

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

# Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2016-00234

Other Permit #: \_\_\_\_\_

## Basic Information

### Applicant:

Name: JACK McARTHUR DESIGN  
Address: 60297 BLAUER LANE  
SAN JOSE Zip: 95135  
Phone, W: 408 859-2180 H: \_\_\_\_\_  
Email: McARTHURDESIGN@yahoo.com

### Owner (if different from Applicant):

Name: TOM CARLEY  
Address: 1580 CAUDLE AVE, UNIT U  
SAN CARLOS Zip: 94070  
Phone, W: \_\_\_\_\_ H: \_\_\_\_\_  
Email: TC@carleyrealty.com

### Architect or Designer (if different from Applicant):

Name: APPLICANT  
Address: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

## Project Site Information

### Project location:

APN: 048-024-430  
Address: CORNADO DR  
MIDWAY CA. Zip: \_\_\_\_\_  
Zoning: R1/594/DR/CO  
Parcel/lot size: 10,600 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

## Project Description

### Project:

- New Single Family Residence: 3505 LIVING 707 GARAGE sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

COASTS SITE & CONSTRUCT  
NEW RESIDENCE w/ 3  
CAR GARAGE

Fill In Blanks:

Material

SHERRILL WILLIAMS  
SOLID STAIN  
Color/Finish

Check if  
matches  
existing

(If different from existing, attach sample)

a. Exterior walls	WOOD	CYPRESS MOSS	<input type="checkbox"/>
b. Trim	WOOD	MAVADO WHITE	<input type="checkbox"/>
c. Windows	MTL CLAD WOOD	BROWN	<input type="checkbox"/>
d. Doors	WOOD	STAIN WOOD TONE	<input type="checkbox"/>
e. Roof	ASPHALT SHINGLES	CHAR COAL	<input type="checkbox"/>
f. Chimneys	WOOD		<input type="checkbox"/>
g. Decks & railings	MA.		<input type="checkbox"/>
h. Stairs	MA.		<input type="checkbox"/>
i. Retaining walls	WOOD	NATURAL	<input type="checkbox"/>
j. Fences	MA.		<input type="checkbox"/>
k. Accessory buildings	MA.		<input type="checkbox"/>
l. Garage/Carport	ATTACHED	CYPRESS MOSS	<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: CTJ, LLC - THOMAS J. CAREY

Applicant: [Signature]

Date: 6/1/16

Date: 6/3/16



# Environmental Information Disclosure Form

Planning and Building Department

PLN \_\_\_\_\_

BLD \_\_\_\_\_

Project Address: COLONADO DRMS  
MIRIMAR, CA.

Name of Owner: TOM CROGGY  
Address: 1580 CAHILL AVE UNIT 0  
Phone: \_\_\_\_\_

Assessor's Parcel No.: 043-02A-430

Name of Applicant: JACK MURPHY DESIGN  
Address: 6257 BLANCK LANE  
S.J. 95135 Phone: 408 859-2180

Zoning District: R-1/S9A/DR/CO.

## Existing Site Conditions

Parcel size: 10,600

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).  
GRASS COVERED LOT.

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>130</u> c.y. Fill: <u>20</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

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## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

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## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <b>10,000 sq. ft.</b> or more of impervious surface?</p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. Land disturbance of <b>1 acre</b> or more of area?</p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: \_\_\_\_\_

(Applicant may sign)

Date: \_\_\_\_\_

5/31/16

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San Mateo County  
Planning and Building Department

# Application for a Coastal Development Permit

455 County Center, 2nd Floor • Redwood City, CA 94063  
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

## Companion Page

Applicant's Name: Jack McCarthy

Primary Permit #: \_\_\_\_\_

### Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 4. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes  No

If yes, list Assessor's Parcel Number(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes  No

If yes, explain (include date and application file numbers).

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### 5. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>WOOD</u>	<u>CYPRESS MOSS</u>	<input type="checkbox"/>
b. Trim	<u>WOOD</u>	<u>NAVY WHITE</u>	<input type="checkbox"/>
c. Roof	<u>ASPHALT SHINGLES, MAT</u>	<u>CHARCOAL</u>	<input type="checkbox"/>
d. Chimneys	<u>WOOD</u>	<u>CUPPER</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>NA.</u>		<input type="checkbox"/>
f. Decks/Stairs	<u>NA.</u>		<input type="checkbox"/>
g. Retaining Walls	<u>STACK STONE WOOD</u>	<u>NATURAL</u>	<input type="checkbox"/>
h. Fences	<u>NA.</u>		<input type="checkbox"/>
i. Storage Tanks	<u>NA.</u>		<input type="checkbox"/>

**4. Project Information**

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| j. Grading or alteration of landforms?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| k. Landscaping?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- i. GRASS ON (E) LOT.
- j. GRADING FOR BLDG PLAN
- k. LANDSCAPE FOR NEW RESIDENCES

**5. Staff Use Only**

**California Coastal Commission Jurisdiction**

- A. Does the Proposed Project Involve:**
1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------
  2. Construction or grading within 100 feet of a stream or wetland?
 

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------
  3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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- Commission; a public hearing is always required.
- B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).**
- |                              |                             |
|------------------------------|-----------------------------|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|------------------------------|-----------------------------|

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal



JUN 02 2016

# Jack McCarthy

**Designer, Inc.**

6257 Blauer Lane  
San Jose, CA 95135  
408.973.0162

## Carey Residence

Coronado Drive, Mirimar, CA

Presently the site is a gently side sloping lot. Also, there are no existing residences on either side of the lot. There is one residence to the rear. Our design includes a side entry garage with a driveway that comes off the lower front corner of the site. The side entry for the garage reduces the impact that 3 garage doors will make to the front elevation. Also, the orientation of the garage will reduce the required grading of the site and allow the residence to better flow with the side slope of the lot and adjoining street. The family room is centered to the rear of the site to give a nice rear family space. Our floor plan allows for smaller wall sections which break up the wall facades and the materials, being wood board and batt along with cedar shingle siding, and will soften the impact of the residence when viewed from the street and by the neighbors.

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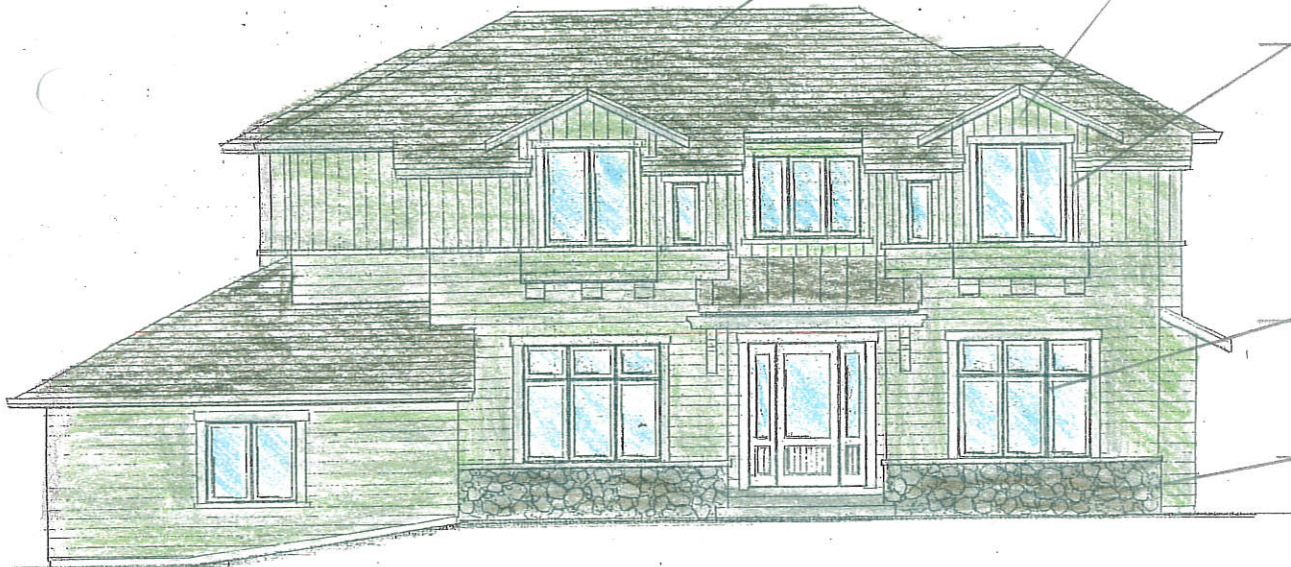
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San Mateo County  
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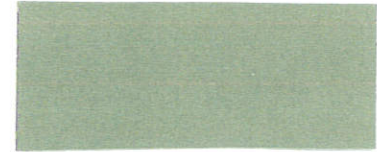
San Mateo County  
Planning and Building Department



ROOF ASPHALT SHINGLES  
& METAL ROOF.

CHARCOAL

BODY: CYRENUS MOUNTAIN  
SW 3041



TRIM MANAJO WHITE  
SW 3005



SAW BRONZE

STONE CAL STONE

## Color Board

Carey Residence, Coronado Drive, Mirimar, CA

Jack McCarthy Designer, Inc.  
6257 Blauer Lane  
San Jose, CA 95135  
408 973-0162

The colors and materials represented here have been approved by the San Mateo County Design Review Board. Please call 650 363-1825 with any questions, comments, or concerns. This is project PLN \_\_\_\_\_

