: 2016-00317  
BLD: \_\_\_\_\_

### Applicant/Owner Information

Applicant: MARK REILLY, MARK REILLY ARCHITECTURE  
Mailing Address: 163 PARK ST  
SAN FRANCISCO, CA Zip: 94110  
Phone, W: 415-309-0107 H: -  
E-mail Address: MARK@MARKREILLYARCHITECTURE.COM FAX: -

Name of Owner (1): JULIA PAIGE & DAN SPANGLER Name of Owner (2): -  
Mailing Address: 146 LA GRANDE AVE Mailing Address: RECEIVED  
MOSS BEACH, CA Zip: 94038 AVG 01 2016  
Phone, W: - Phone, W: San Mateo County  
H: 323-496-9669 H: Planning and Building Department  
E-mail Address: JPAIGE@GOOGLE.COM E-mail Address: \_\_\_\_\_

### Project Information

Project Location (address): 146 LA GRANDE AVE Assessor's Parcel Numbers: 037-258-~~260~~  
MOSS BEACH, CA 94038  
Zoning: R-1/S-17/DR/GH/CD Parcel/lot size: 10,548 SF (Square Feet)

List all elements of proposed project (e.g. access, size and location, primary and accessory structures, well, septic, tank)  
SITE IS A 10,548 SQ FT CORNER LOT, ACCESSED BY LA GRANDE AVE AND SAN RAMON AVE IN MOSS BEACH. THE PROPOSED PROJECT WILL DEMOLISH THE EXISTING STRUCTURE AND BUILD A NEW TWO-STORY SINGLE FAMILY HOME WITH A FRONT PORCH, SIDE AND REAR BALCONIES, AND ROOF DECK. THE EXISTING PLAY STRUCTURE WILL BE RELOCATED ON THE SITE.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):  
THE SITE HAS A SLIGHT SLOPE AND CONTAINS SEVERAL CYPRUS TREES. THE CYPRUS TREES WILL BE PRESERVED.

Describe Existing Structures and/or Development:  
THE EXISTING STRUCTURE IS A TWO STORY SINGLE FAMILY HOME WITH MULTIPLE DECKS, A PARKING PAD, AND ILLEGAL SECONDARY UNIT. THE STRUCTURE IS BUILT INTO THE REQUIRED SETBACK AND THE GARAGE DOES NOT MEET CODE SIZE REQUIREMENTS. THERE IS ALSO A PLAY STRUCTURE/SHED, DOG RUN, AND FENCE, ON THE PROPERTY.

### Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Signature]  
Owner's signature: \_\_\_\_\_  
Applicant's signature: Mark Reilly

# Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650-363-4161 ■ FAX 650-363-4849

Permit #: PLN 2016-00 317

Other Permit #: \_\_\_\_\_

### Applicant:

Name: MARK REILLY

Address: 163 PARK ST

SF, CA Zip: 94110

Phone, W: 415-309-0107 H: -

Email: MARK@MARKREILLYARCHITECTURE.COM

### Owner (if different from Applicant):

Name: JULIA PAIGE & DAN SPANGLER

Address: 146 LA GRANDE AVE

MOSS BEACH, CA Zip: 94038

Phone, W: - H: 323-496-9669

Email: JPAIGE@GOOGLE.COM

### Architect or Designer (if different from Applicant):

Name: \_\_\_\_\_

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

### Project location:

APN: 037-258-~~010~~ 260

Address: 146 LA GRANDE AVE

MOSS BEACH, CA Zip: 94038

Zoning: R-1/S-17/DR/GH/CD

Parcel/lot size: 10,548 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe):

SINGLE FAMILY, TWO STORY RESIDENCE  
W/NON CODE COMPLIANT SETBACKS,  
GARAGE SIZE, AND SECONDARY UNIT

### Project:

New Single Family Residence: 5,393 sq. ft

Addition to Residence: \_\_\_\_\_ sq. ft

Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

DEMOLISH EXISTING, TWO STORY HOME,  
AND CONSTRUCT A NEW TWO STORY  
HOME WITH PARTIAL ROOF DECK.

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**4. Materials and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish (if different from existing, attach sample)	Check if matches existing
a. Exterior walls	<u>CEDAR SHINGLES</u>	<u>NATURAL / CLEAR STAIN</u>	<input type="checkbox"/>
b. Trim	<u>WOOD</u>	<u>BLACK</u>	<input type="checkbox"/>
c. Windows	<u>ALUMINUM CLAD WOOD</u>	<u>BLACK</u>	<input type="checkbox"/>
d. Doors	<u>ALUMINUM CLAD WOOD</u>	<u>BLACK</u>	<input type="checkbox"/>
e. Roof	<u>STANDING SEAM METAL</u>	<u>GRAY</u>	<input type="checkbox"/>
f. Chimneys	<u>CEDAR SHINGLES</u>	<u>NATURAL / CLEAR STAIN</u>	<input type="checkbox"/>
g. Decks & railings	<u>WOOD DECKS / <sup>STEEL &amp; GLASS</sup> RAILINGS</u>	<u>NATURAL DECK / <sup>BLACK STEEL</sup> RAILINGS</u>	<input type="checkbox"/>
h. Stairs	<u>WOOD</u>	<u>NATURAL TREADS &amp; BLACK STRINGERS</u>	<input type="checkbox"/>
i. Retaining walls	<u>BOARD FORMED CONCRETE</u>	<u>NATURAL</u>	<input type="checkbox"/>
j. Fences	<u>CEDAR OR REDWOOD BOARDS</u>	<u>NATURAL</u>	<input type="checkbox"/>
k. Accessory buildings	<u>-</u>	<u>-</u>	<input type="checkbox"/>
l. Garage/Carport	<u>CEDAR SHINGLES</u>	<u>NATURAL / CLEAR STAIN</u>	<input type="checkbox"/>

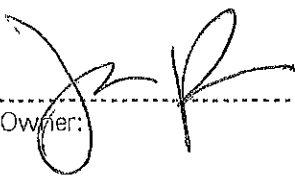
**5. Required Findings**

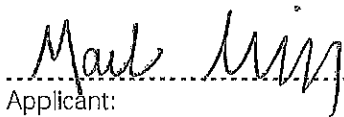
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached) *Required*

**6. Signatures**

I hereby certify that the Information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: 

Date: 6.16.16

Date: 7.20.16



## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| j. Grading or alteration of landforms?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| k. Landscaping?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| l. Signs?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- A. DEMOLISHING EXISTING SINGLE FAMILY HOME AND CONSTRUCTING A NEW SINGLE FAMILY HOME.
- I. REMOVING SMALLER, NON-NATIVE UNPROTECTED TREES PRESERVING CYPRUS TREES ON SITE.
- J. PERFORMING SLIGHT GRADING WORK TO ACCOMMODATE NEW HOME AND IMPROVE SITE DRAINAGE.

## 5. Staff Use Only

### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
- Yes                       No
2. Construction or grading within 100 feet of a stream or wetland?
- Yes                       No
3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
- Yes                       No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes                       No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_

**Environmental Information Disclosure Form**

Planning and Building Department

PLN 2016-00317

BLD \_\_\_\_\_

Project Address: 146 LA GRANDE AVE  
MOSS BEACH, CA 94038

Name of Owner: JULIA PAIGE & DAN SPANGLER

Address: 146 LA GRANDE AVE

MOSS BEACH, CA Phone: 323-496-9669

Assessor's Parcel No.: 037-258-010260

Name of Applicant: MARK REILLY

Address: 163 PARK ST, SE, CA 94110

Zoning District: R-1/S-17/DR/GH/CD

Phone: 415-309-0107

**Existing Site Conditions**

Parcel size: 10,548 SQ FT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). AN EXISTING, TWO STORY SINGLE FAMILY HOME WITH TWO LARGE DECKS & CONCRETE PATIO ON A PREDOMINANTLY FLAT SITE WITH CYPRUS TREES.

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>220</u> c.y. Fill: <u>20</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)

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Please explain all "Yes" answers:

BUILDING A NEW TWO STORY, SINGLE FAMILY HOME ON THE SITE OF THE EXISTING HOME. TO IMPROVE SITE DRAINAGE, MINOR GRADING WILL BE CONDUCTED. THE SITE IS WITHIN A SEISMIC FAULT ZONE.

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

CONSTRUCTION OF THE NEW HOME WILL EXTEND BEYOND THE FOOTPRINT OF THE EXISTING HOME.

## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:

*Mark King*  
(Applicant may sign)

Date: 7/20/16

PLN 2016-00317

**MARK REILLY ARCHITECTURE**  
163 Park Street · San Francisco · California · 94110  
415.309.0107

**146 La Grande Avenue – Property Information and Narrative**

**Owner:** Julia Paige and Dan Spangler

**Address:** 146 La Grande Avenue  
Moss Beach, CA 94038

**APN:** 037-258-~~0110~~ 260

**Zoning:** R-1/S-17/DR/GH/CD

**Lot Size:** 10,548 sq ft

**Maximum Area:** 5,590 sq ft (53%)

**Setbacks:** Front 20'\*, Rear 20', Street Side 10', Side 5' (min)  
(\* Front is side with shorter street frontage – San Ramon Avenue)

<b>Existing Area:</b>	1 <sup>st</sup> Floor - Living:	1,168 sq ft
	1 <sup>st</sup> Floor - Garage:	312 sq ft**
	2 <sup>nd</sup> Floor - Living:	1,289 sq ft
	Total - Living:	2,457 sq ft
	<b>Total - All:</b>	<b>2,769 sq ft</b>

(\*\* Existing garage space does not meet code. 342 sq ft min req'd)

<b>Proposed Area:</b>	1 <sup>st</sup> Floor – Living:	1,361 sq ft
	1 <sup>st</sup> Floor – Garage/Storage:	651 sq ft
	1 <sup>st</sup> Floor – Covered Porch:	138 sq ft
	1 <sup>st</sup> Floor – Covered Outdoor Lounge:	472 sq ft***
	2 <sup>nd</sup> Floor – Living:	2,455 sq ft
	Roof Deck – Glass Enclosure	316 sq ft***
	Total – Living:	3,816 sq ft
	<b>Total – All:</b>	<b>5,393 sq ft</b>

(\*\*\* Unconditioned space)

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**Existing Site:**

Type: Corner lot

Site Grade: Relatively flat site with a slight southwest slope from San Ramon Ave

Structures: A dilapidated two story, single family home -- with multiple decks, a concrete parking pad, and non-code compliant renovations/setbacks – and a play house/shed.

Natural Features: Mature Cyprus trees along the southwest property line, ocean views to the southwest and west, and hill views to the northeast

Adjacent Structures: The single family home to the southwest is setback further from the street than the existing structure, and is shielded from the property by Cyprus trees. The single family home to the southeast is located up-slope from the existing structure, and is over 65 feet away

**146 La Grande Avenue – Conformation to Midcoast/Moss Beach Design Review Standards and Guidelines (Section 6565.20(A-D))**

**Neighborhood Definition and Character (Section 6565.20(B)):**

1. Neighborhood Definition:

a. Neighborhood Context:

1. Immediate Context: Single family homes. Relation of buildings to one another varies.
2. Neighborhood Context: Visual character of the neighborhood varies greatly. Most homes are 2-3 stories tall, and sit flat on their site.

b. Neighborhood Limits:

1. Topography: Ranges from flat to sloping
2. Land Use: Primarily single family residential

3. Proximity to Open Space: Neighborhood is adjacent to coastal open space
4. Subdivision Pattern: A grid of streets, interrupted by topographical changes
5. Street Width and Natural Features: Streets are a standard width, edge of neighborhood is coastal open space
6. Noticeable Changes in Building Types: There are many changes in building styles, materials, and heights, with most homes 2-3 stories
7. Visibility from Off-Site Vantage Points: The site is not visible from nearby vantage points.

## 2. Neighborhood Character:

- a. Siting: Homes are primarily sited near the street, with 10'-20' setbacks.
- b. Blending with Surrounding Scenic and Natural Environments: Homes primarily sit flat on their lot, some are nestled next to pre-existing trees.
- c. Architectural Style: Varies greatly with much contrast -- from simple, older homes, to boxy, to a mishmash, to contemporary.
- d. Scale: Homes are primarily two to three stories tall.
- e. Arrangement/Placement/Massing: Most homes are placed near the street with 10'-20' setbacks and predominantly boxy massings.
- f. Parking and Garage Patterns: Many predominant garage doors located at the front of the house, next to the entry.
- g. Location of Entries: Many entries are adjacent to garage doors, hidden, or under a deck or entry porch.
- h. Roof Forms: Predominately gable or shed roof forms.
- i. Exterior Materials and Colors: Materials vary greatly -- from wood boards, to wood shingles, to painted horizontal siding, to T-11, to



board and batten, to stucco. Colors vary greatly from natural wood, to yellow, to green, to blue, to brown.

- j. Window Type and Placement: Type varies greatly -- from large plate glass rectangles, to sloped top, to aluminum sliders, to fake mullions, to double hung. Placement varies greatly too.
- k. Landscaping: More natural, less manicured landscaping. Numerous large Cyprus trees.
- l. Older Buildings or Features Having Historic Character: Nearby older/historic buildings have simple forms, shingled siding, double hung windows with muntions, tall gabled roofs, prominent entry, and less prominent garages.

**Site Planning and Structure Placement** (Section 6565.20(C):

1. Integrate Structures with the Natural Setting:

- a. Trees and Vegetation: The proposed home will retain and preserve the existing Cyprus trees on the property
- b. Grading:
  - 1. Minimize Fill: The proposed home will be located on the building pad of the existing home, but within the required setbacks. The new home will be placed at the building pad elevation height of the existing home to minimize fill.
  - 2. Limited Excavation: Minimal excavation (< 250 cu yds) at the front (San Ramon Ave) and side of the property will reduce the visual impact of the home on San Ramon Avenue, allow the driveway to conform to County design standards, blend the home into the site, and improve site drainage per the recommendations of the geotechnical engineer.
  - 3. Limit Grading: Grading is limited (< 250 cu yd) and will extend slightly beyond the footprint of the structure to improve site drainage per the recommendations of the geotechnical engineer.
  - 4. Finished Grade Similar to Existing Grade: The finished grade beyond the structure will be similar to that of the existing grade, except where modified by the geotechnical engineer for improved drainage.

5. Retaining Walls: The board formed concrete retaining/ foundation wall at the side/rear of the proposed home will be incorporated into the building structure and kept to a minimum height. It will not be visible from the street.

c. Streams and Other Drainage Features:

1-4. NA: There are no streams or natural drainage features on the property. The site will not be altered to cause significant drainage problems, erosion, or flooding.

d. Ridgelines, Skylines, and View Corridors:

1-2. NA - The development is not proposed on a ridgeline, skyline or view corridor. In addition, the proposed grading/excavation will help minimize the impact the new home has on San Ramon Avenue.

e. Relationship to Open Spaces: NA - The property is not visible from a designated open space.

2. Compliment Other Structures in the Neighborhood:

a. Privacy:

1. Minimize Direct Views into Neighboring Houses and Decks: The retained Cyprus trees will reduce the privacy impact between the new home and the adjacent property. The proposed home will be set back further from the adjacent property than the existing home to improve privacy. The new side balcony will be substantially smaller than the existing deck that faces the adjacent property.