PLN 2016-00234

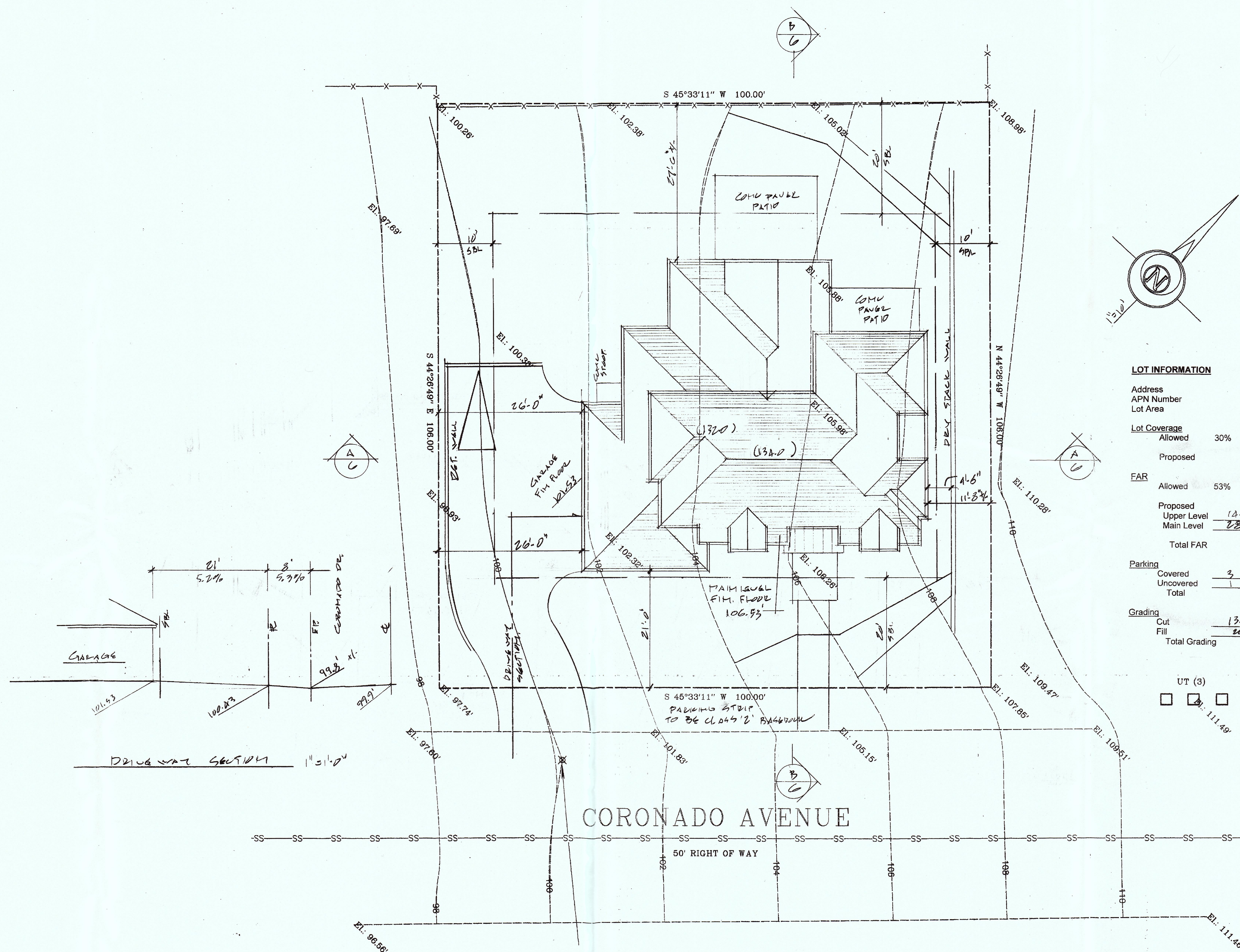


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**Carey Residence**  
 New Residence  
 Coronado Drive, Millimar, CA

**Jack McCarthy Designer, Inc.**  
 6257 Blauer Lane San Jose California 95135 408 973-0162

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**LOT INFORMATION**

Address		1080-ADD DR
APN Number		043-074-430
Lot Area		12,602.4
Lot Coverage		
Allowed	30%	3180.4
Proposed		2879.4
FAR		
Allowed	53%	5618.4
Proposed		
Upper Level	1494	
Main Level	2811	
Total FAR		4305.4
Parking		
Covered	3	
Uncovered		
Total		3
Grading		
Cut	130	
Fill	20	
Total Grading		150.00 yds

CORONADO AVENUE

BENCH MARK:  
 A MAG NAIL AND SHINER WAS SET IN THE PAVEMENT  
 AND USED AS THE DATUM POINT FOR THIS SURVEY.  
 ELEVATION = 100.00 (ASSUMED DATUM)

PLOT PLAN 1"=10'

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 San Mateo County  
 Planning Division  
 Pln 2016-234

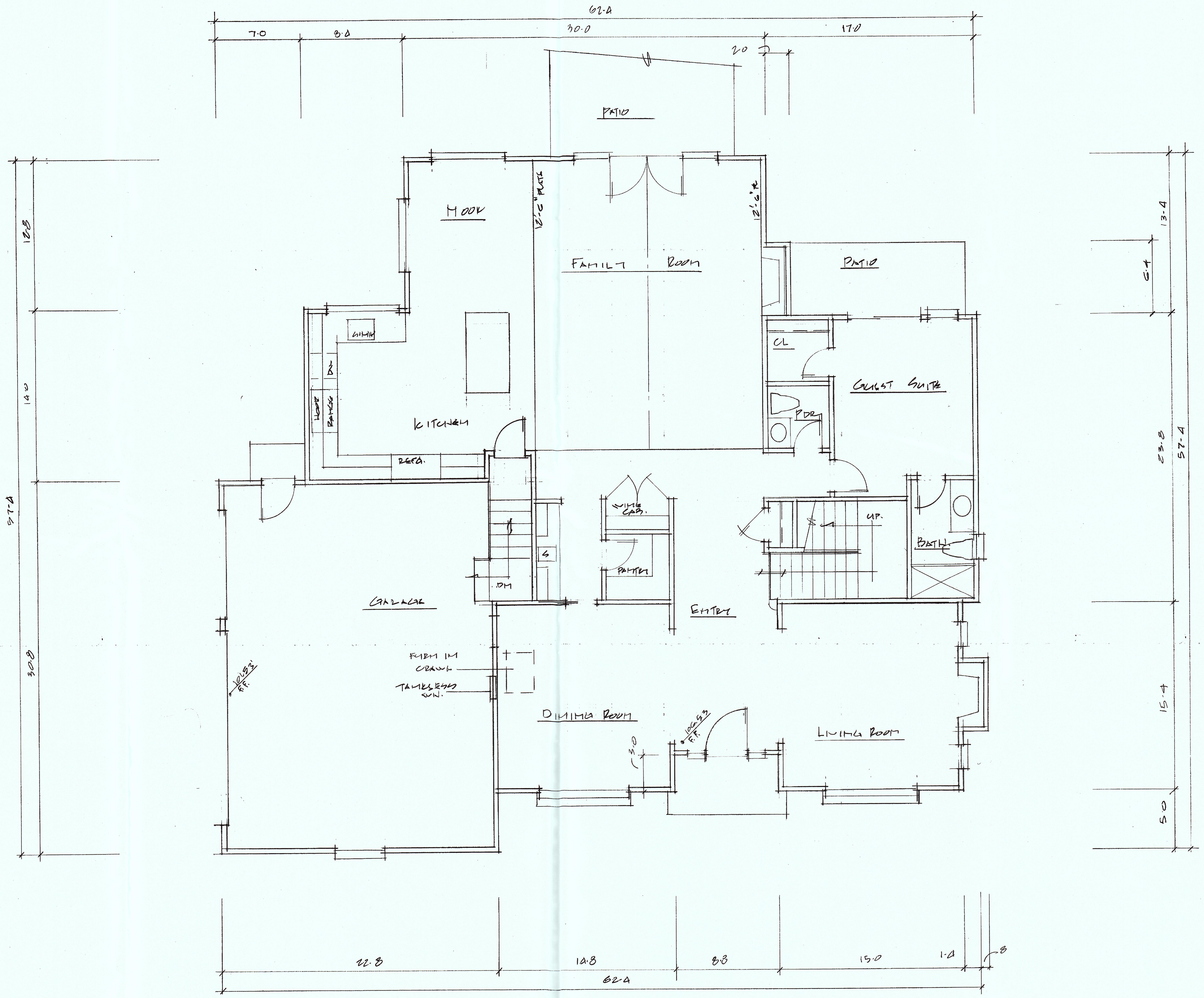


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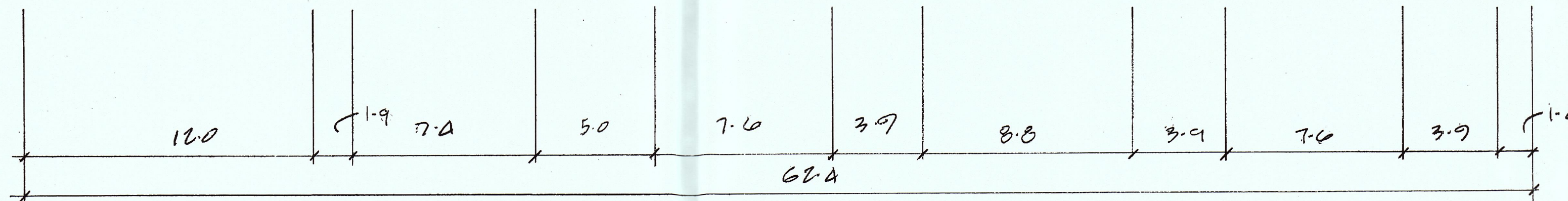
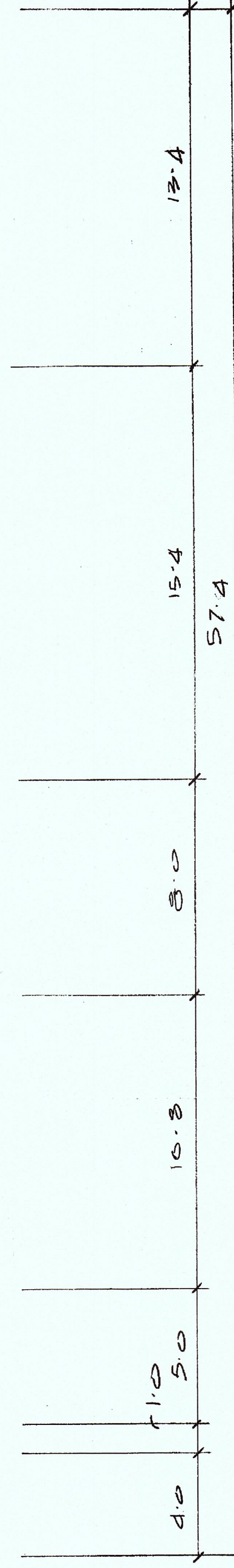
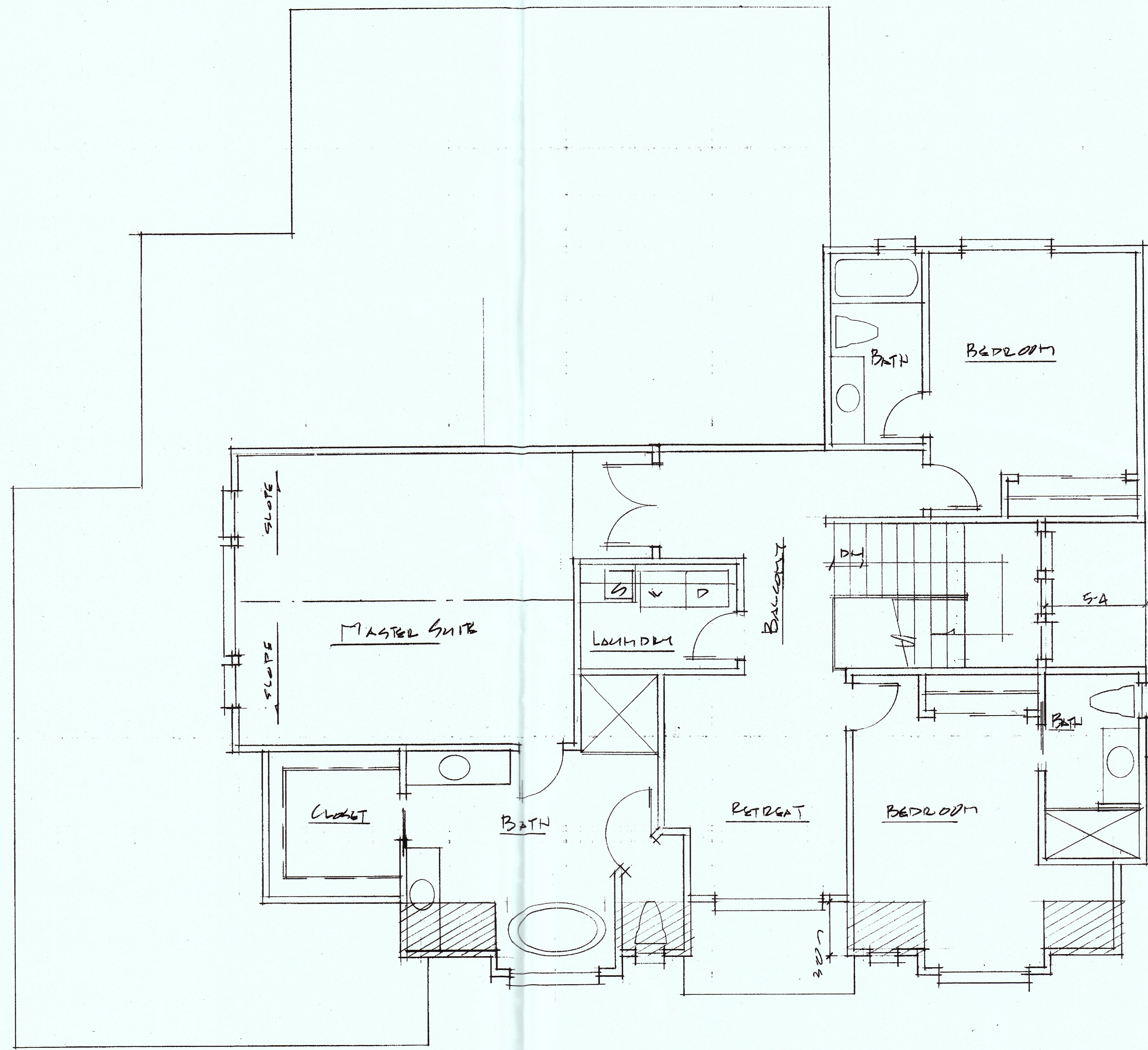
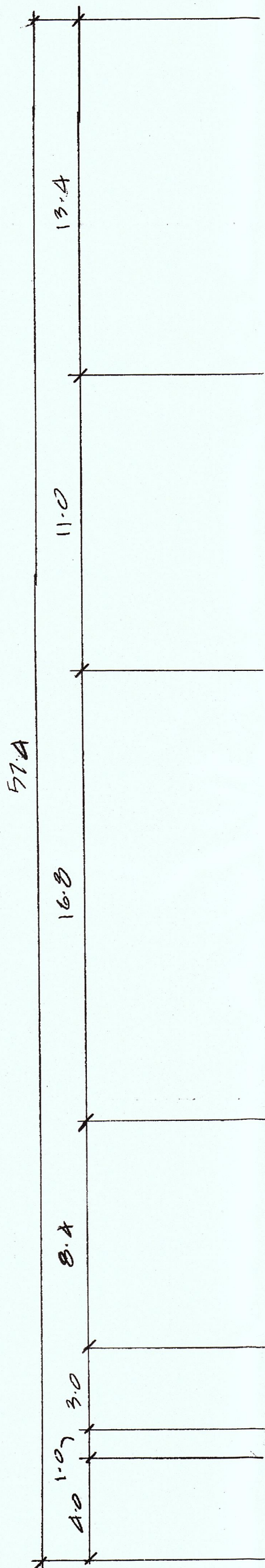
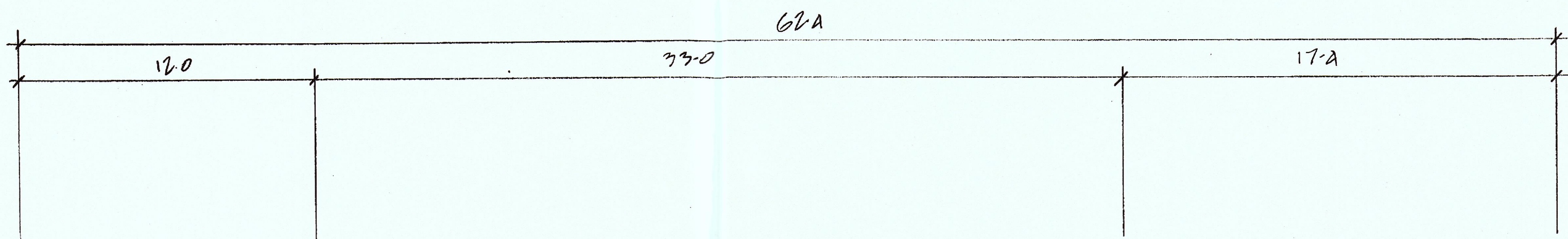
**Carey Residence**  
 New Residence  
 Coronado Drive, Miramar, CA

**Jack McCarthy Designer, Inc.**  
 San Jose California 95135 408 973-0162  
 6257 Blauer Lane

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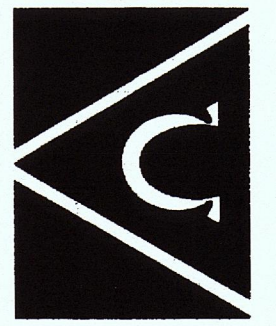


UPPER LEVEL FLOOR PLAN  
LIVING AREA 1401

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**Carey Residence**  
New Residence  
Coronado Drive, Mirimar, CA

**Jack McCarthy Designer, Inc.**  
San Jose California 95135 408 973-0162  
6257 Blauer Lane



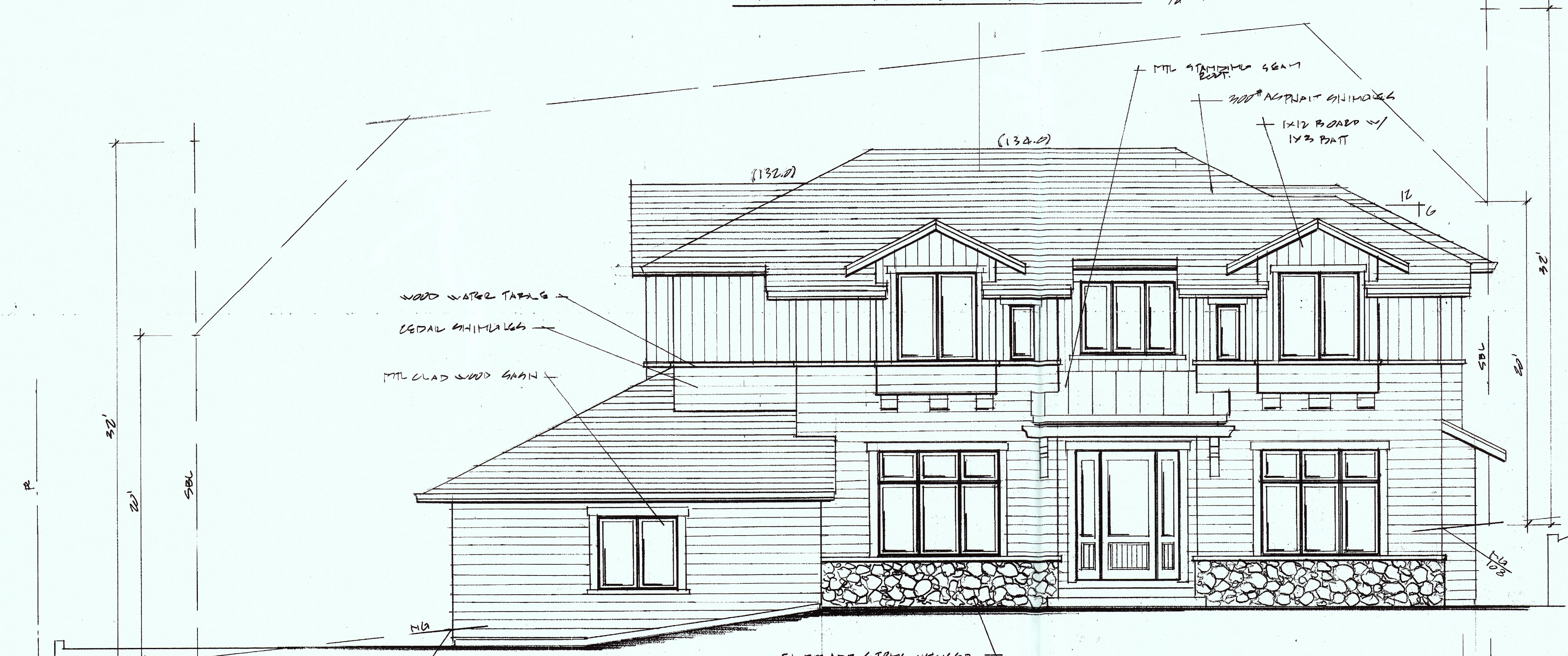
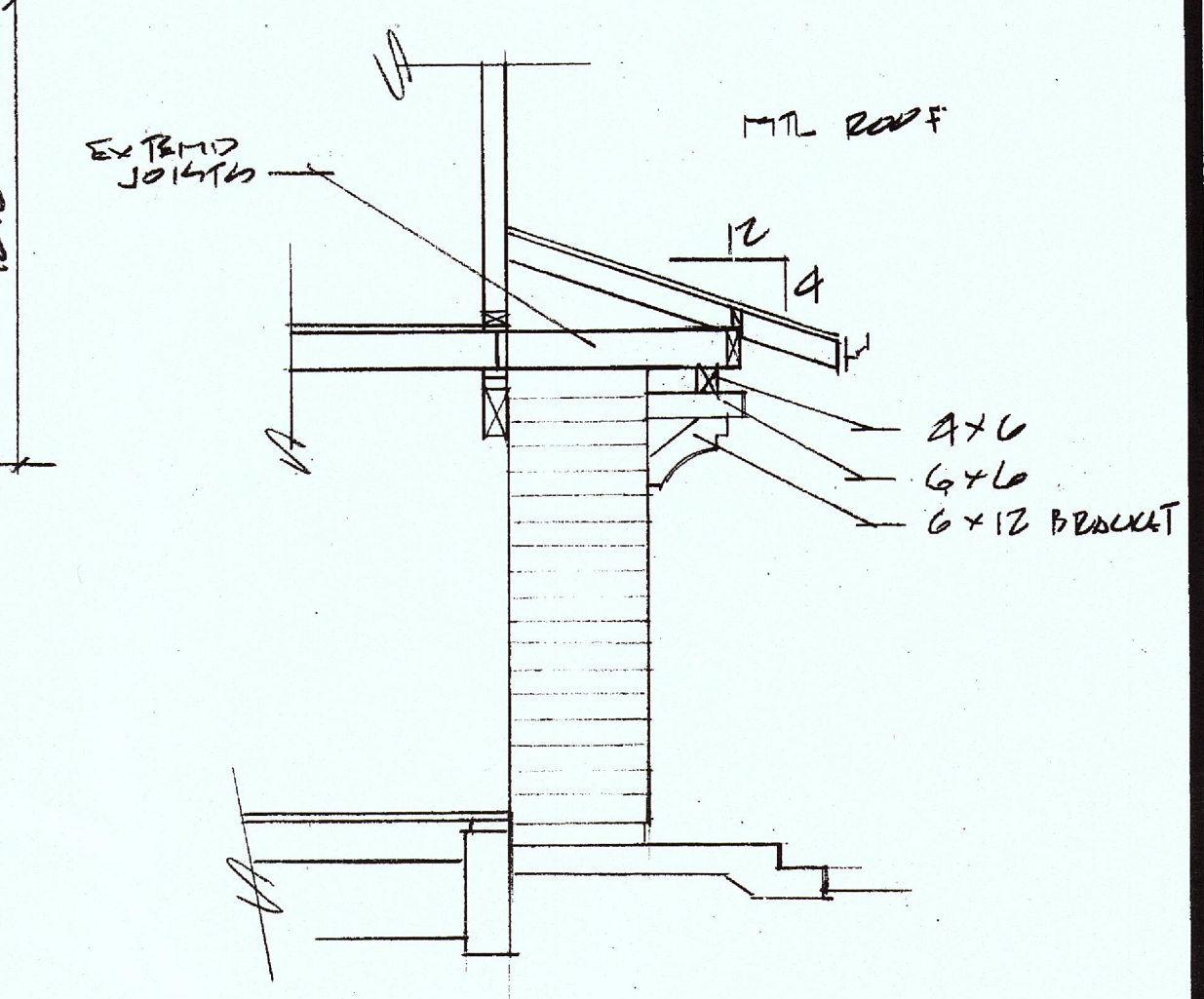
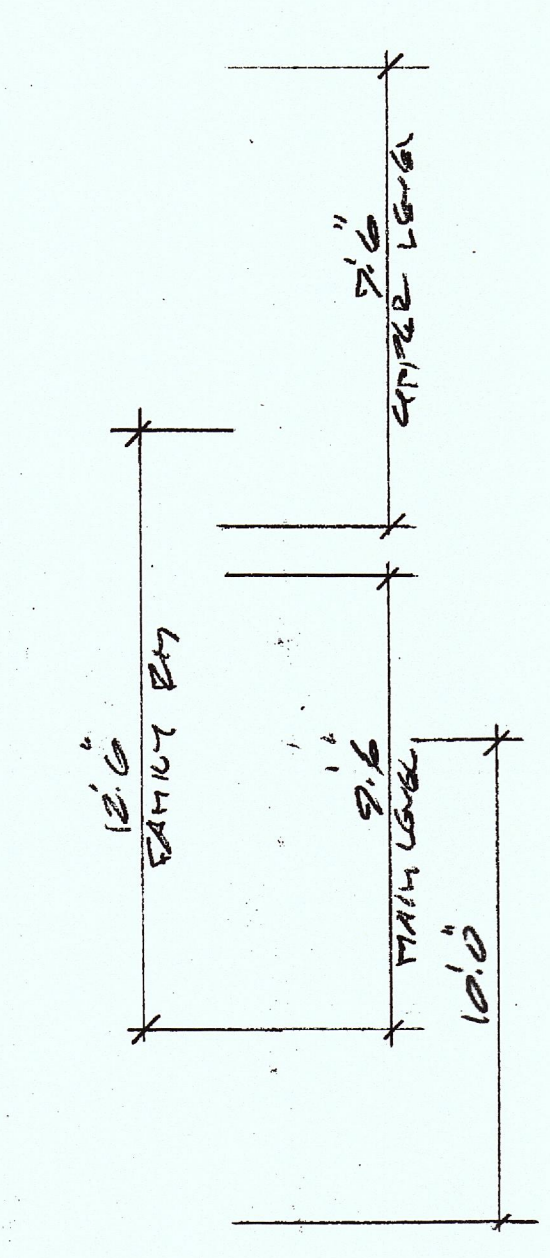
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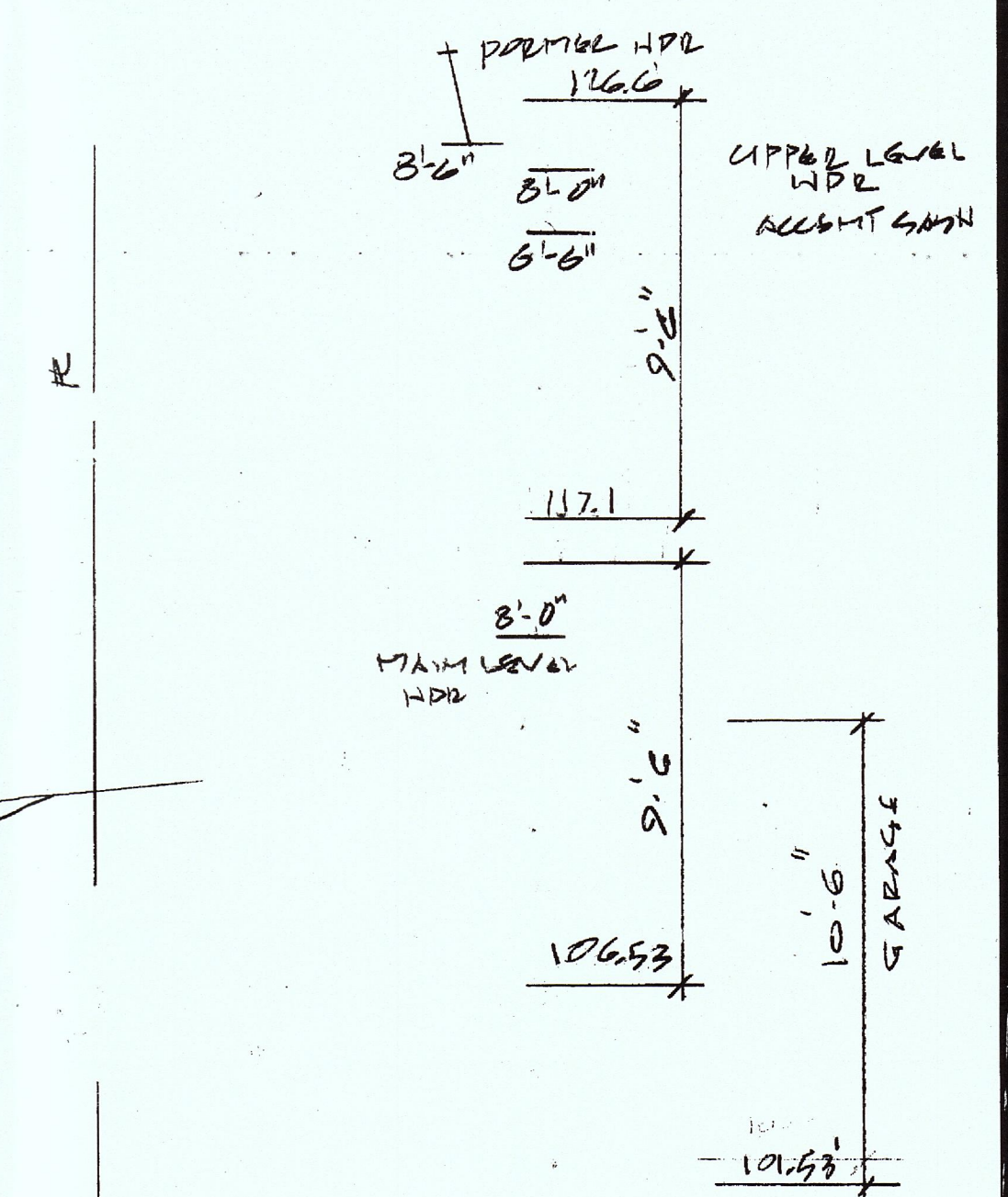
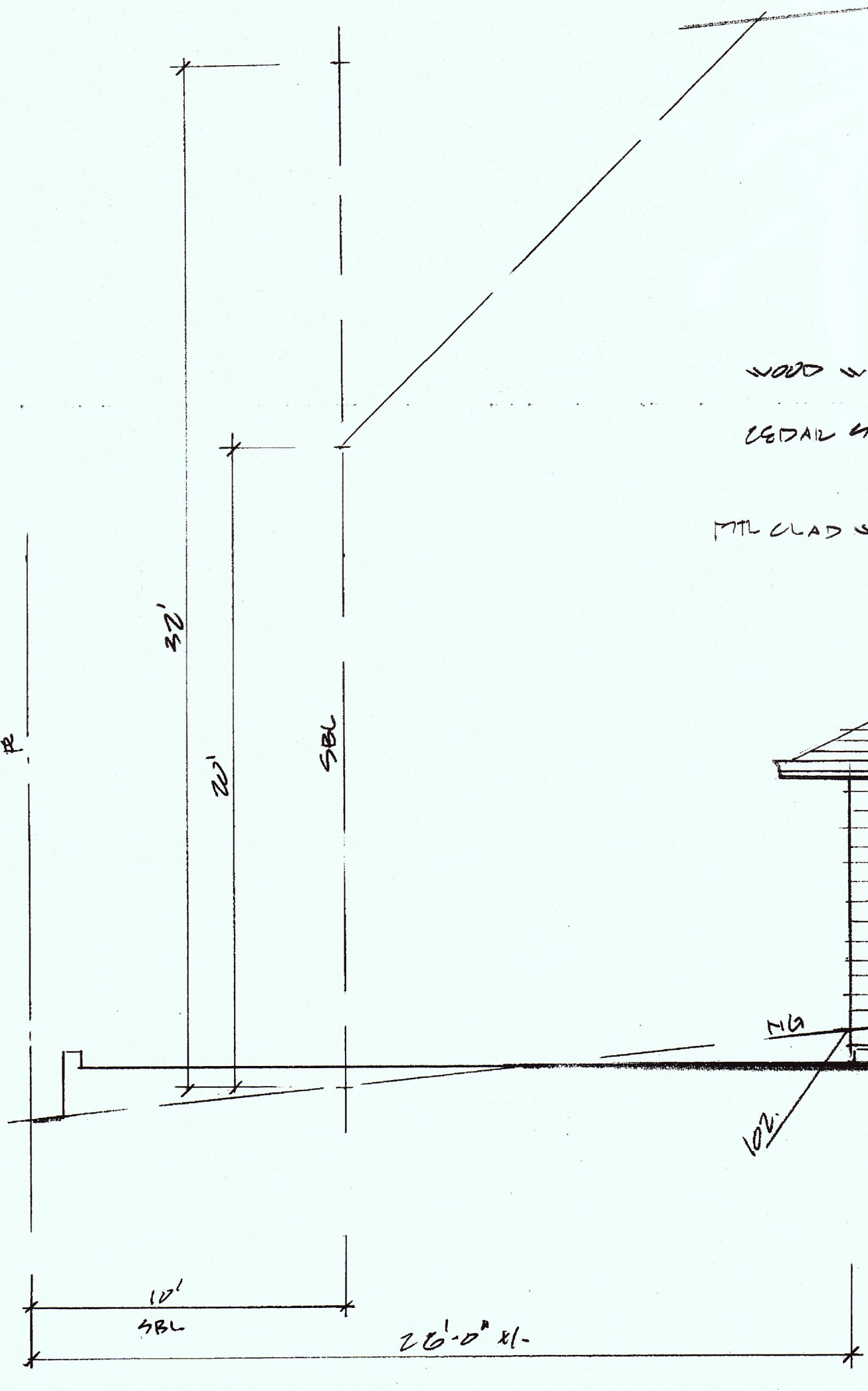




LEFT SIDE ELEVATION. 1/8"=1'-0"



FRONT ELEVATION 1/2"=1'-0"