2. Locate High Activity Areas Away from Low Activity Areas of Adjacent Properties: The highest activity spaces – the Great Room and Outdoor Lounge -- are located away from the adjacent property.

3. Rooftop Decks:

a. The proposed rooftop deck is designed to avoid direct views into neighboring homes. The gabled roofs on either side of the roof deck and the half gable roof at the rear of the roof deck will block views into adjacent properties. The street width, building setback, neighbor's street plantings, and

height of the roof deck will prevent views into homes across the street.

- b. The proposed roof deck will be accessed by an interior stair.
- c. The proposed rooftop deck is integrated into the roof design. It is nestled between the two front gables of the house and the rear half gable.

- 4. Landscaping and Architectural Solutions: The retained Cyprus trees will reduce the privacy impact between the new home and the adjacent property.

- b. Views: The effect on views from neighboring houses was minimized by maintaining the existing side/La Grande Avenue set back, keeping the existing building pad height, and excavating at the San Ramon Avenue side of the property to nestle the home into the site.

#### **Elements of Design** (Section 6565.20(D):

##### 1. Building Mass, Shape, and Scale:

- a. Relationship to Existing Topography: The proposed new home relates to the primarily flat site by maintaining the building pad elevation of the existing home. Slight grading work and a minimal retaining/foundation wall at the rear of the property improve site drainage, nestle the home into the rear of the site, and reduce the visual impact of the home along San Ramon Avenue.
- b. Neighborhood Scale: The neighborhood scale varies greatly. The proposed home respects and follows the scale of the older and more historic homes in the neighborhood (particularly 1040 Park Way) with its shape, form, façade articulation, and details. This includes having a full two story height, classic full gable roof, simple building articulation, punched window/door openings, front porch, and side/rear balconies.

##### c. Second Stories:

- 1. Second Story Location: Homes in the neighborhood are two and three stories tall. Almost all second stories are located above the entire first story. This is also true for the older and historic homes in the neighborhood. The proposed home respects this existing neighborhood context by locating the second story above the full first story.

2. Lowering the Eave Line: None of the two story homes in the neighborhood have lowered eave lines. This is also true for the older and historic homes in the neighborhood. The proposed home respects this existing neighborhood context by not lowering the eave line.

d. Daylight Plane/Façade Articulation:

1. Daylight Plane: NA
2. Façade Articulation: The facades of the proposed home are broken up with stepped building massings, multiple gabled roof forms, projected eaves, a front porch, a side roof overhang, recessed door and window openings, balconies, railings, stairs, a covered outdoor lounge, an enclosed roof deck, and exposed chimney boxes/flues. The façade articulation follows that of the historic and older homes in the neighborhood.

- e. Wall Articulation: Building walls are articulated with stepped walls, a recessed front porch, a side roof overhang, recessed door and window openings, projected eaves, balconies, railings, stairs, a covered outdoor lounge, an enclosed roof deck, exposed chimneys, and contrasting natural wood shingles and painted wood trim.

2. Architectural Styles and Features:

- a. Architectural Style: There isn't a predominant architectural style in the neighborhood. The proposed home follows the style of the historic and older homes in the neighborhood (particularly 1040 Park Way), but with more façade articulation to meet the Design Standards. The elements that define the historic/older homes and the proposed home include a simple building shape, full gabled roof forms, roof eaves, double hung windows with divided lights, recessed door and window openings, carriage type garage doors, natural wood shingles, and painted trim.
- b. Openings: The proposed double-hung, aluminum clad, wood windows and doors with divided lights compliment the double hung windows and doors of the historic/older homes in the neighborhood. The repeating style, size, and proportion of the windows and doors create a simple architectural rhythm along the façade.

- c. Entries: The proposed front door entry is scaled to relate to the windows and doors of the home and is residential in appearance. The proposed front porch helps to further emphasize the entry.
- d. Garages: Despite a neighborhood pattern of prominent garage doors, the proposed garage doors have been located on the side of the home (away from the entry) to lessen their prominence and better follow the Design Standards. Carriage style garage doors relate to the style of the home and to older/historic homes in the neighborhood.

### 3. Roof Design:

- a. Massing and Design of Roof Forms: The proposed gabled roof form reflects those of older and historic homes in the neighborhood. Multiple intersecting gables, porch and side awning roofs, articulated chimney stacks, a roof deck enclosure, and railings all work to break down the apparent mass of the home and provide visual interest. The proposed standing seamed metal roof material is durable, energy efficient (with "cool roof" technology), non-reflective, and references the agricultural history of the area. Solar panels are located at the back of the house, out of view from neighbors, and will follow the roof slope. The proposed roof color is a neutral, matte gray.
- b. Design Compatibility: The proposed gabled roof form compliments the prominent full height gabled roof forms of the neighborhood, and of older/historic homes in the area.

4. Exterior Materials and Colors: The proposed exterior materials include natural cedar shingle siding, black painted wood trim, black aluminum clad wood windows and doors, black painted railings and posts, and matte grey standing seam metal roofing. (Please see the 8 ½ x 11 Primary Building Elevation Material Board)

- a. Compatibility: The material palette relates to that of the historic older/historic homes in the neighborhood. The natural shingles blend with the natural setting of the adjacent Cyprus trees and compliment the natural wood siding of the adjacent home. The black trim, windows, doors, railings, and posts help to reduce the apparent mass of the home. The metal roof is a neutral warm grey, non-reflective, and recalls the area's agrarian past.

- b. Quality: All materials are of a high quality and consistent with the style of the house.
- c. Quantity: The number of materials and colors is consistent with those in the neighborhood and the style of the home. The texture of the cedar shingle siding, and the contrast between the natural siding, black trim, and grey porch/awning roofs will help reduce the appearance of bulk.
- d. Ornamentation: The use and application of simple window, door, and eave trim is consistent with the style and size of the house.

**Additional Site Planning and Design Considerations** (Section 6565.20(E):

- 1. Multiple Contiguous or Nearby Projects: Not applicable.
- 2. Minimize Blocking of Sunlight: The proposed home was located on the exiting home's building pad and placed further away from the neighboring home to minimize further impact on the adjacent home. Existing Cyprus trees between the properties were maintained to screen the properties.

**Landscaping, Paved Areas, Fences, Lighting, and Noise** (Section 6565.20(F):

- 1. Landscaping: No new landscaping is proposed, except for the planting of native grasses where the soil is disturbed during construction.
- 2. Paved Areas: The only paved area will be the County required asphalt transition zone between the street and the proposed permeable driveway.
- 3. Fencing: The proposed horizontal, natural cedar or redwood board fence complements the design of the cedar shingled home, and follows the height limits specified in the Zoning Regulations.
- 4. Lighting: The proposed lighting fixtures and their placement complements the home's design and casts low-level light downward to meet "night sky" requirements.
- 5. Noise: Higher activity areas of the home (the kitchen, great room, and lounge) are located away from the adjacent home to minimize their

impact. In addition, new fencing and the existing Cyprus trees with buffer sound between properties.

**Utilities and Ancillary Structures** (Section 6565.20(G):

All utilities will be screened from view in a manner compatible with the building and site design. There are no ancillary structures, although an existing playhouse will be relocated on the property.

**Second Units** (Section 6565.20(H):

There are no second units proposed for the site.

PLN 2016-00317

RECEIVED

AUG 01 2016

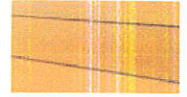
San Mateo County  
Planning and Building Department



ENCLOSED ROOF DECK: PAINTED STEEL  
BENJAMIN MOORE, TWILIGHT ZONE &  
CLEAR GLASS

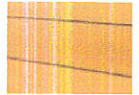


CHIMNEY: CEDAR BOARDS  
NATURAL



ROOF DECK RAILING: TEMPERED GLASS  
CLEAR

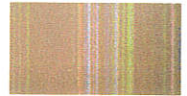
EXTERIOR WALLS @ ROOF DECK: CEDAR BOARDS  
NATURAL



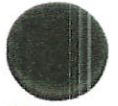
ROOFING: STANDING SEAM METAL  
CUSTOM-BILT METALS, SL-1750,  
'VINTAGE' COLOR/FINISH



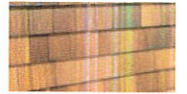
GUTTERS & DOWNSPOUTS  
COPPER



BALCONY RAILING: PAINTED STEEL  
BENJAMIN MOORE, TWILIGHT ZONE



EXTERIOR WALLS: CEDAR SHINGLES  
NATURAL



POSTS: PAINTED PT WOOD  
BENJAMIN MOORE, TWILIGHT ZONE



EXTERIOR TRIM: PAINTED WOOD  
BENJAMIN MOORE, TWILIGHT ZONE



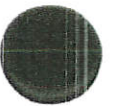
WINDOWS & EXTERIOR DOORS:  
MARVIN ALUMINUM CLAD, EBONY FINISH



LIGHTS: NIGHT SKY COMPLIANT  
COPPER



ENTRY DOOR: STEEL W/ GLASS  
BLACK / CLEAR



FENCES & GATES: HORIZONTAL CEDAR BOARDS  
NATURAL



GARAGE DOORS: ROLL-UP CARRIAGE STYLE PAINTED WOOD  
BENJAMIN MOORE, TWILIGHT ZONE



PRIMARY BUILDING ELEVATION MATERIAL BOARD - 146 LA GRANDE AVENUE, MOSS BEACH  
MARK REILLY ARCHITECTURE, SAN FRANCISCO, CA (415) 309-0107

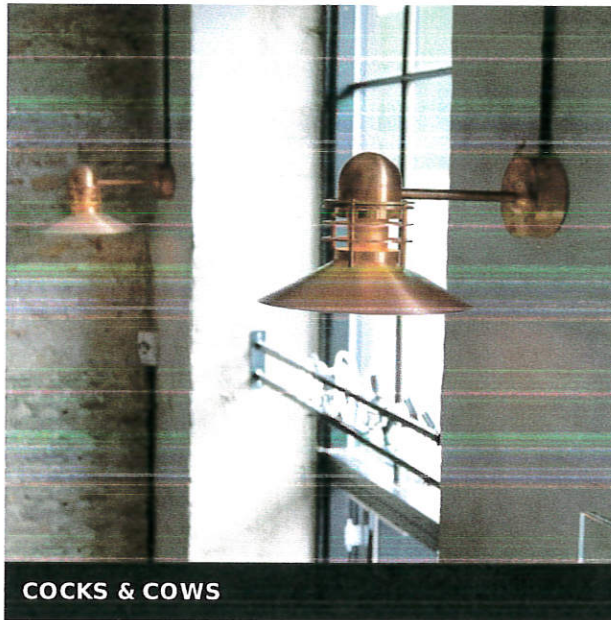
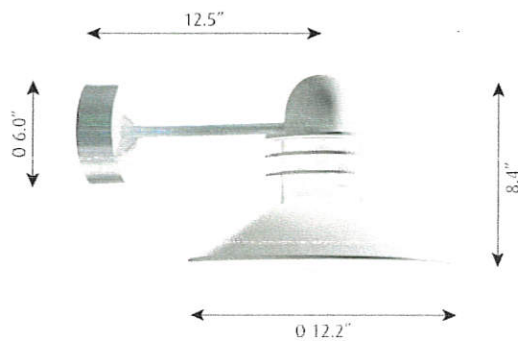


# louis poulsen

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## NYHAVN WALL

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COCKS & COWS

**Design:**

Alfred Homann & Ole V. Kjær

**Concept:**

The conical shade ensures comfortable light that is directed downwards in a wide beam. The shade interior has a white matte painted surface, ensuring uniform light distribution. The rings ensure that a stray light is controlled, and direct a small amount of light onto the top side of the shade for self-illumination.

**Finish:**

Copper, brushed or white, wet painted.

**Material:**

Shades: Spun aluminum or spun copper. Diffuser: Clear glass. Top: Spun aluminum or spun copper. Mounting box: Die cast aluminum. Mounting box

**Weight:**

Min: 7 lbs. Max: 11 lbs.

**Compliance:**

cULus, Wet location.

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# SPAREPART

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**PRODUCT NAME:**

NYHAVN WALL, GLASS CLEAR

NYHAVN WALL, GLASS PARTLY FROSTED

**ORDERING NUMBER:**

5743590513

5743590526



## Angled Plane Downlight Outdoor LED Wall Sconce



Item Code: SON-ANGLED-PLANE-DNLT-OTDR-LED-WALL-SCE

**Description:**

Design by Robert Sonneman, 2016.  
Made By SONNEMAN – A Way of Light.

The Angled Plane Downlight Outdoor LED Wall Sconce is a clean and minimal modern fixture, casting direct accent light. Perfect for modern outdoors, the Angled Plane is also ideal for hallways and anywhere compact accent illumination is needed.

Offered in three textured finishes: gray, bronze and white, the Angled Plane Narrow is a minimal and stylish addition to modern indoor and outdoor spaces. Dimmable with an electronic low voltage or standard TRIAC dimmer (sold separately). LED driver located in outlet box. ADA compliant. Shown in bronze.

**Dimensions**

- Overall: 7"W X 7.75"H X 2.25" extension
- Backplate: 5.5"W X 5.25"H

**Material(s)**

Metal

**Lamp Type**

LED

**Bulbs**

1 X 13W 120V LED array, 90 CRI, 3000K, 840 lumens (included)

**Listing**

ADA, WET-LOCATION

**Instructions**

[Click to download instructions.](#)

**Item Number**

SON-ANGLED-PLANE-DNLT-OTDR-LED-WALL-SCE

**Model(s)**

2363.72-WL 2363.74-WL 2363.98-WL

Price:

\$350.00

+ Free Shipping

**Options:**

**Model:**

2363 – Angled Plane Downlight Outdoor LED Wall Sconce

**Finish:**

.72-WL – Bronze

.74-WL – Gray

.98-WL – White

Design by Robert Sonneman, 2016.  
Made By SONNEMAN – A Way of Light.

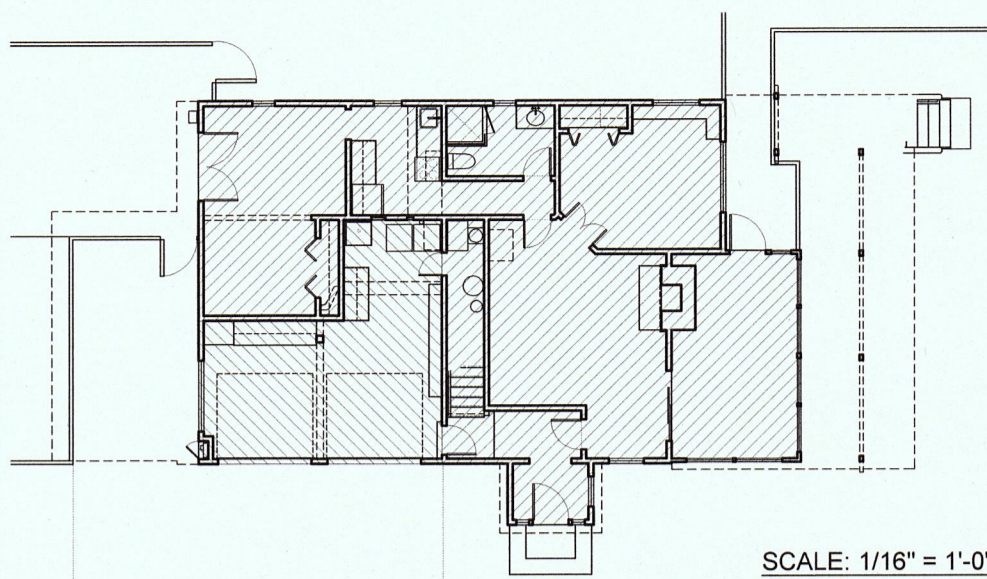
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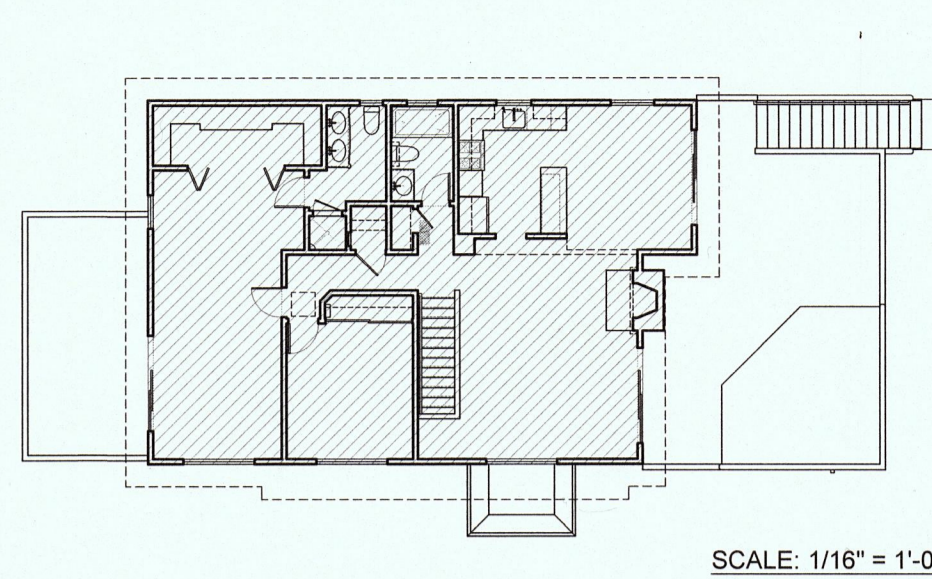


**AREA CALCULATIONS**

EXISTING:



SCALE: 1/16" = 1'-0"

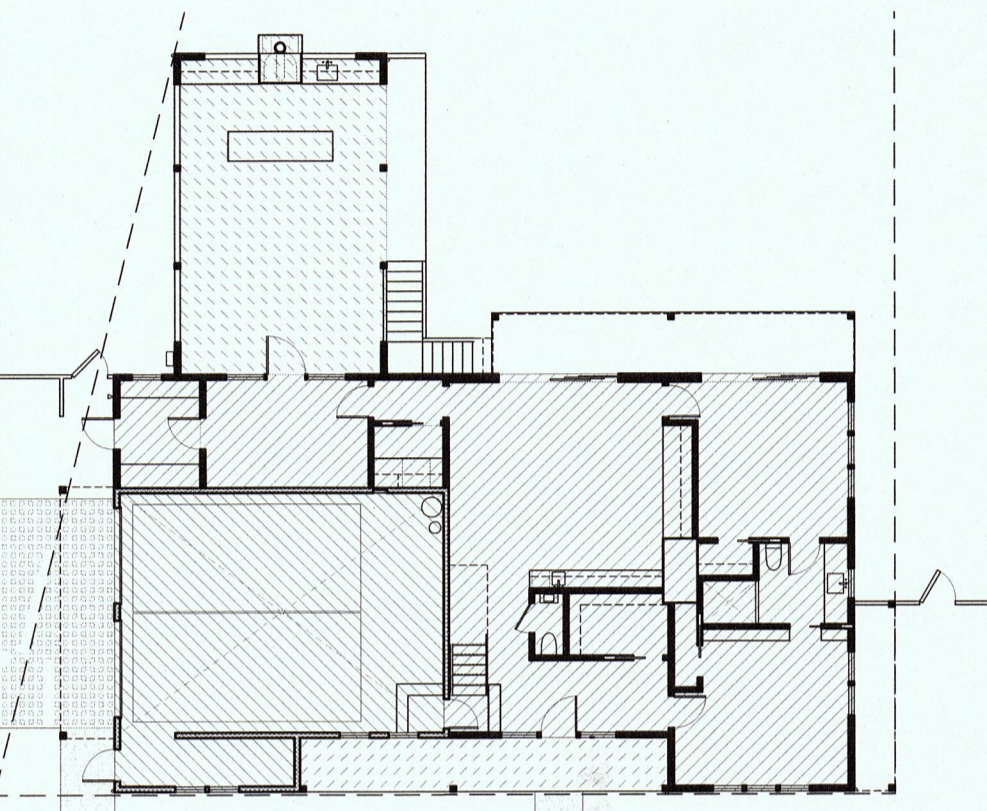


SCALE: 1/16" = 1'-0"

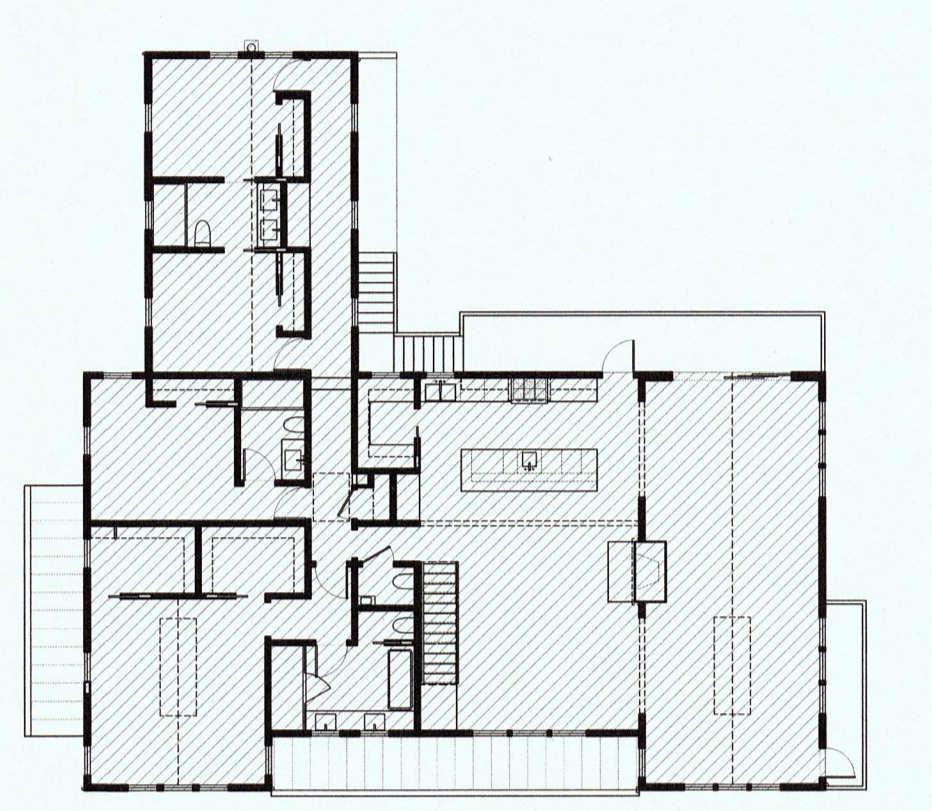
**1ST FLOOR:**  
LIVING: 1,168 SQ FT  
GARAGE/STORAGE: 312 SQ FT

**2ND FLOOR:**  
LIVING: 1,289 SQ FT

PROPOSED:



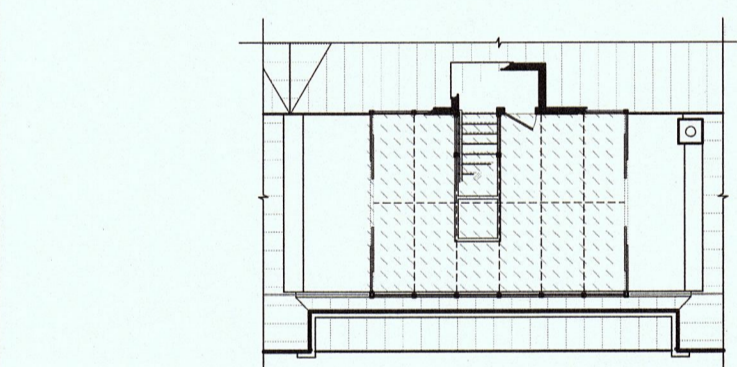
SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

**1ST FLOOR:**  
LIVING: 1,361 SQ FT  
GARAGE/STORAGE: 651 SQ FT  
COVERED PORCH: 138 SQ FT  
COVERED OUTDOOR LIVING: 472 SQ FT

**2ND FLOOR:**  
LIVING: 2,484 SQ FT



SCALE: 1/16" = 1'-0"

**3RD FLOOR ROOF DECK:**  
GLASS & STEEL ENCLOSURE: 316 SQ FT

**VICINITY MAP**



**SYMBOLS**

DETAIL NUMBER	ELEVATION NUMBER	SECTION NUMBER	INT. ELEVATION NUMBER
SHEET NUMBER	CENTERLINE	DOOR MARK	WINDOW MARK
ELEVATION LINE MARKER	WOOD FRAMING	INSULATION	RIGID INSULATION
(N) WALL	(N) 1 Hour Wall symbol"/> (N) 1 HOUR WALL	(E) Wall to be Removed symbol"/> (E) WALL TO BE REMOVED	(E) Wall to Remain symbol"/> (E) WALL TO REMAIN
WOOD BLOCKING	STEEL/ALUMINUM	FINISH WOOD	PLYWOOD
GYPSUM BOARD	GRAVEL	SOIL	STONE

**SHEET INDEX**

A1	SHEET INDEX, PROJECT CONTACTS, PROPERTY INFORMATION, SCOPE OF WORK, ABBREVIATIONS, VICINITY MAP, SYMBOLS, AREA CALCULATIONS, BMP'S	A7	2ND FLOOR PLAN - PROPOSED
A2	SITE SURVEY	A8	ROOF PLAN - PROPOSED
A3	SITE PLAN / LANDSCAPE PLAN - PROPOSED	A9	EXTERIOR ELEVATIONS - EXISTING
A4	1ST FLOOR PLAN - EXISTING / DEMOLITION	A10	EXTERIOR ELEVATIONS - PROPOSED
A5	2ND FLOOR PLAN - EXISTING / DEMOLITION	A11	EXTERIOR ELEVATIONS - PROPOSED
A6	1ST FLOOR PLAN - PROPOSED	A12	EXTERIOR ELEVATIONS - PROPOSED
		A13	CROSS SECTIONS - PROPOSED
		C1	GRADING & DRAINAGE PLAN

**PROJECT CONTACTS**

<b>OWNERS:</b>	JULIA PAIGE & DAN SPANGLER 146 LA GRANDE AVENUE MOSS BEACH, CA 94038 323-496-9669	<b>LAND SURVEYOR:</b>	BRYAN TAYLOR BGT LAND SURVEYING 1720 S. AMPHITT BLVD, SUITE 225 SAN MATEO, CA 94402 650-212-1030 LIC # 7551
<b>ARCHITECT:</b>	MARK REILLY MARK REILLY ARCHITECTURE 163 PARK STREET SAN FRANCISCO, CA 94110 415-309-0107	<b>GEOTECHNICAL ENGINEER:</b>	CHARLES KISSICK SIGMA PRIME GEOSCIENCES, INC 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 650-728-3590
<b>STRUCTURAL ENGINEER:</b>	TONY ALEGRIA DOUBLE-D ENGINEERING 72 OTIS STREET SAN FRANCISCO, CA 94103 415-551-5150	<b>CONTRACTOR:</b>	TBD

**PROJECT INFORMATION**

<b>BUILDING CODE REFERENCE:</b>	CBC 2013
<b>TYPE OF CONSTRUCTION:</b>	V
<b>ZONING:</b>	R-1/S-17/DR/GH/CD
<b>ASSESSOR PARCEL NUMBER:</b>	037-258-010
<b>SUBDIVISION:</b>	RIVIERA OCEAN VILLA, SAN MATEO COUNTY
<b>TYPE OF OCCUPANCY:</b>	SFR
<b>SETBACKS:</b>	FRONT 20'-0"; REAR 20'-0"; STREET SIDE 10'-0"; SIDE 5'-0" (MIN) (* FRONT IS SIDE WITH SHORTER STREET FRONTAGE)
<b>ALLOWED BUILDING HEIGHT:</b>	28'-0"
<b>PROPOSED BUILDING HEIGHT:</b>	26'-2"
<b>PARCEL SIZE:</b>	10,548 SQ FT
<b>ALLOWED BUILDING FLOOR AREA, (FAR):</b>	53%
<b>PROPOSED BUILDING FLOOR AREA, (FAR):</b>	51% (5,393 SQ FT + 10,548 SQ FT = .51)
<b>EXISTING BUILDING FLOOR AREA:</b>	1ST FLOOR - LIVING: 1,168 SQ FT 1ST FLOOR - GARAGE/STORAGE: 312 SQ FT ** 2ND FLOOR - LIVING: 1,289 SQ FT TOTAL - LIVING: 2,457 SQ FT TOTAL - ALL: 2,769 SQ FT (** EXISTING GARAGE SPACE DOES NOT MEET CODE 342 SQ FT MINIMUM REQUIRED)
<b>PROPOSED BUILDING FLOOR AREA:</b>	1ST FLOOR - LIVING: 1,361 SQ FT 1ST FLOOR - GARAGE/STORAGE: 651 SQ FT 1ST FLOOR - COVERED PORCH: 138 SQ FT 1ST FLOOR - COVERED OUTDOOR LOUNGE: 472 SQ FT *** 2ND FLOOR - LIVING: 2,455 SQ FT ROOF DECK - GLASS ENCLOSURE: 316 SQ FT *** TOTAL - ALL: 5,393 SQ FT TOTAL - LIVING: 3,816 SQ FT (*** UNCONDITIONED COVERED SPACE, OPEN TO OUTDOORS)
<b>ALLOWED PARCEL COVERAGE:</b>	35% (35 x 10,548 SQ FT = 3,692 SQ FT)
<b>PROPOSED PARCEL COVERAGE:</b>	25% (2,622 SQ FT + 10,548 SQ FT = .25)

**SCOPE OF WORK**

DEMOLISH EXISTING 4 BED / 2 BATH, 2 STORY SINGLE FAMILY RESIDENCE WITH NON-CODE COMPLIANT SETBACKS, ILLEGAL SECONDARY UNIT & REAR YARD PLAYHOUSE. CONSTRUCT NEW 5 BED / 4.5 BATH, 2 STORY SINGLE FAMILY RESIDENCE WITH PARTIALLY GLASS ENCLOSED ROOF DECK. RELOCATE PLAYHOUSE.