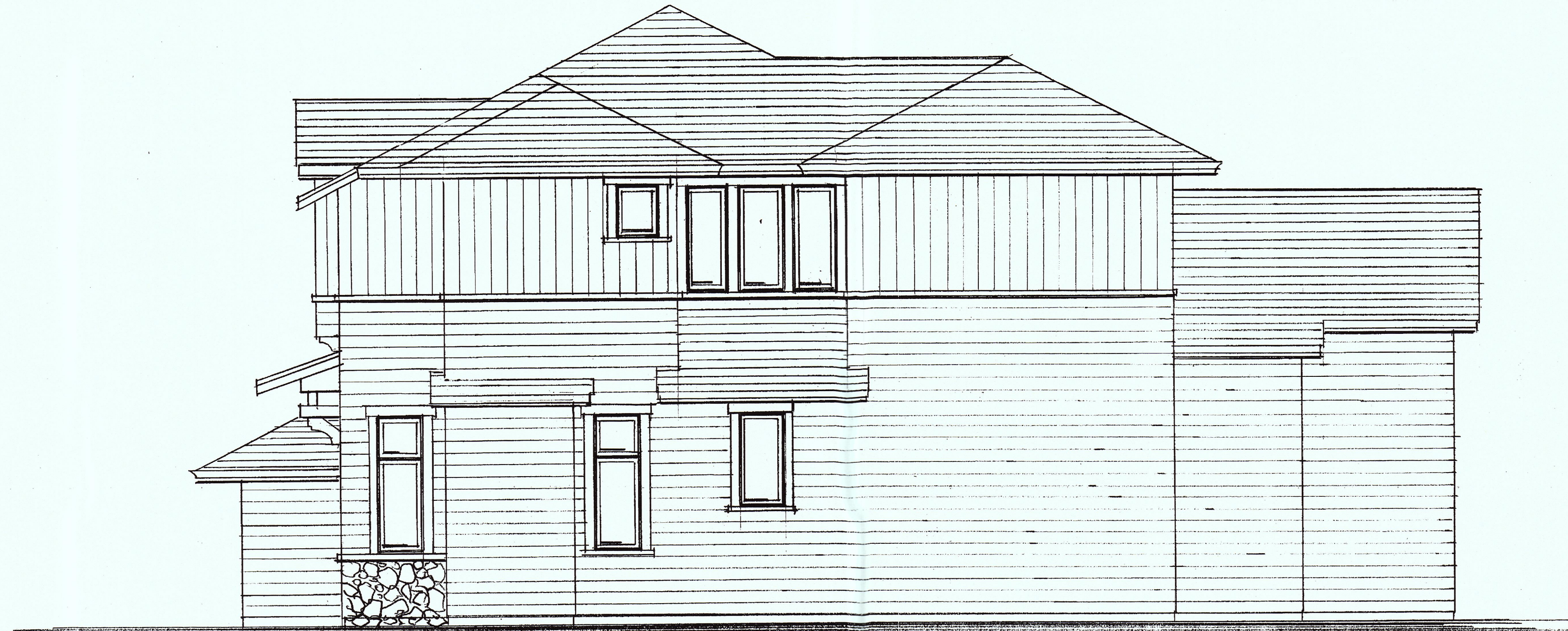
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Carey Residence  
 New Residence  
 Coronado Drive, Mirimar, CA

**Jack McCarthy Designer, Inc.**  
 San Jose California 95135 408 973-0162  
 6257 Blauer Lane

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RIGHT SIDE ELEVATION 1/8" = 1'-0"

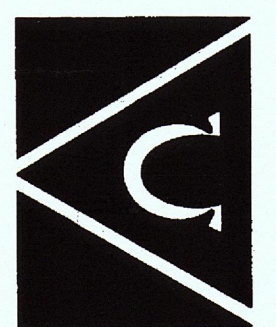


REAR ELEVATION 1/8" = 1'-0"

REVISIONS	BY

Carey Residence  
New Residence  
Coronado Drive, Millmar, CA

Jack McCarthy Designer, Inc.  
San Jose California 95135 408 973-0162  
6257 Blauer Lane



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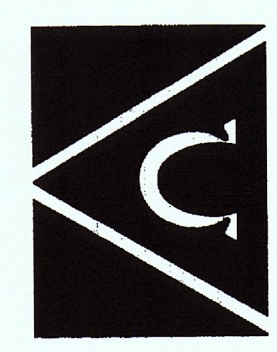
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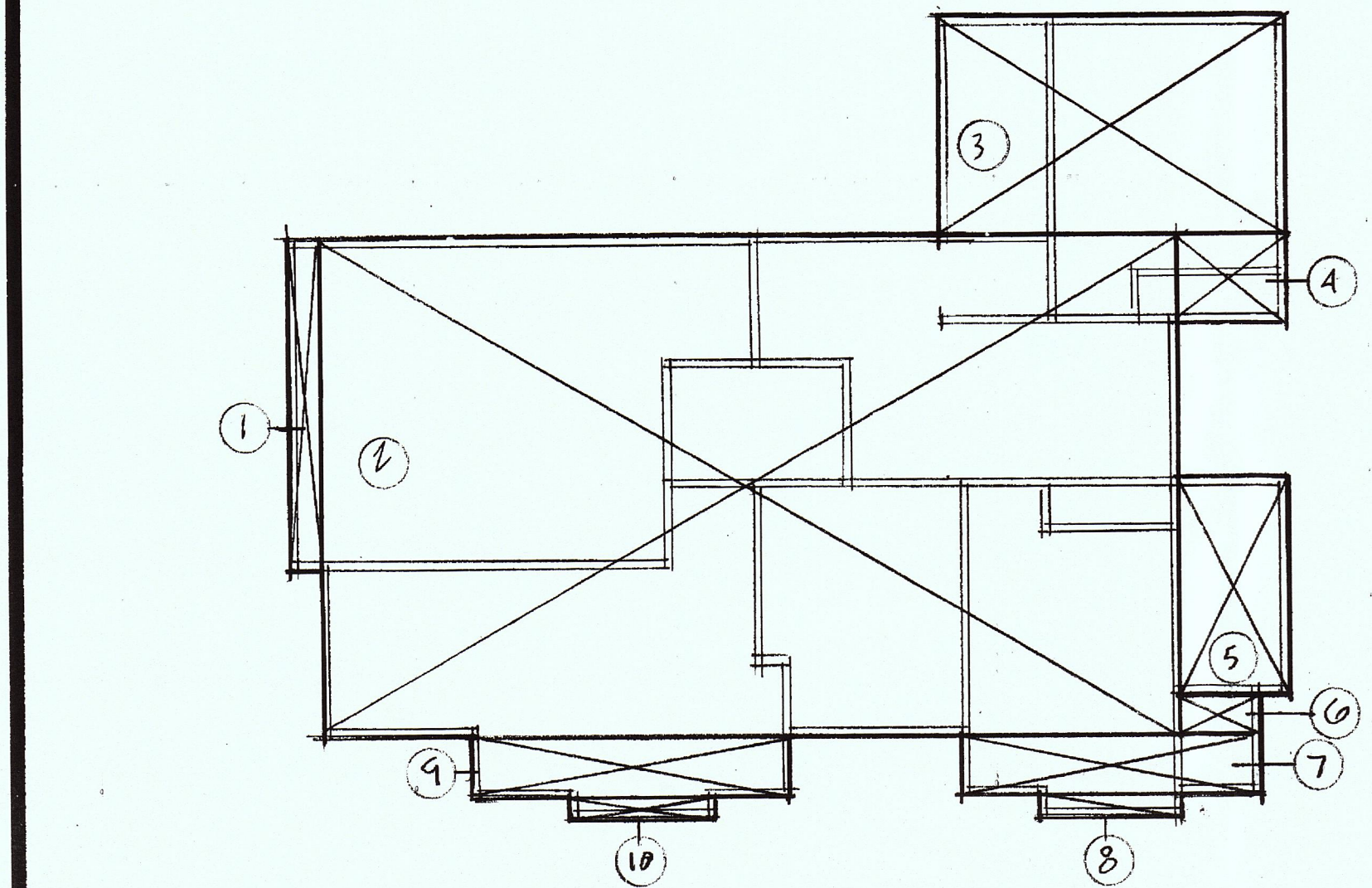
Carey Residence  
New Residence  
Coronado Drive, Mirimar, CA

Jack McCarthy Designer, Inc.  
San Jose California 95135 408 973-0162  
6257 Blauer Lane