**ABBREVIATIONS**

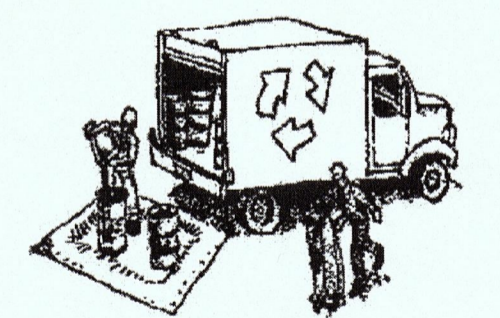
&	AND	FP	FIREPLACE	PTD	PAINTED
∠	ANGLE	FT	FOOT, FEET	PLY	PLYWOOD
@	AT	FURN	FURNACE	PWDR	POWDER ROOM
€	C.L.	FURR	FURRING, FURRED	R	RISER
∅	DIAMETER	GA	GAUGE	REF	REFERENCE OR
°	DEGREES	GALV	GALVANIZED	REF	REFRIGERATOR
Δ	DELTA	GC	GENERAL CONTRACTOR	REQ	REQUIRED
#	NUMBER OR POUND	GYP	GYPSPUM	REQ MT	REQUIREMENT
±	PLUS OR MINUS	HB	HOSE BIB	RM	ROOM
ℓ	PROPERTY LINE	HC	HOLLOW CORE	RO	ROUGH OPENING
A/C	AIR CONDITIONED(ING)	HDWD	HARDWOOD	RDWD	REDWOOD
ADJ	ADJUSTABLE	HDWR	HARDWARE	RWL	RAIN WATER LEADER
AF	ABOVE FINISHED FLOOR	HORIZ	HORIZONTAL	SAD	SEE ARCHITECTURAL
ALUM	ALUMINUM	HR	HOUR	SC	SOLID CORE
APPROX	APPROXIMATE	HT	HEIGHT	SF	SQUARE FEET
ARCH	ARCHITECTURAL	HTR	HEATER	SHWR	SHOWER
BATT	BATTING	HVAC	HEATING/VENT/AIR COND.	SKLT	SKYLIGHT
B&B	BOARD AND BATTEN	IN	INCH	SPEC	SPECIFICATION
BD	BOARD	INSUL	INSULATION	SQ	SQUARE
BLDG	BUILDING	INT	INTERIOR	SQFT	SQUARE FOOTAGE
BLKG	BLOCKING	INT	INTERIOR	SS	STAINLESS STEEL
BTM	BOTTOM	KIT	KITCHEN	SSD	SEE STRUCTURAL DRAWINGS
CAB	CABINET	LF	LINEAR FOOT	STL	STRUCTURAL
CF	CUBIC FOOT	LIV	LIVING ROOM	T	TREAD
CLR	CLEAR	LT	LIGHT	T&G	TONGUE AND GROOVE
CLST	CLOSET	MECH	MED	TEL	TELEPHONE
COMP	COMPOSITION	MFR	MANUFACTURE	TEMP	TEMPERATURE
CONC	CONCRETE	MIN	MINIMUM	TPD	TOILET PAPER
DBL	DOUBLE	MISC	MISCELLANEOUS	TV	TELEVISION
DEPT	DEPARTMENT	MTL	METAL	TYP	TYPICAL
DIA	DIAMETER	(N)	NEW	UBC	UNIFORM BUILDING CODE
DIM	DIMENSION	NIC	NOT IN CONTRACT	UN	UNLESS OTHERWISE
DN	DOWN	NOM	NOMINAL	NOTED	
DW	DISHWASHER	NTS	NOT TO SCALE		
DWG	DRAWING	O/	OVER	VENT	VENTILATION
DWR	DRAWER	OD	OUTSIDE DIAMETER	VERT	VERTICAL
(E)	EXISTING	PCS	PIECE(S)	VIF	VERIFY IN FIELD
EA	EACH	PERF	PERFORATED	W/	WITH
ELEC	ELECTRICAL	PANT	PANTRY	WD	WOOD
ELEV	ELEVATION	PR	PAIR	WH	WATER HEATER
EQ	EQUAL	PSF	POUNDS PER SQUARE FT	WO	WITHOUT
EQPT	EQUIPMENT	PSI	POUNDS PER SQUARE	WP	WATERPROOF(ING)
EXT	EXTERIOR	INCH		WT	WEIGHT

**Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.



**Materials & Waste Management**



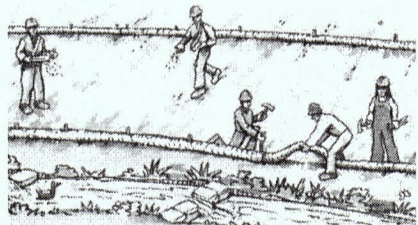
- Non-Hazardous Materials**
  - Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
  - Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
  - Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
  - Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

**Equipment Management & Spill Control**



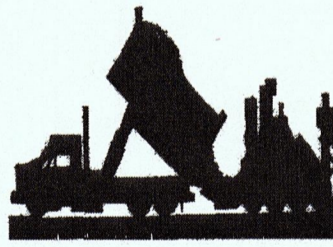
- Maintenance and Parking**
  - Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow time water to run into gutters, streets, storm drains, or surface water.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
  - Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

**Earthmoving**



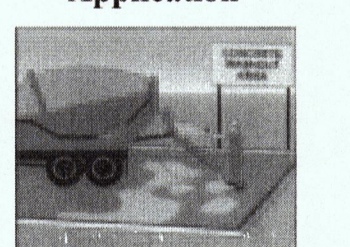
- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

**Paving/Asphalt Work**



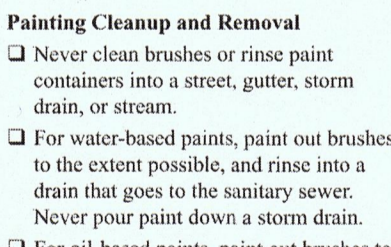
- Avoid paving and seal coating in wet weather or when rain is forecast, and on pavements that have not cured from contacting stormwater runoff.
- Wash storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

**Concrete, Grout & Mortar Application**



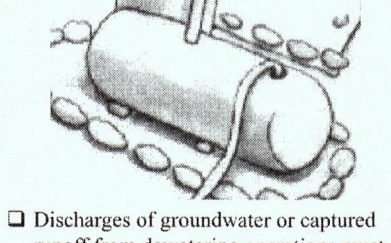
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

**Painting & Paint Removal**



- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

**Dewatering**



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Landscaping**



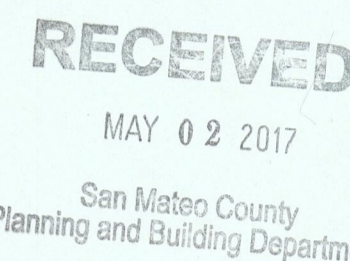
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bugged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

**Mark Reilly Architecture**

163 Park Street  
San Francisco, CA 94110  
415-309-0107  
markreillyarchitecture.com

**REVISION HISTORY (THIS SHEET)**



**PAIGE + SPANGLER RESIDENCE DESIGN REVIEW APPLICATION**

146 LA GRANDE AVENUE  
MOSS BEACH, CA 94038

OWNERS / JULIA PAIGE & DAN SPANGLER  
SUBDIVISION / RIVIERA OCEAN VILLA, SAN MATEO COUNTY

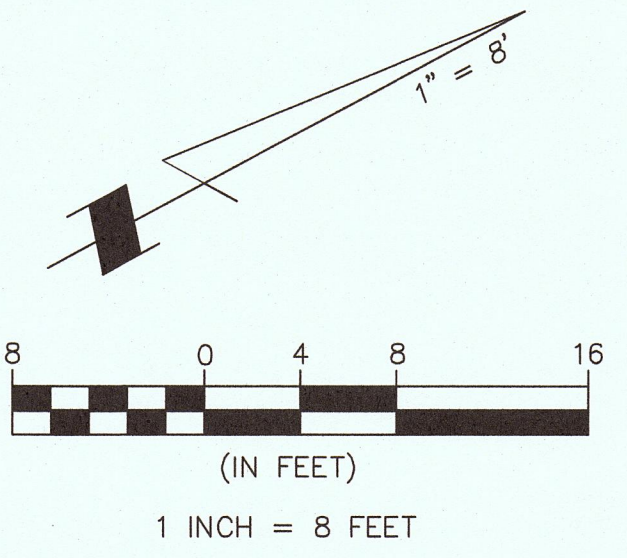


**SHEET TITLE**  
**SHEET INDEX, PROJECT CONTACTS, PROJECT INFO, SCOPE OF WORK, ABBREVIATIONS, VICINITY MAP, SYMBOLS, AREA CALCS, BMP'S**

DATE / JULY 21, 2016  
SCALE / AS NOTED

**A1**





**BASIS OF BEARINGS**  
 BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 34 OF LLS MAPS PAGE 98 ON MARCH 5, 2010, SAN MATEO COUNTY RECORDS.

**BENCHMARK**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON MEAN SEA LEVEL DATUM.

**NOTES:**  
 BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT, ORDER NO. 4104-4545066 AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

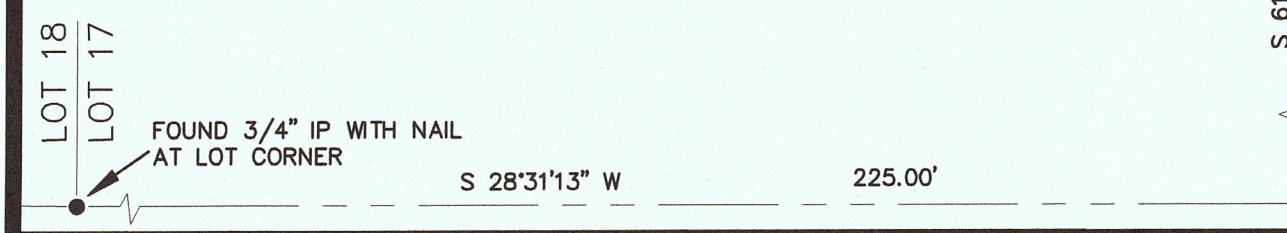
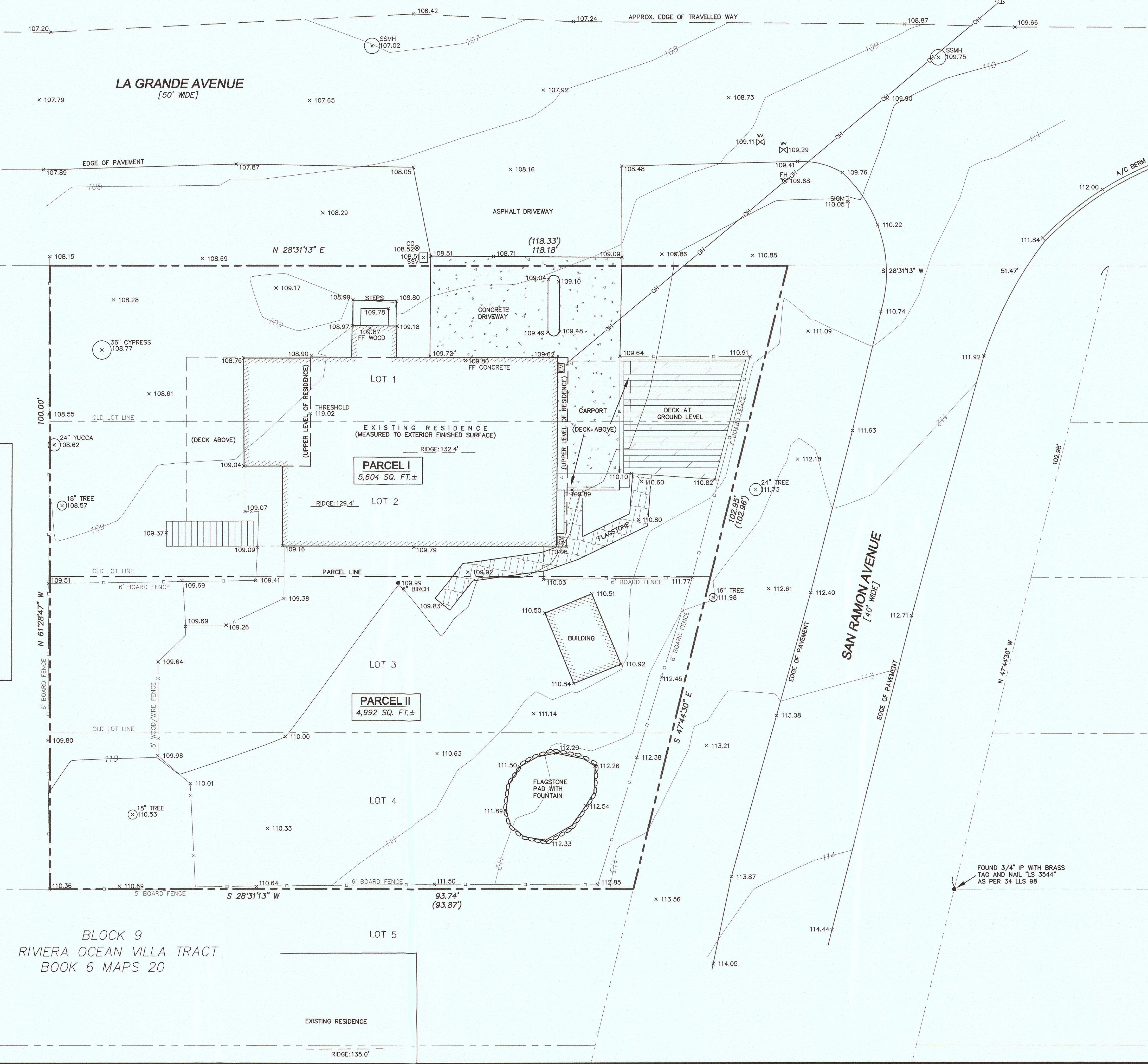
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
 www.bgtsurveying.com

DATE OF FIELD SURVEY: MAY 12, 2014  
 JOB NUMBER: 14-097

**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN) MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PSC PIPE VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDM STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TSB TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- C- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



BLOCK 9  
 RIVIERA OCEAN VILLA TRACT  
 BOOK 6 MAPS 20



**CONSTRUCTION STORMWATER BMP NOTES:**

- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, & NON-STORMWATER DISCHARGES TO STORM DRAINS & WATERCOURSES.
- STORE, HANDLE, & DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
- DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED & TREATED.
- TRAIN & PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMPs.
- PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS SUCH AS BERMS, FIBER ROLLS, OR FILTERS.
- LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- ATTACH THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM'S CONSTRUCTION BMP PLAN SHEET TO PROJECT PLANS AND REQUIRE CONTRACTOR TO IMPLEMENT THE APPLICABLE BMPs ON THE PLAN SHEET.
- USE TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDEED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PROVIDE NOTES, SPECIFICATIONS, OR ATTACHMENTS DESCRIBING THE FOLLOWING:
  - CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY;
  - METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL;
  - SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION;
  - PROVISIONS FOR TEMPORARY AND/OR PERMANENT IRRIGATION.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
- TRAP SEDIMENT ON-SITE, USING BMPs SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, SOIL BLANKETS OR MATS, COVERS FOR SOIL STOCK PILES, ETC.
- DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G. SWALES AND DIKES).
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.

**LANDSCAPING NOTES:**

- SEE SHEET C1, GRADING & DRAINAGE PLAN.
- NO NEW LANDSCAPING.
- RETAIN EXISTING VEGETATION AS PRACTICABLE.
- SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PESTAND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
- MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
- USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.

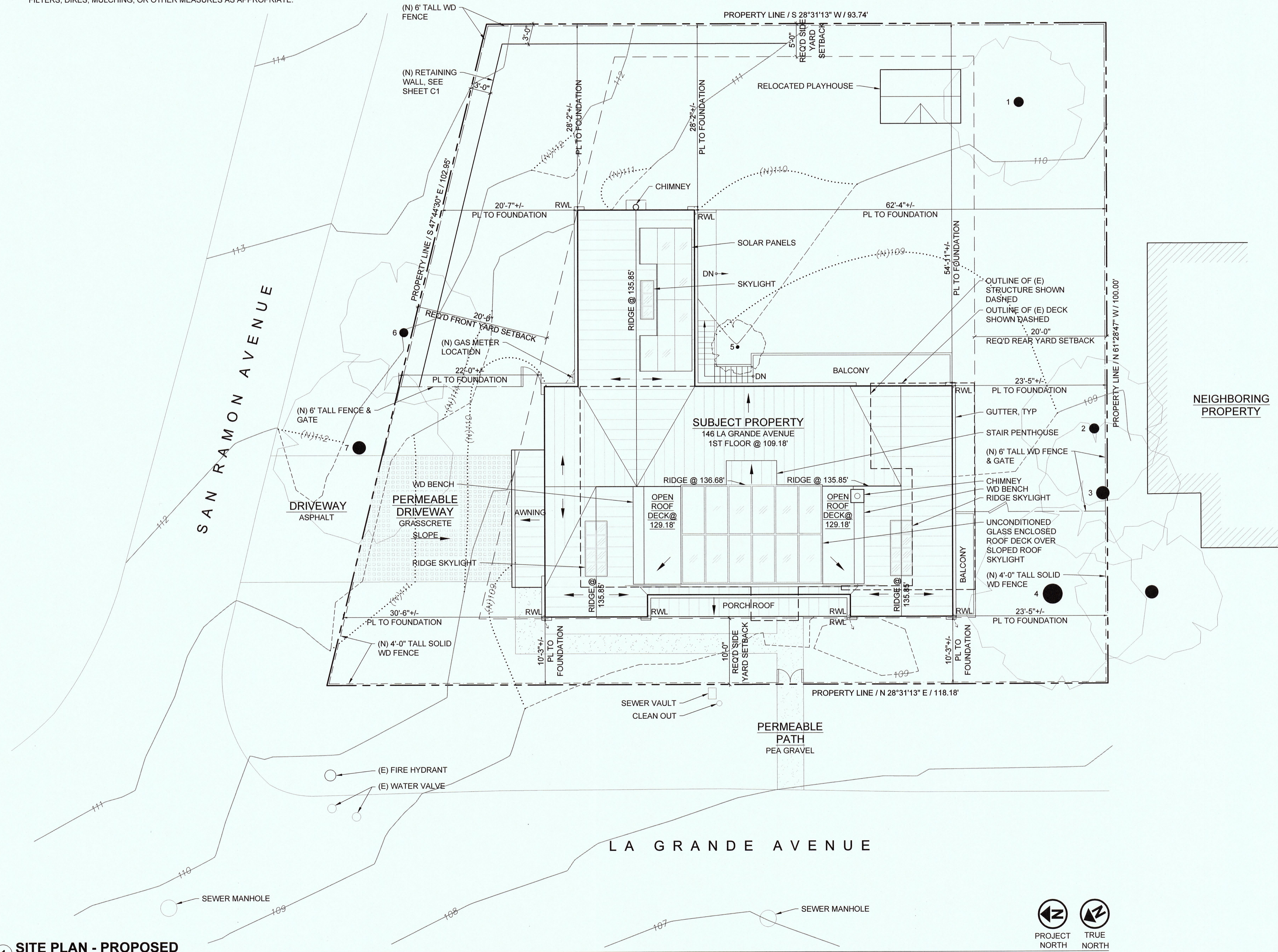
**LINE TYPE KEY:**

- 110 --- EXISTING CONTOUR LINE
- - - (E) 110 - - - EXISTING CONTOUR LINE TO BE REVISED/REMOVED
- ..... (N) 110 ..... PROPOSED CONTOUR LINE
- OUTLINE OF EXISTING STRUCTURE
- PROPERTY LINE
- SETBACK LINE
- 4'-0" TALL SOLID, HORIZ CEDAR BRD FENCE
- 4'-0" TALL SOLID, HORIZ CEDAR BRD FENCE W/ 2'-0" TALL OPEN HORIZ BRD'S ABOVE

**TREE LEGEND:**

- DECIDUOUS, 18" Ø
- DECIDUOUS, 18" Ø
- YUCCA, 24" Ø
- MONTEREY CYPRESS, 36" Ø
- BIRCH, 6" Ø, TO BE REMOVED
- DECIDUOUS, 16" Ø
- DECIDUOUS, 24" Ø

NEIGHBORING PROPERTY



1 SITE PLAN - PROPOSED

**Mark Reilly  
Architecture**

163 Park Street  
San Francisco, CA 94110

415-309-0107

markreillyarchitecture.com

REVISION HISTORY (THIS SHEET)

RECEIVED  
MAY 02 2017  
San Mateo County  
Planning and Building Department

PROJECT / CLIENT  
**PAIGE + SPANGLER RESIDENCE  
DESIGN REVIEW APPLICATION**

146 LA GRANDE AVENUE  
MOSS BEACH, CA 94038

OWNERS / JULIA PAIGE & DAN SPANGLER  
APN / 037-258-010  
SUBDIVISION / RIVIERA OCEAN VILLA, SAN MATEO COUNTY



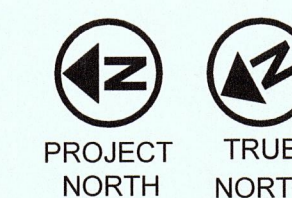
SHEET TITLE  
**SITE PLAN**

DATE / JULY 21, 2016

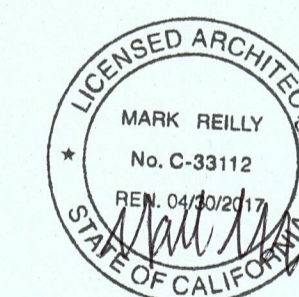
SCALE / 1/8" = 1'-0"

**A3**

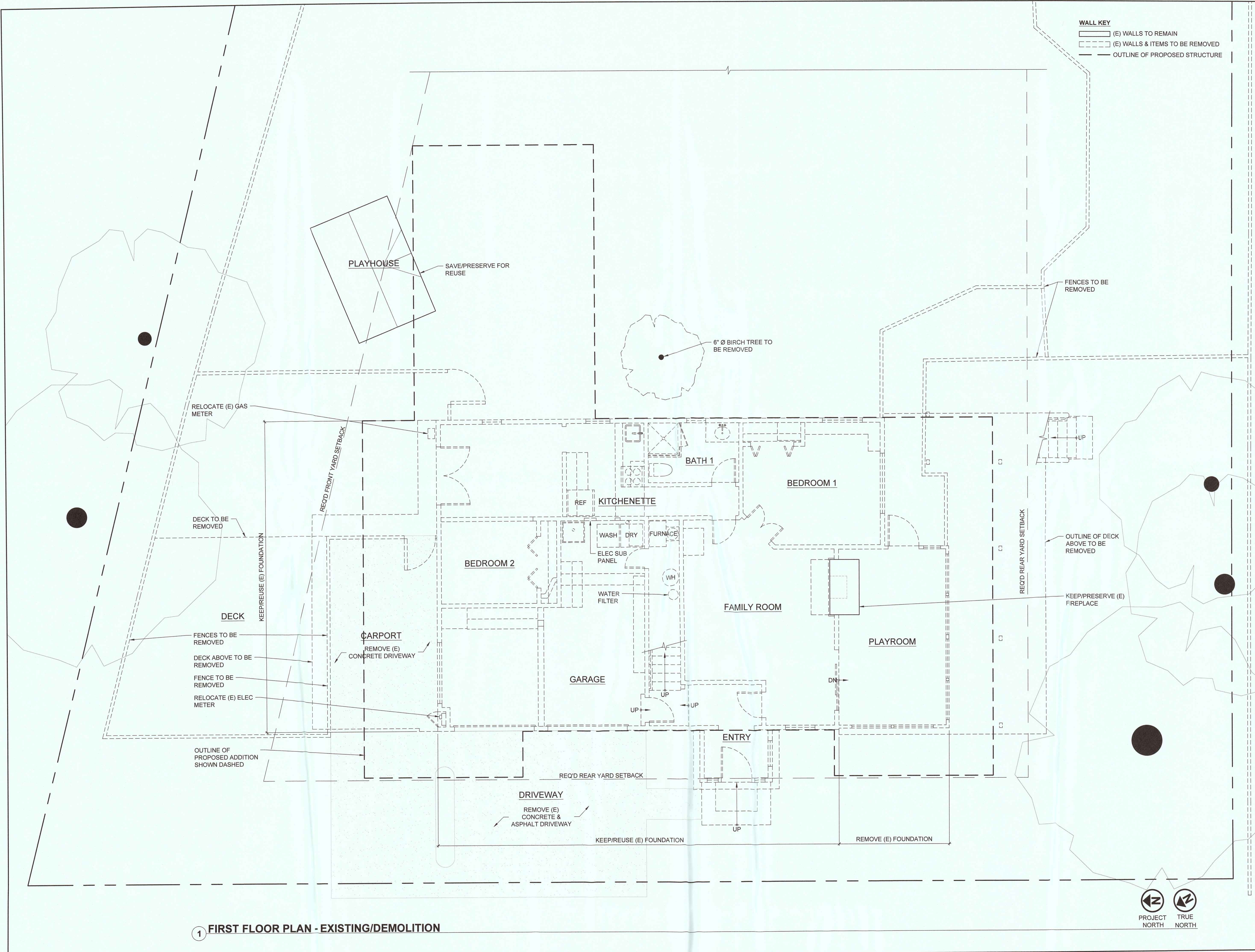
MARK REILLY ARCHITECTURE © 2016





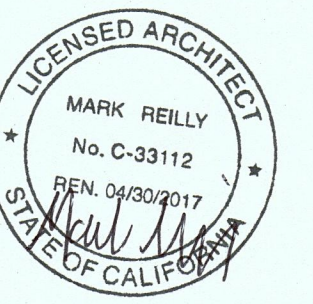


**WALL KEY**  
 (E) WALLS TO REMAIN  
 (E) WALLS & ITEMS TO BE REMOVED  
 OUTLINE OF PROPOSED STRUCTURE

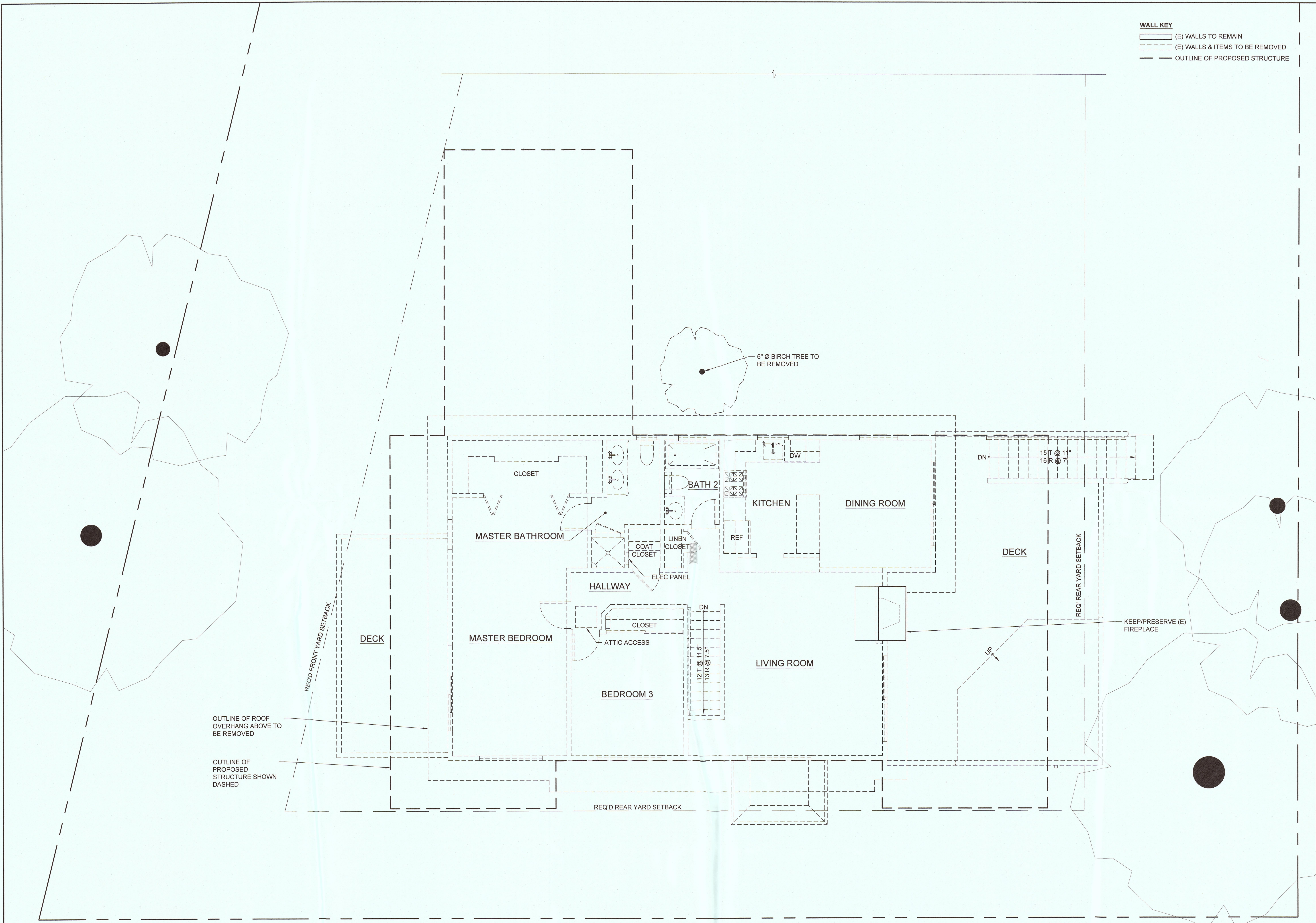


**1 FIRST FLOOR PLAN - EXISTING/DEMOLITION**

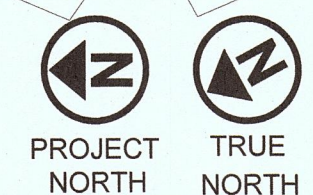




**WALL KEY**  
 [Solid Line] (E) WALLS TO REMAIN  
 [Dashed Line] (E) WALLS & ITEMS TO BE REMOVED  
 [Thin Solid Line] OUTLINE OF PROPOSED STRUCTURE