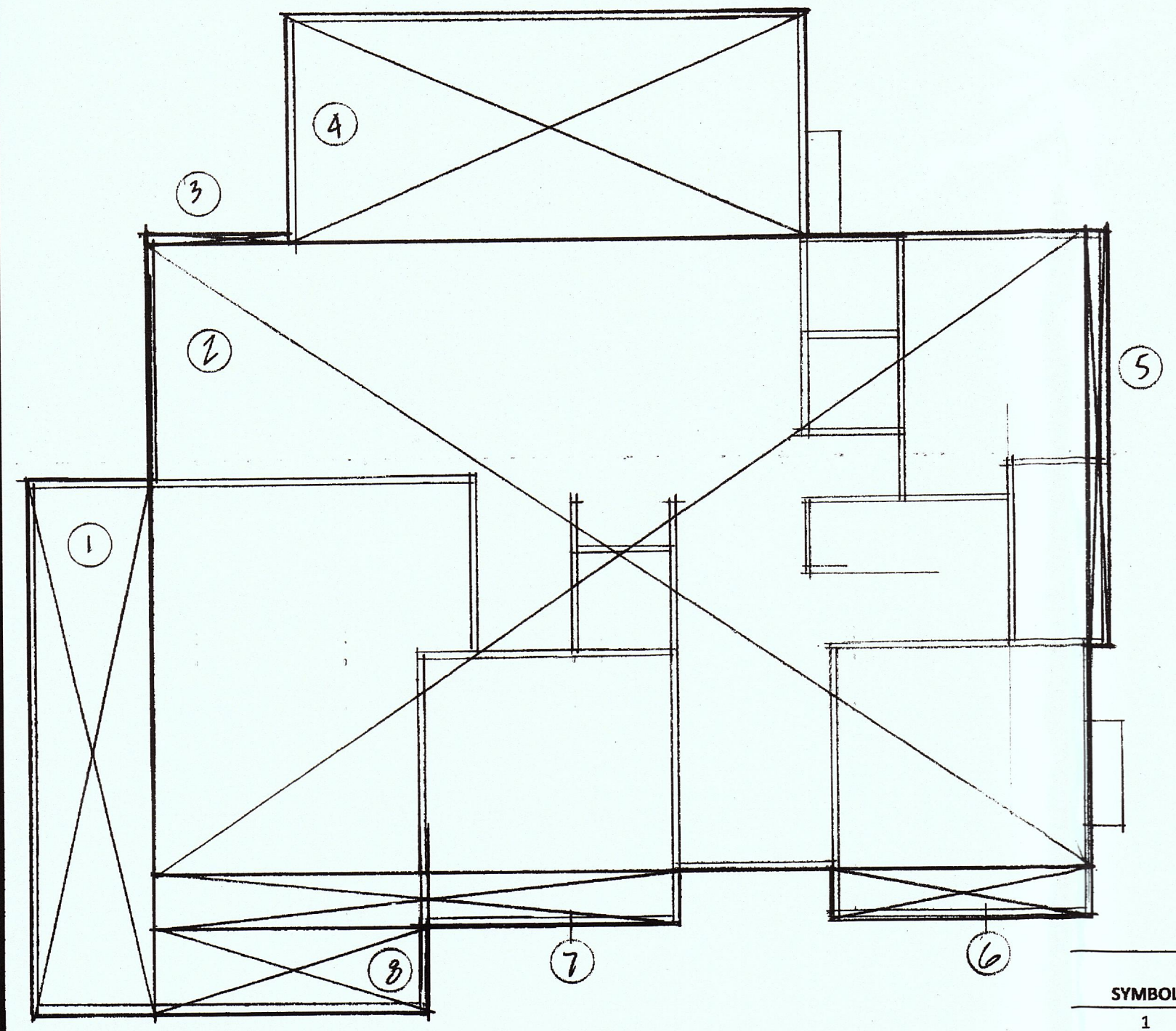


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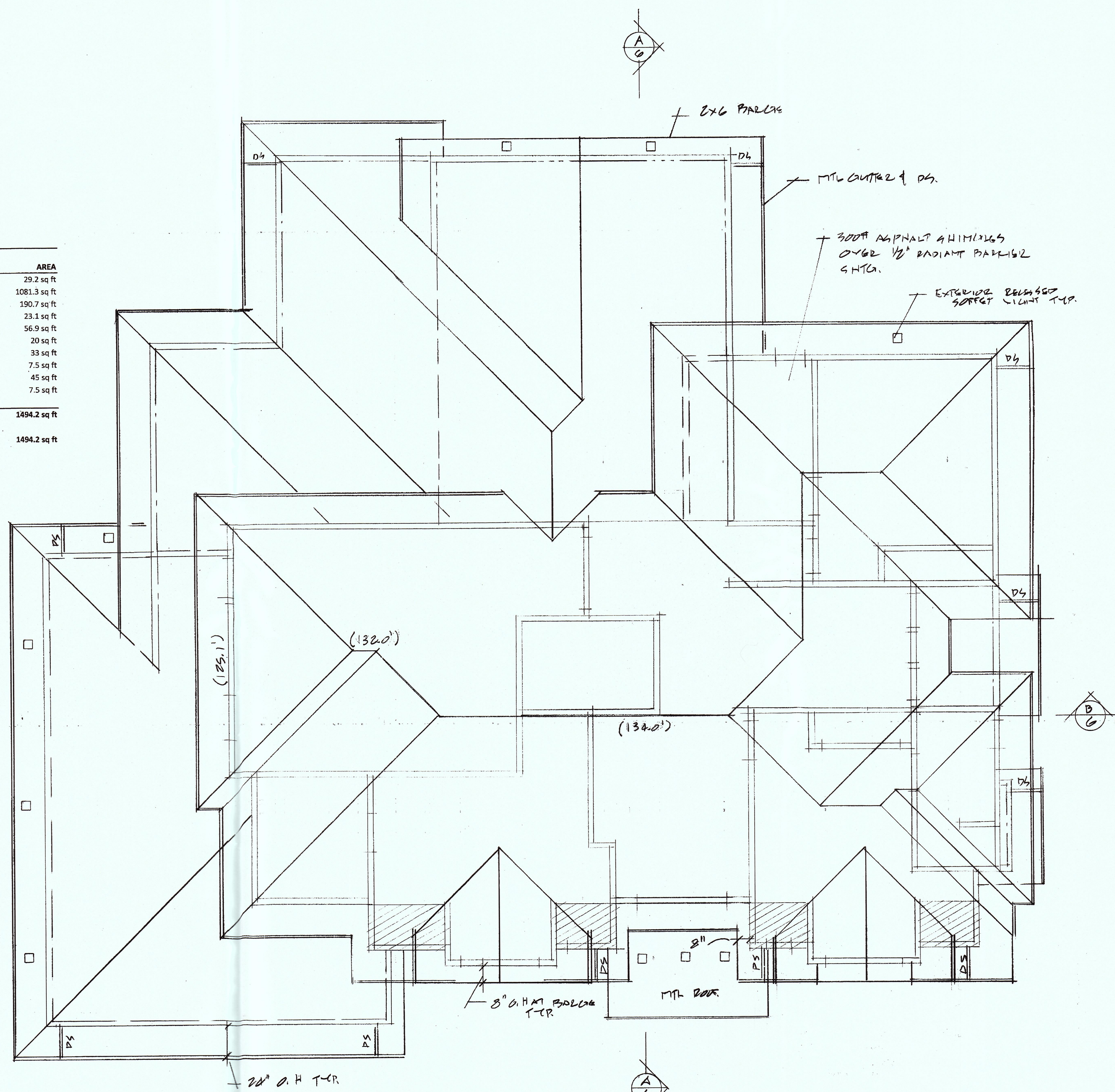


UPPER LEVEL		
SYMBOL	DIMENSION	AREA
1	1'9" x 16' 8"	29.2 sq ft
2	43' 3" x 25' 0"	1081.3 sq ft
3	17' 4" x 11' 0"	190.7 sq ft
4	5' 4" x 4' 4"	23.1 sq ft
5	5' 4" x 10' 8"	56.9 sq ft
6	4' 0" x 5' 0"	20 sq ft
7	11' 0" x 3' 0"	33 sq ft
8	7' 6" x 1' 0"	7.5 sq ft
9	15' 0" x 3' 0"	45 sq ft
10	7' 6" x 1' 0"	7.5 sq ft
TOTAL: UPPER LEVEL FLOOR PLAN		1494.2 sq ft
NET FAR		1494.2 sq ft



MAIN LEVEL		
SYMBOL	DIMENSION	AREA
1	7' 0" x 30' 8"	214.7 sq ft
2	54' 0" x 36' 0"	1944 sq ft
3	8' 4" x 0' 8"	5.6 sq ft
4	30' 0" x 13' 4"	400 sq ft
5	1' 4" x 23' 8"	31.6 sq ft
6	15' 0" x 3' 0"	45 sq ft
7	30' 8" x 3' 0"	92 sq ft
8	15' 8" x 5' 0"	78.3 sq ft
TOTAL: MAIN LEVEL FLOOR PLAN		2811.2 sq ft
NET FAR		2811.2 sq ft

FLOOR AREA CALCULATIONS 1/8"=1'-0"



ARCH ROOF PLAN 1/8"=1'-0"

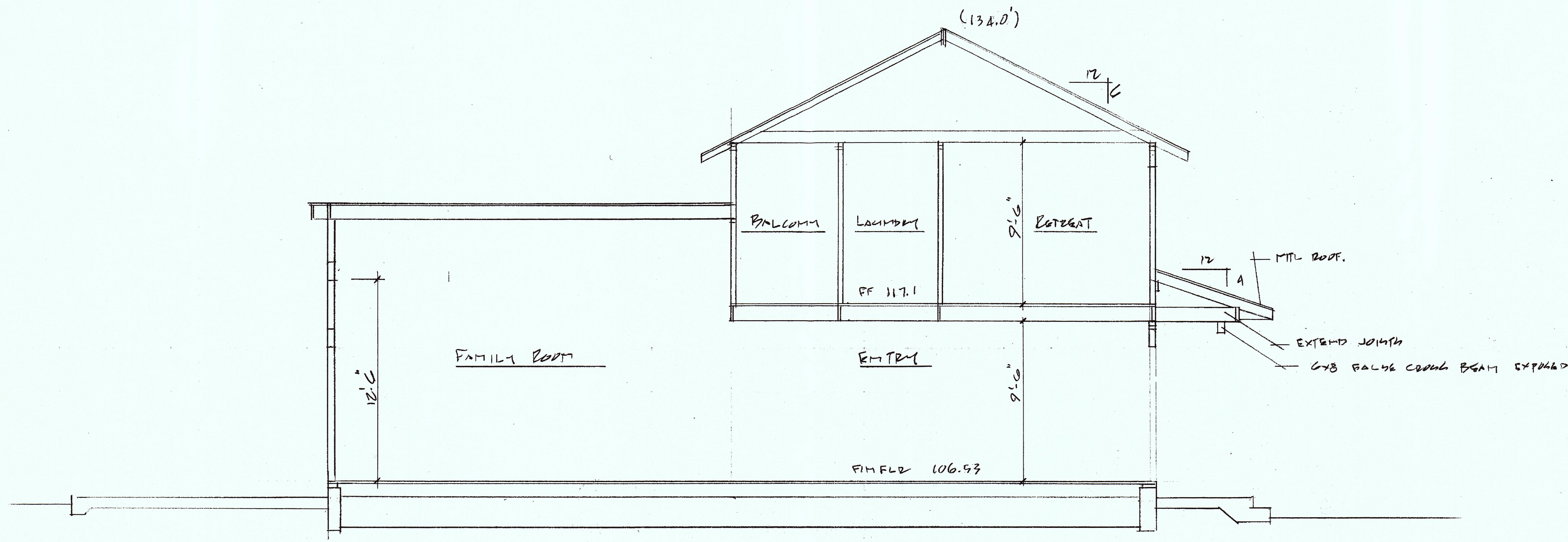


REVISIONS	BY

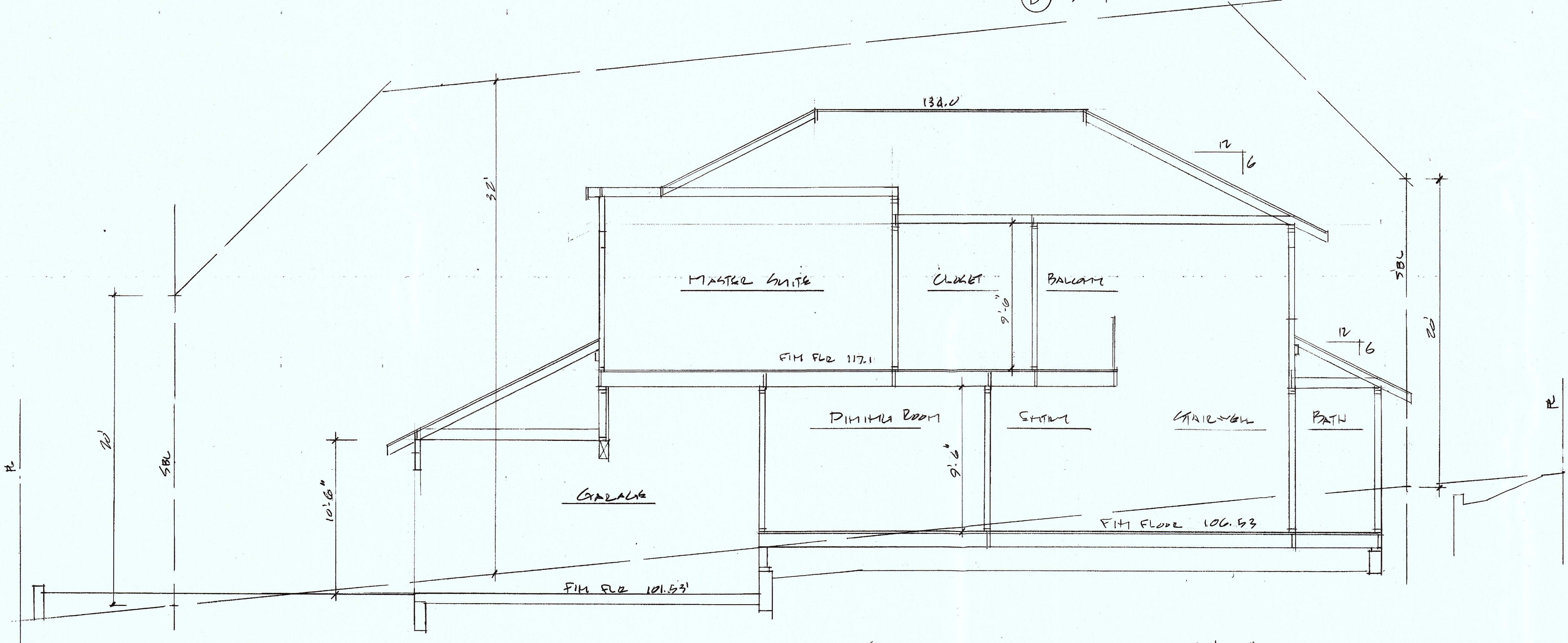
**Carey Residence**  
 New Residence  
 Coronado Drive, Mirimar, CA