1 SECOND FLOOR PLAN - EXISTING/DEMOLITION





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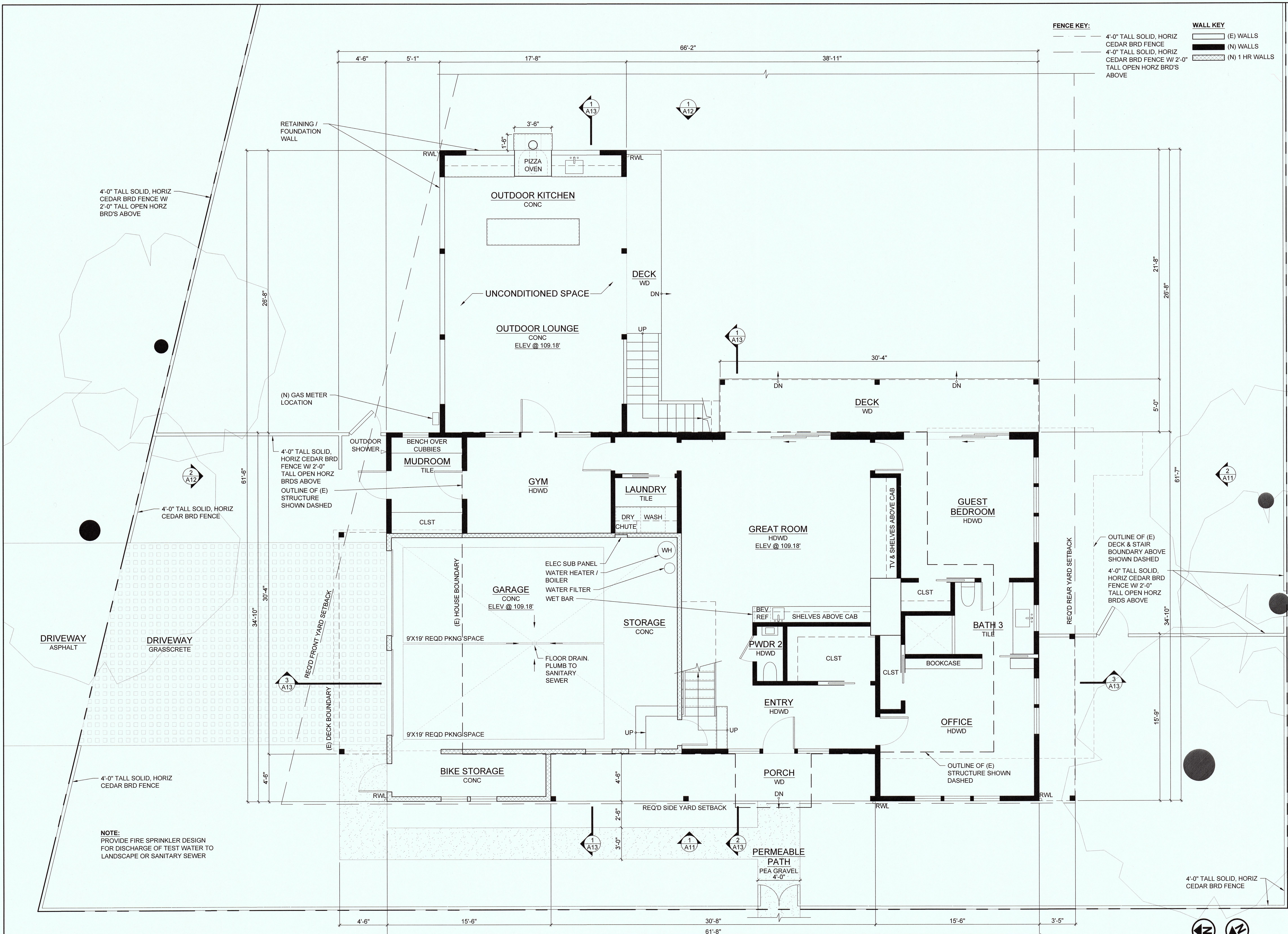
PROJECT / CLIENT



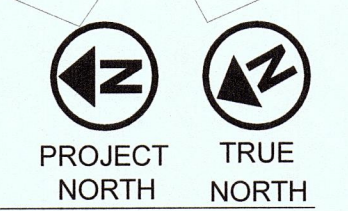
**1ST FLOOR PLAN -  
PROPOSED**

DATE / JULY 21, 2016  
SCALE / 1/4" = 1'-0"

**A6**



**1 FIRST FLOOR PLAN - PROPOSED**





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SUBDIVISION / RIVIERA OCEAN VILLA, SAN MATEO COUNTY

PROJECT / CLIENT



SHEET TITLE

**2ND FLOOR PLAN -  
PROPOSED**

DATE / JULY 21, 2016

SCALE / 1/4" = 1'-0"

**A7**

**WALL KEY**  
 (E) WALLS  
 (N) WALLS

**1 SECOND FLOOR PLAN - PROPOSED**

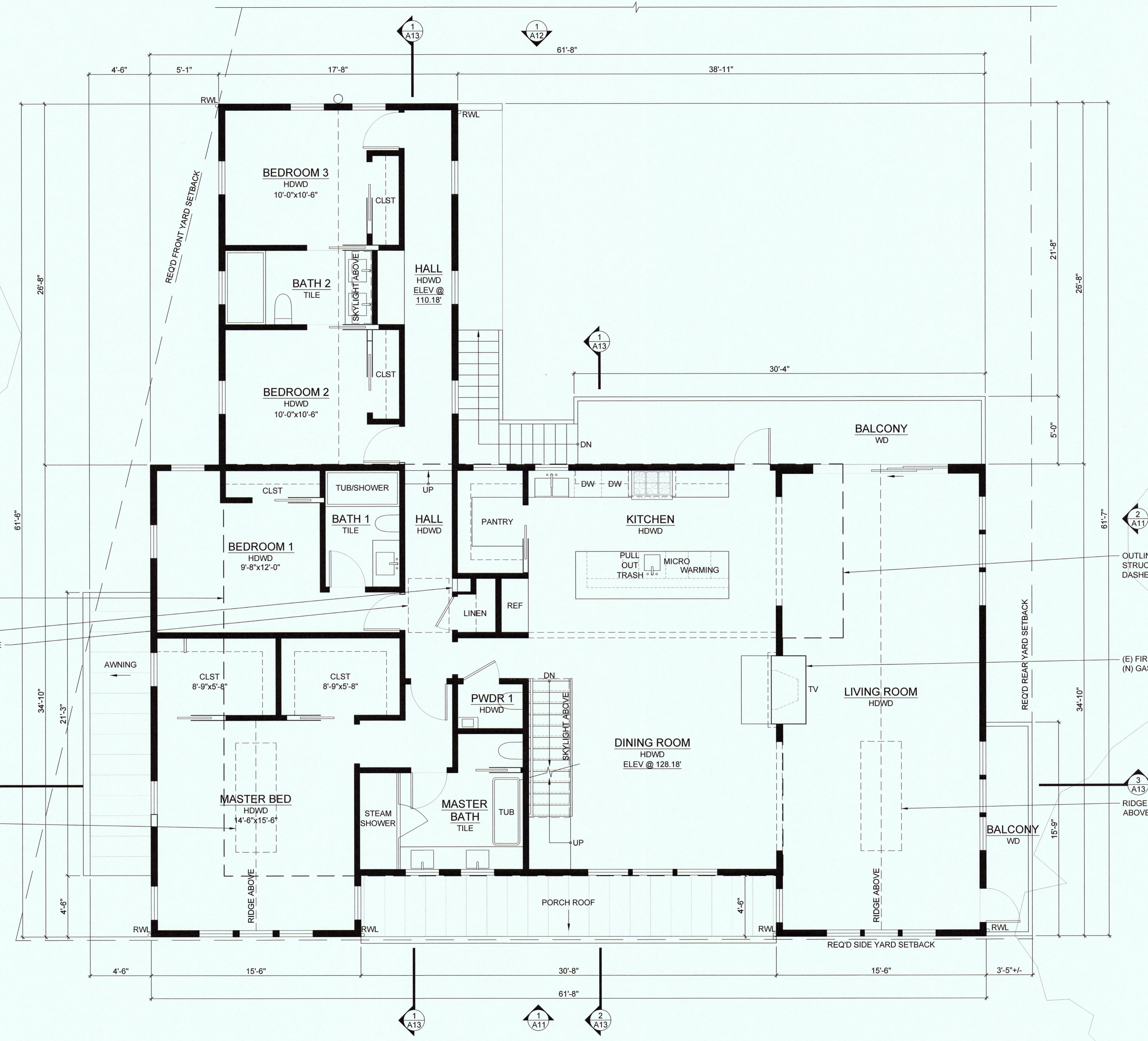
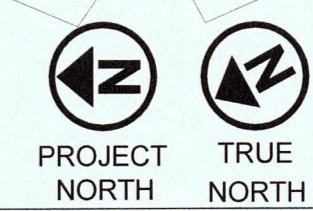
OUTLINE OF (E) STRUCTURE SHOWN DASHED  
LAUNDRY CHUTE  
ATTIC ACCESS ABOVE

RIDGE SKYLIGHT ABOVE

OUTLINE OF (E) STRUCTURE SHOWN DASHED

(E) FIREPLACE W/ (N) GAS INSERT

RIDGE SKYLIGHT ABOVE





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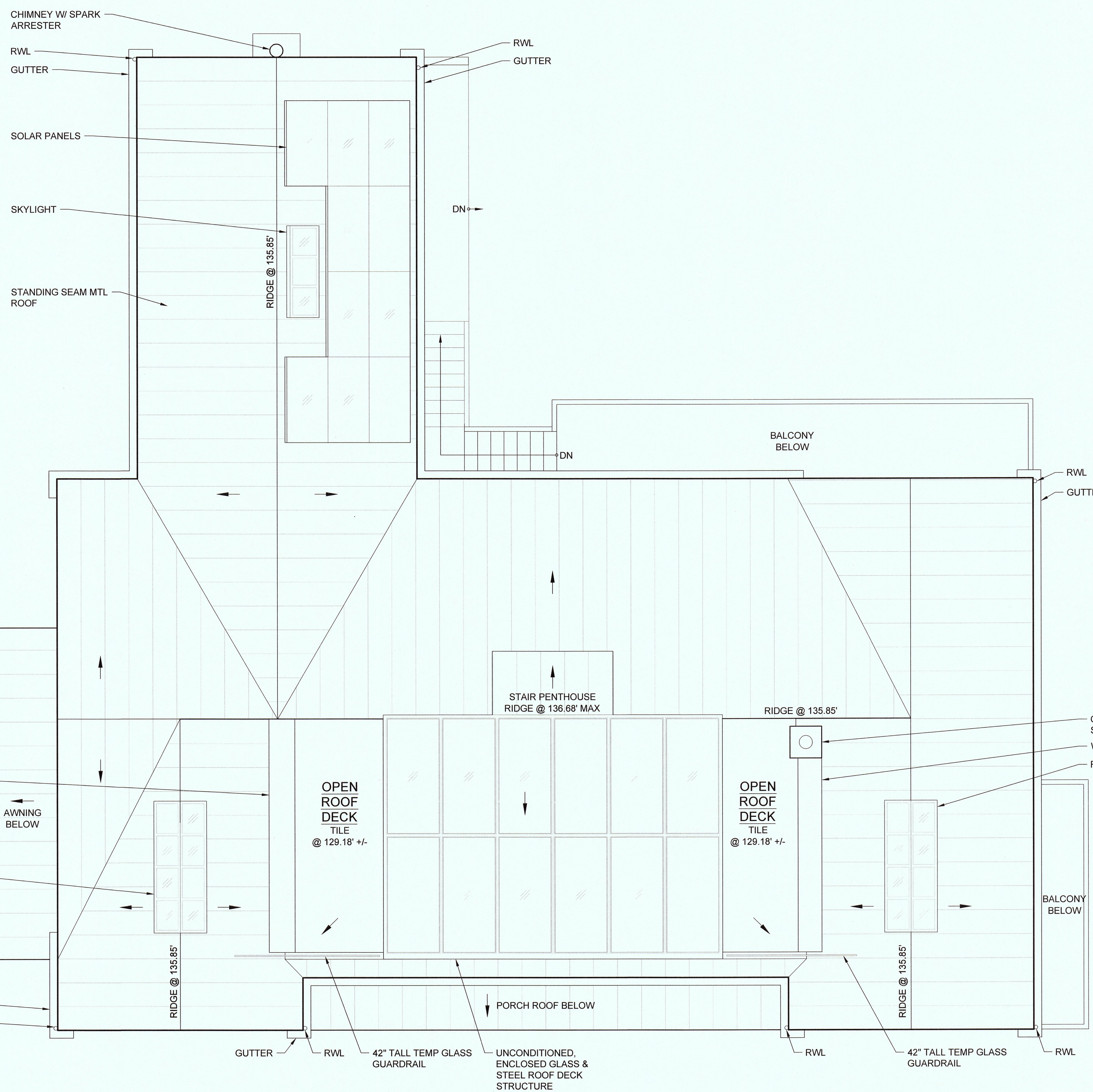
OWNERS / JULIA PAIGE & DAN SPANGLER  
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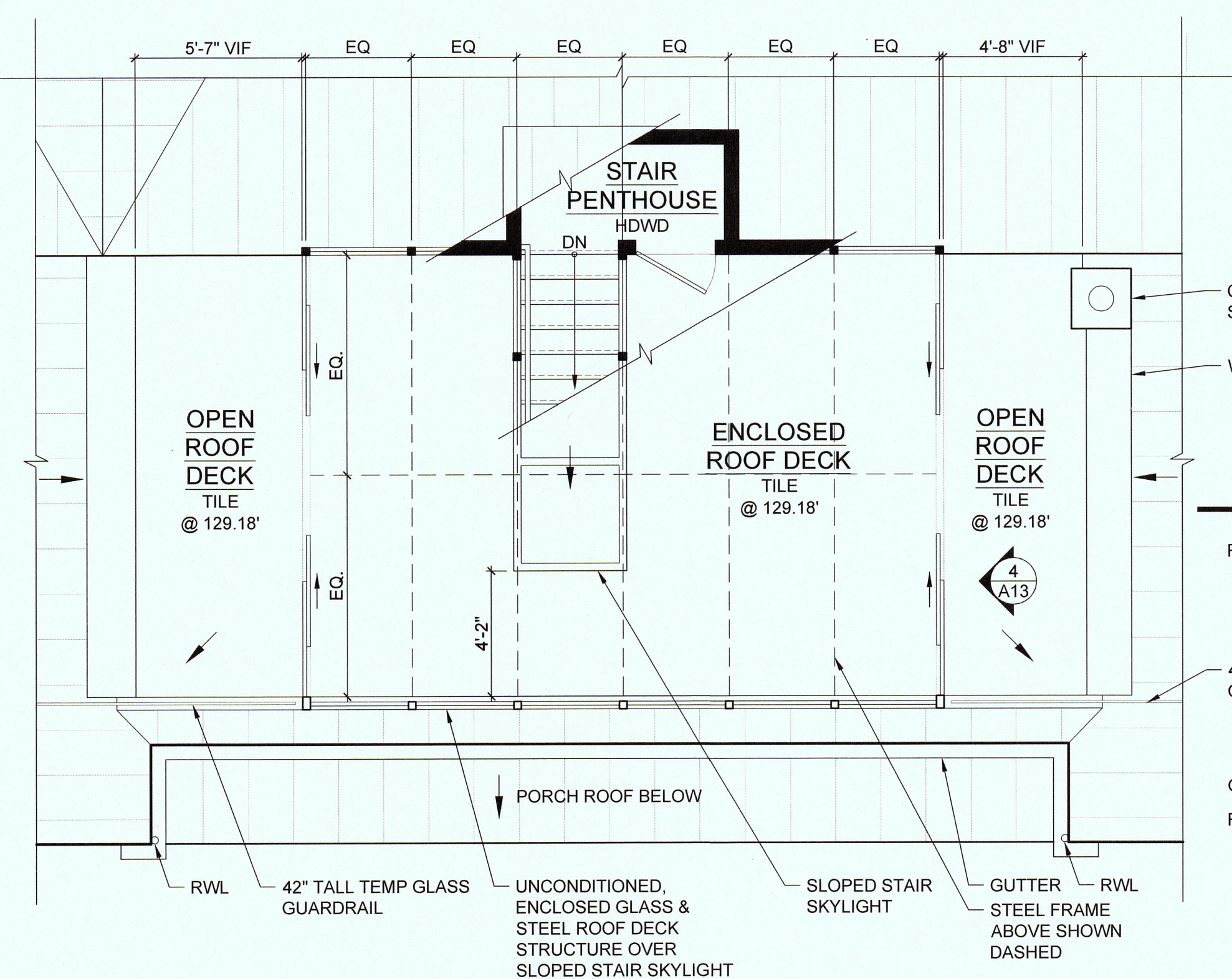
SHEET TITLE  
**ROOF PLAN -  
PROPOSED**

DATE / JULY 21, 2016  
SCALE / 1/4" = 1'-0"

**A8**



1 ROOF PLAN - PROPOSED



2 ROOF DECK PLAN - PROPOSED





1 WEST EXTERIOR ELEVATION - EXISTING

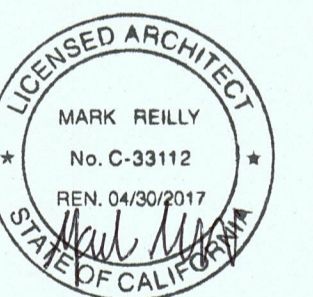


2 SOUTH EXTERIOR ELEVATION - EXISTING

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APN / 037-258-010  
SUBDIVISION / RIVIERA OCEAN VILLA, SAN MATEO COUNTY



SHEET TITLE  
**EXTERIOR ELEVATIONS -  
EXISTING**

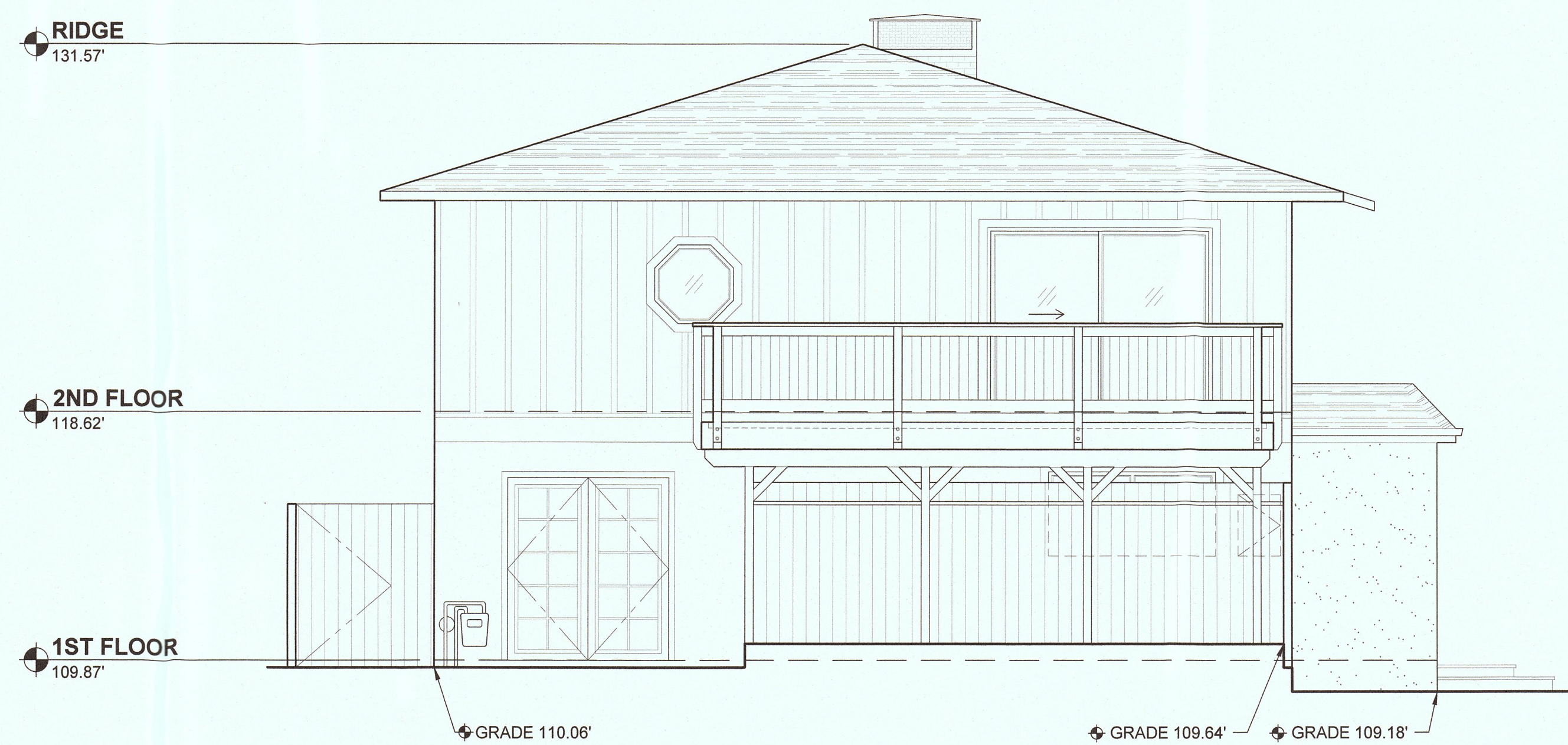
DATE / JULY 21, 2016  
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**A9**





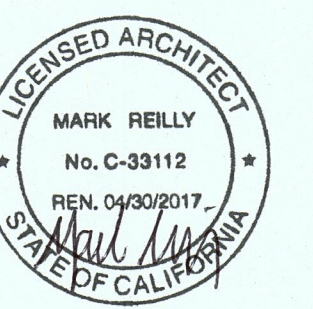
1 EAST EXTERIOR ELEVATION - EXISTING



2 NORTH EXTERIOR ELEVATION - EXISTING

PROJECT / CLIENT  
**PAIGE + SPANGLER RESIDENCE**  
DESIGN REVIEW APPLICATION

146 LA GRANDE AVENUE  
MOSS BEACH, CA 94038  
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APN / 037-256-010  
SUBDIVISION / RIVIERA OCEAN VILLA, SAN MATEO COUNTY



SHEET TITLE  
**EXTERIOR ELEVATIONS -  
EXISTING**

DATE / JULY 21, 2016  
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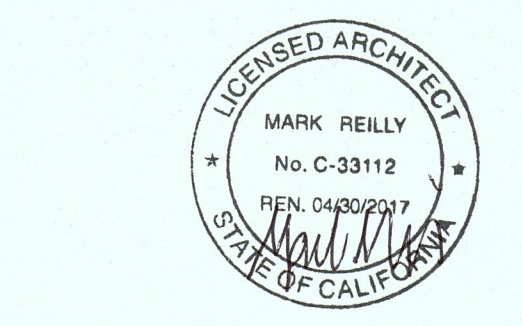
**A10**



PROJECT / CLIENT  
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APN / 037-258-010  
SUBDIVISION / RIVIERA OCEAN VILLA, SAN MATEO COUNTY

146 LA GRANDE AVENUE  
MOSS BEACH, CA 94038



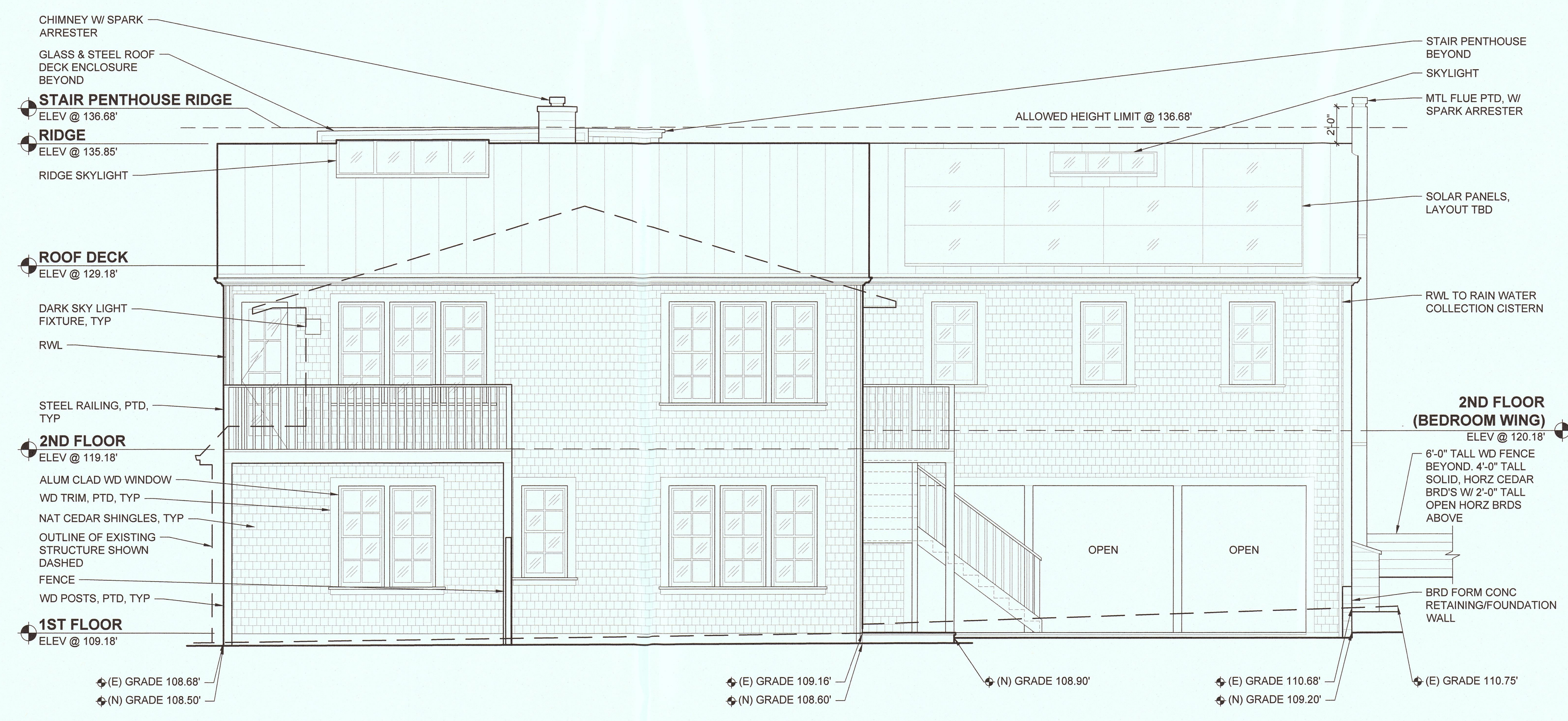
SHEET TITLE  
**EXTERIOR ELEVATIONS -  
PROPOSED**

DATE / JULY 21, 2016  
SCALE / 1/4" = 1'-0"

**A11**



**1 WEST EXTERIOR ELEVATION - PROPOSED**



**2 SOUTH EXTERIOR ELEVATION - PROPOSED**



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**PROJECT / CLIENT**  
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**DESIGN REVIEW APPLICATION**

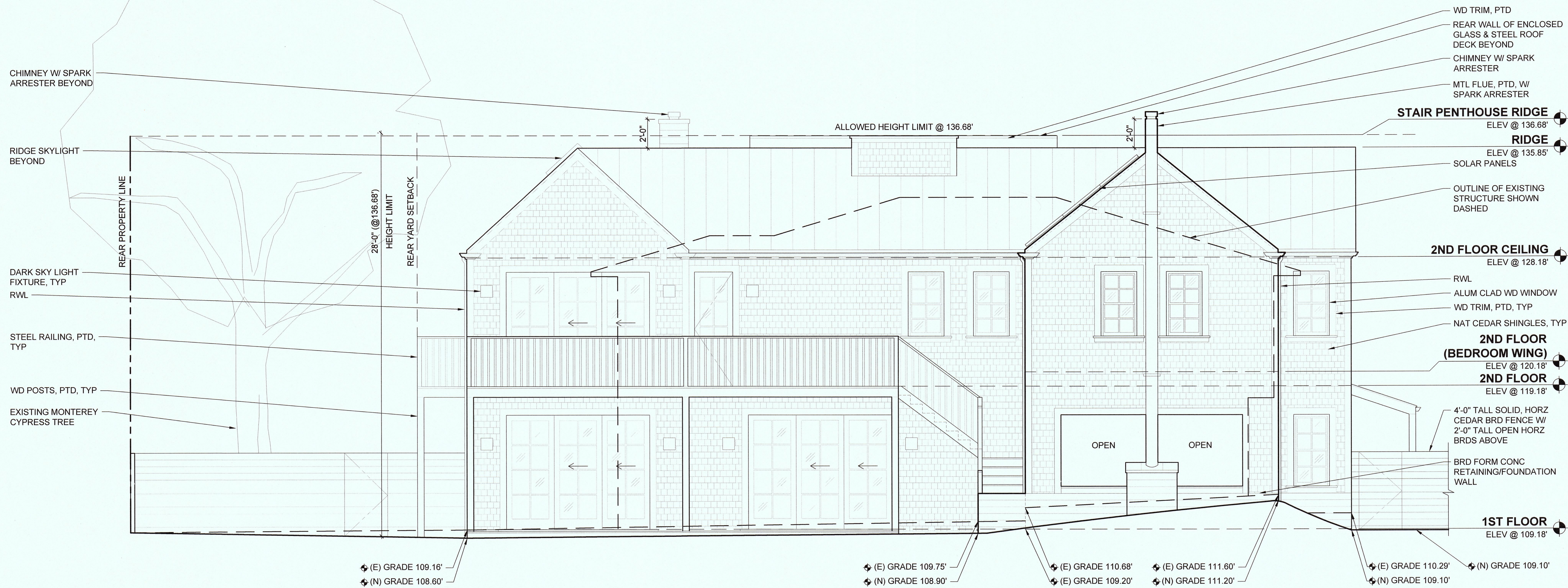
146 LA GRANDE AVENUE  
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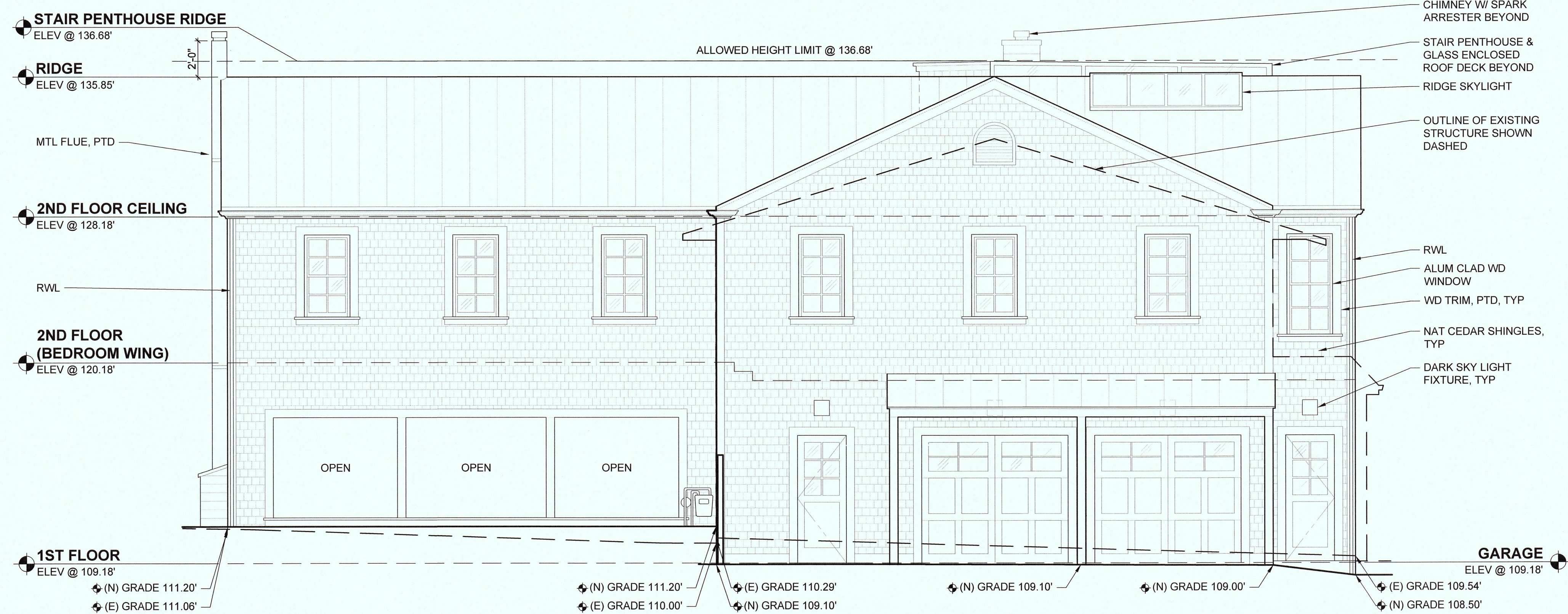
**SHEET TITLE**  
**EXTERIOR ELEVATIONS -  
PROPOSED**