**Jack McCarthy Designer, Inc.**  
 San Jose California 95135 408 973-0162  
 6257 Blauer Lane

DRAWN JML
CHECKED
DATE 5/19/16
SCALE 1/8" = 1'-0"
TITLE JOB NO.
SHEETS
OF SHEETS



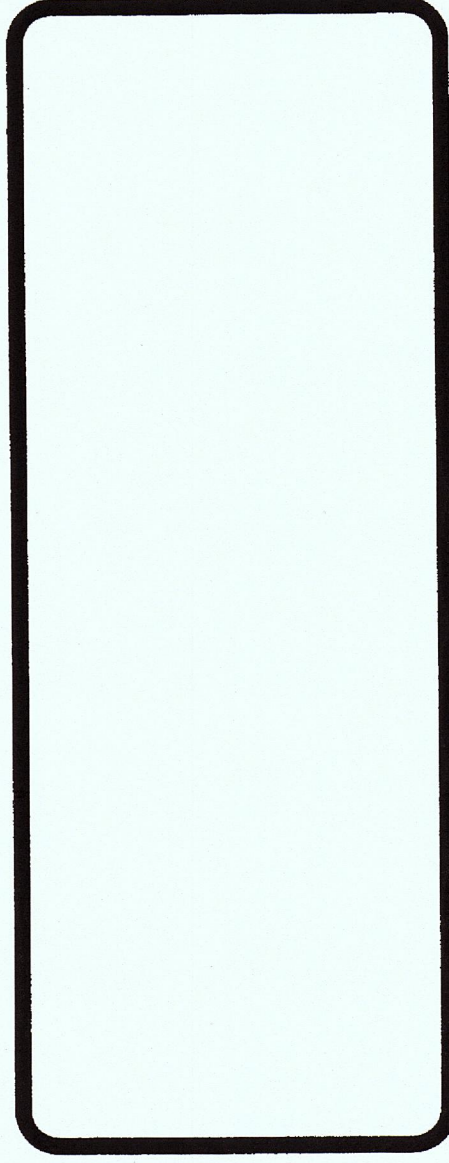
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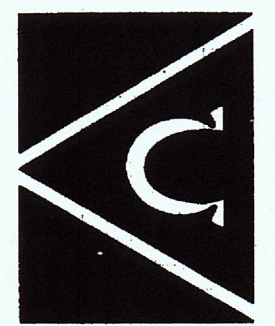
SECTION A 1/8" = 1'-0"



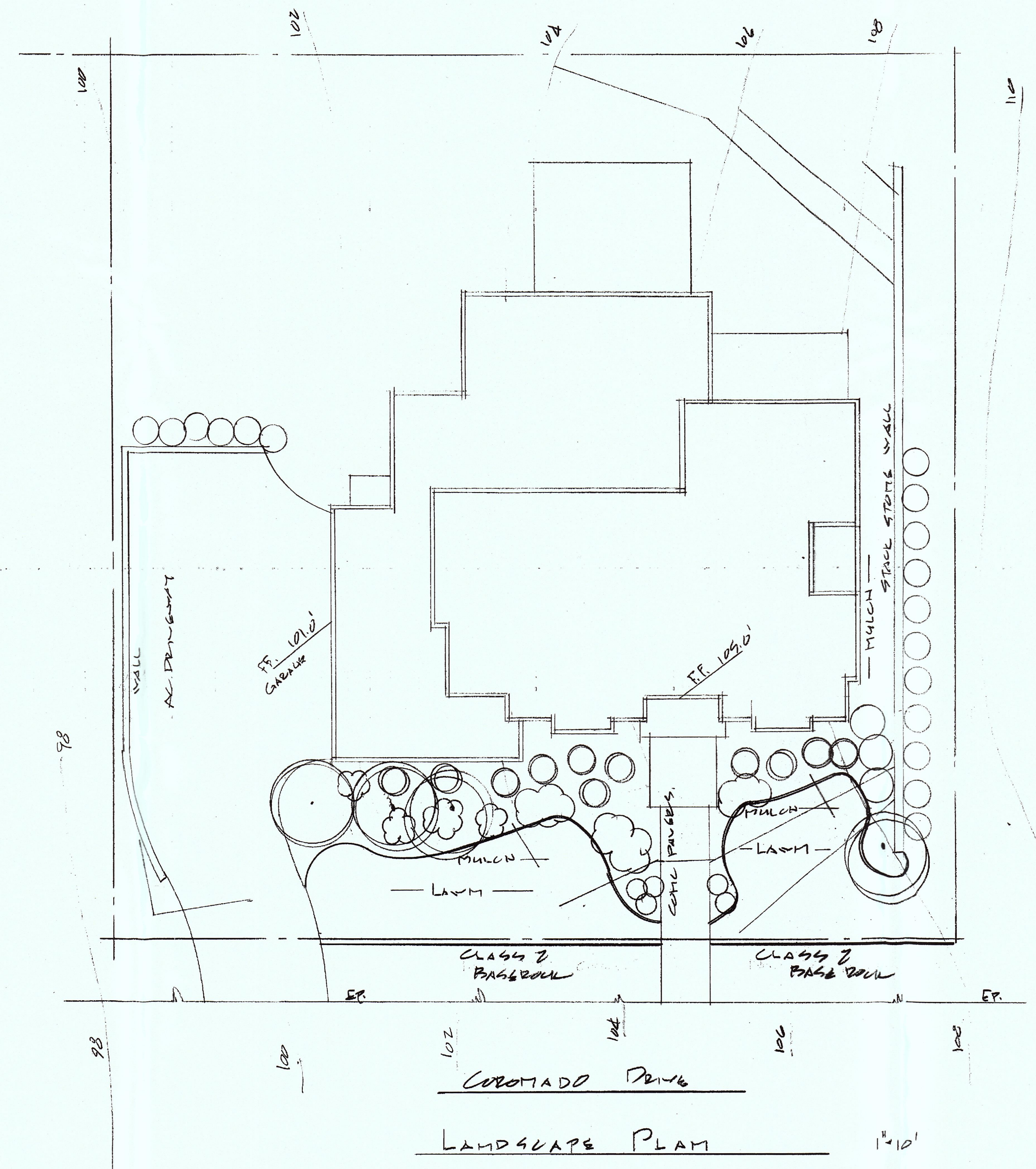
REVISIONS	BY



**Jack McCarthy Designer, Inc.**  
 6257 Blauer Lane San Jose California 95135 408 973-0162



DRAWN H.C.
CHECKED
DATE 5-15-16
SCALE
JOB NO. GENERAL CON
SHEET
11
OF SHEETS



TREE SCHEDULE  
 & ISCAL CROWN OCCIDENTALIS  
 PERMITTED.



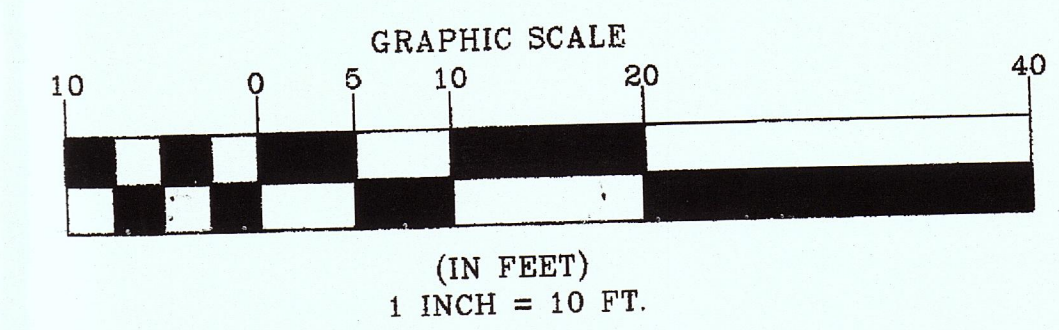
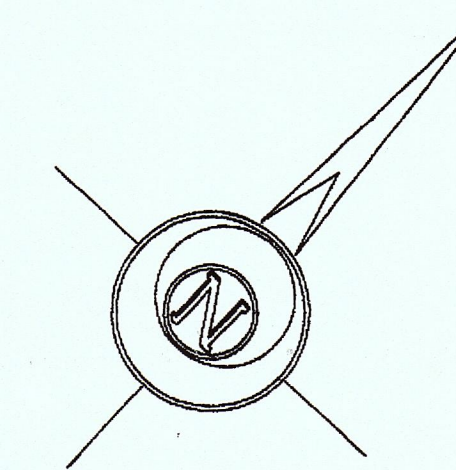
Survey Prepared for: Tom Carey  
 SITE ADDRESS: Vacant Lot Coronado Avenue, Half Moon Bay  
 LEGAL DESCRIPTION: Parcel 2 of Parcel Map Vol. 72 at Page 43  
 A.P.N. 048-024-430  
 AREA: 10,800.0 SQ. FT. +/-

LEGEND

- Property Line
- x-x-x-x- Fence
- - - - - Edge of Pavement
- SS-SS-SS Sanitary Sewer Line
- FH Fire Hydrant
- WV Water Valve
- UT Utility Box