DATE / JULY 21, 2016  
SCALE / 1/4" = 1'-0"

**A12**

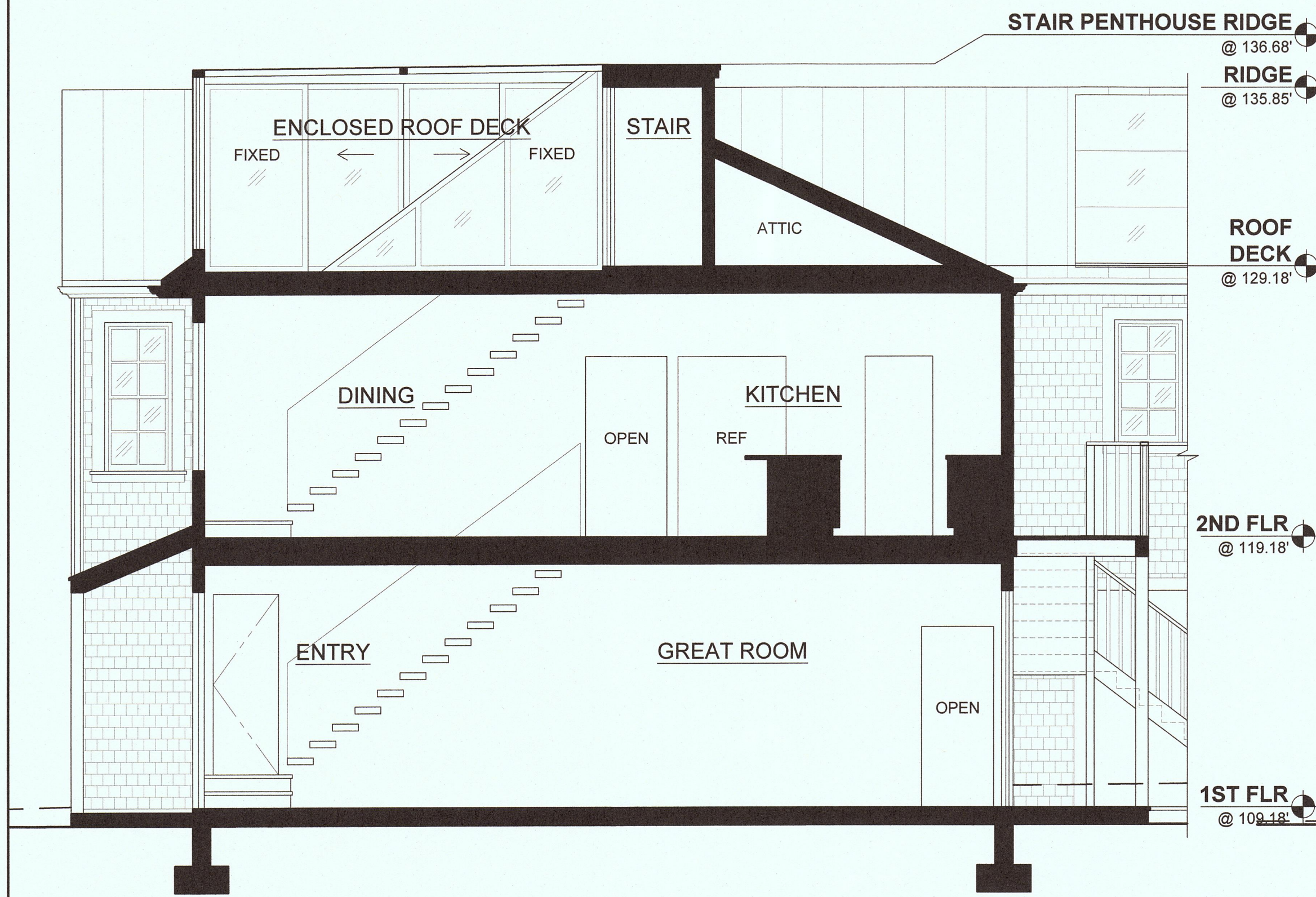


**1 EAST EXTERIOR ELEVATION - PROPOSED**

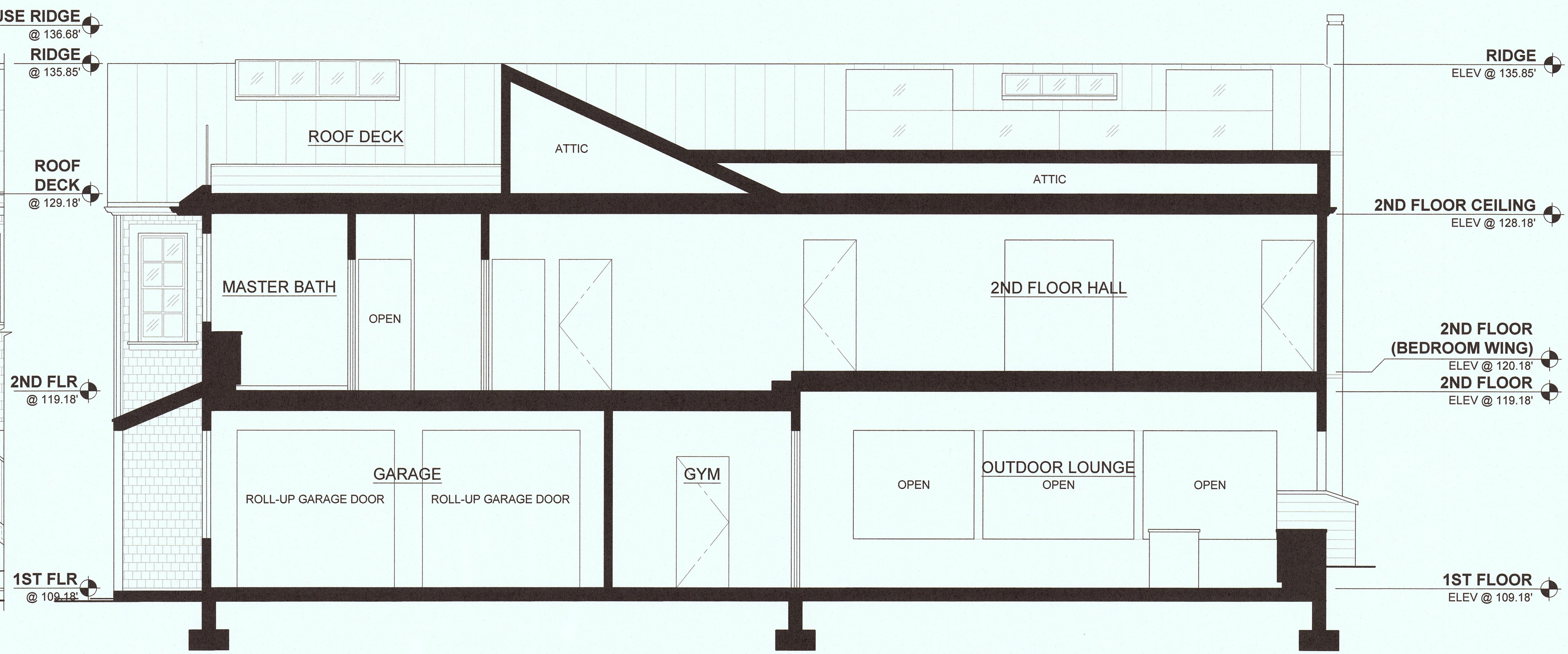


**2 NORTH EXTERIOR ELEVATION - PROPOSED**

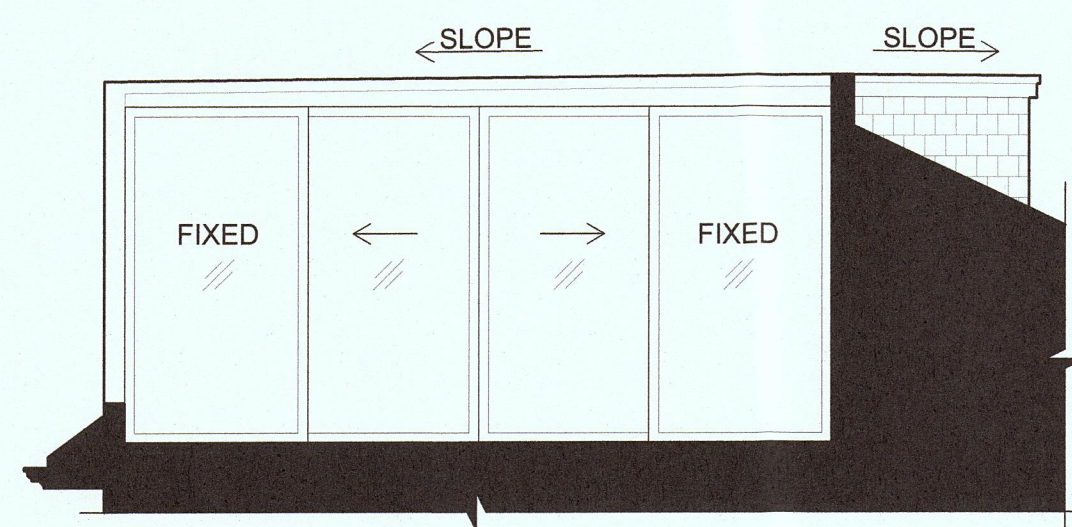




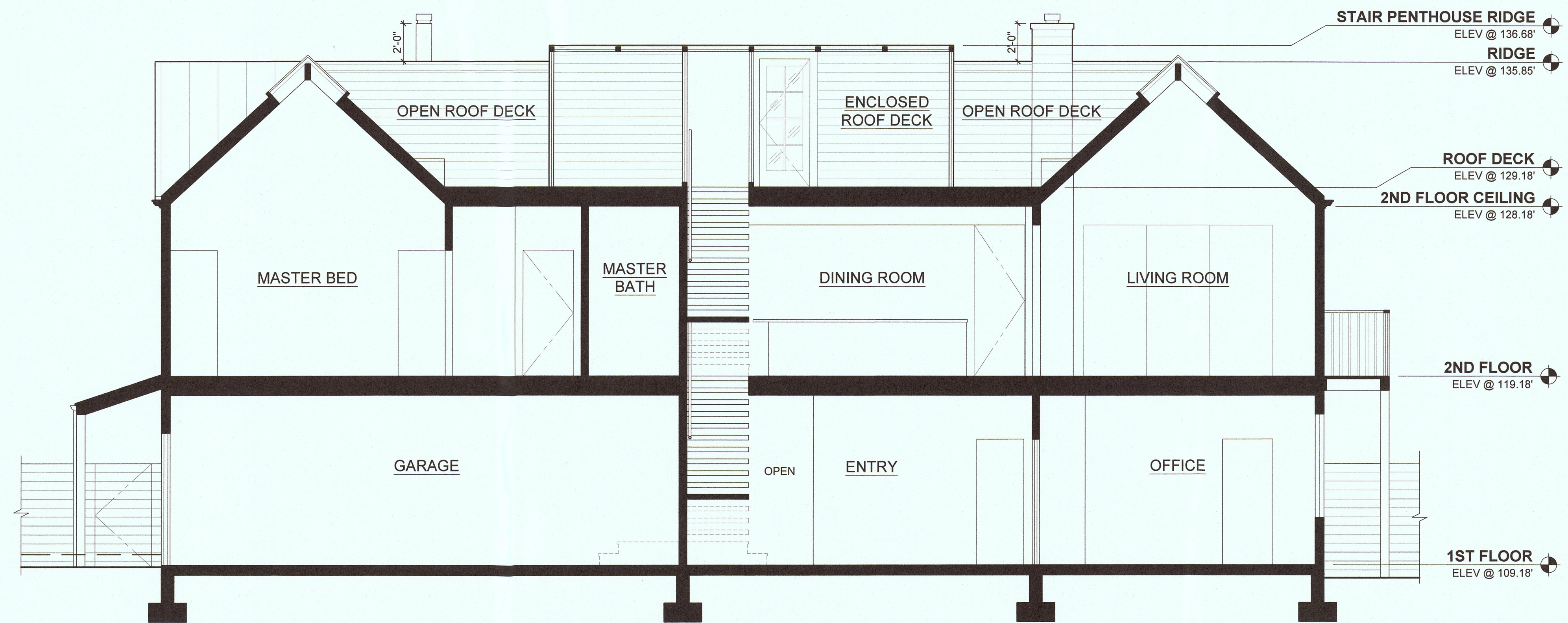
2 WEST TO EAST SECTION - PROPOSED



1 WEST TO EAST SECTION - PROPOSED



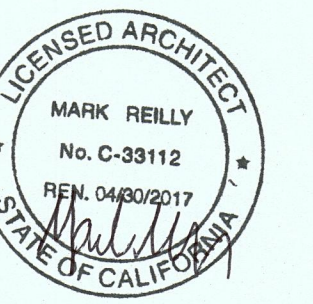
4 ENCLOSED ROOF DECK - PROPOSED  
(SOUTH ELEVATION, NORTH SIMILAR)



3 NORTH TO SOUTH SECTION - PROPOSED

PROJECT / CLIENT  
**PAIGE + SPANGLER RESIDENCE**  
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SHEET TITLE  
**CROSS SECTIONS -  
PROPOSED**

DATE / JULY 21, 2016  
SCALE / 1/4" = 1'-0"

**A13**