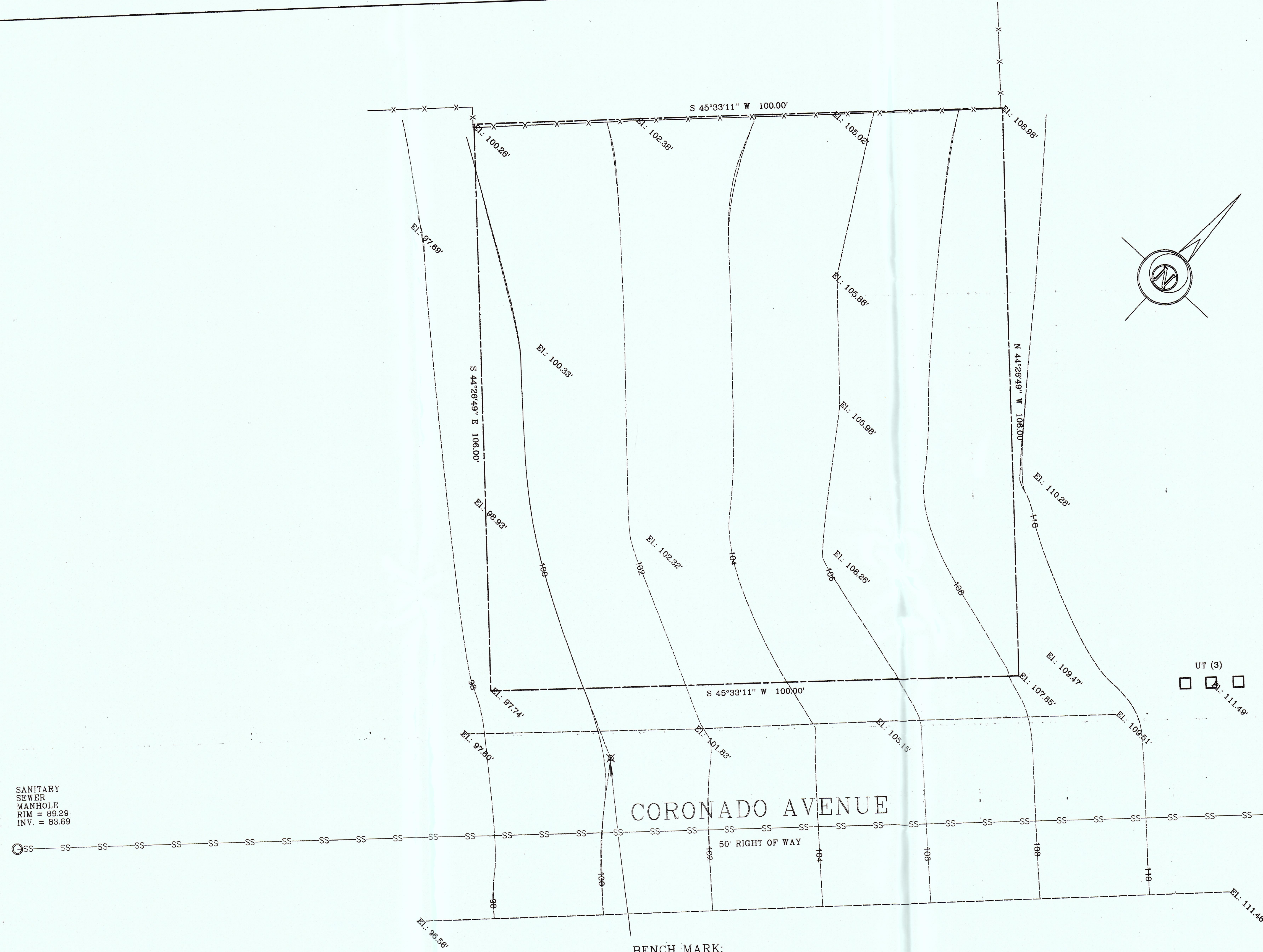
NOTES:

- 1.) Topography shown existing site features at the time of the survey. Any Site Plan or Grading Plan is done by others.
- 2.) Elevations shown hereon are based upon an Assumed Datum.



SANITARY SEWER MANHOLE  
 RIM = 118.87  
 INV. = 114.50

SANITARY SEWER MANHOLE  
 RIM = 89.29  
 INV. = 83.69

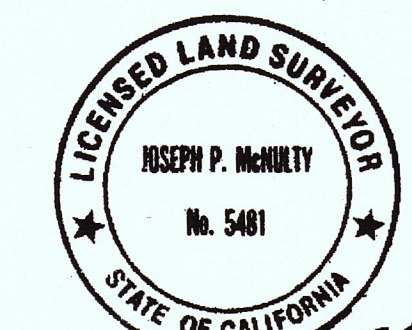


CORONADO AVENUE

50' RIGHT OF WAY

BENCH MARK:

A MAG NAIL AND SHINER WAS SET IN THE PAVEMENT AND USED AS THE DATUM POINT FOR THIS SURVEY.  
 ELEVATION = 100.00 (ASSUMED DATUM)



*Joseph P. McNulty 4/11/16*

BOUNDARY & TOPOGRAPHY MAP

Prepared By:  
 Pat McNulty  
 Professional Land Surveyor  
 1604 Francis Avenue  
 Belmont, California 94002  
 850-854-8460

April 2016 JOB NO.: 7-16

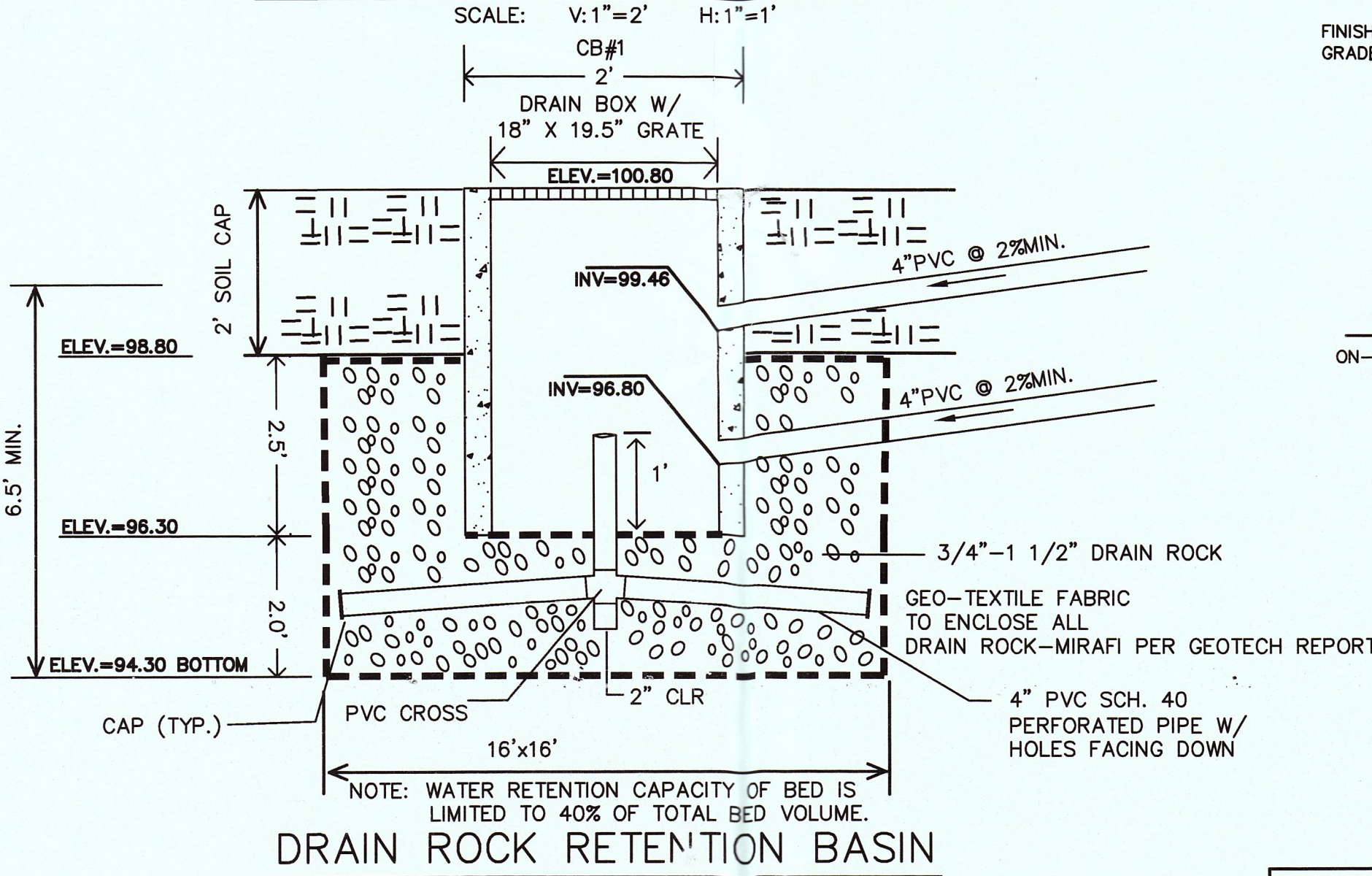
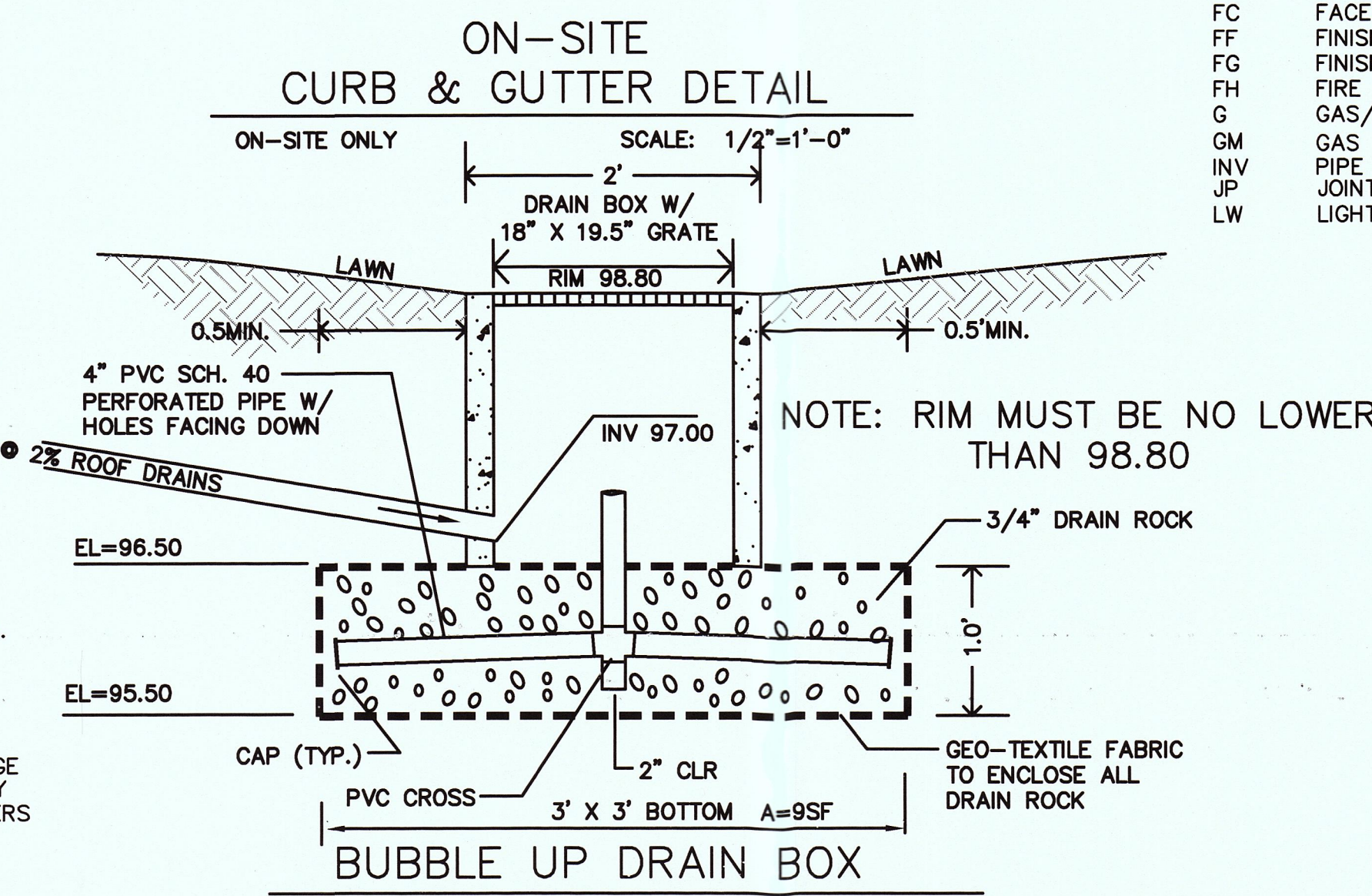
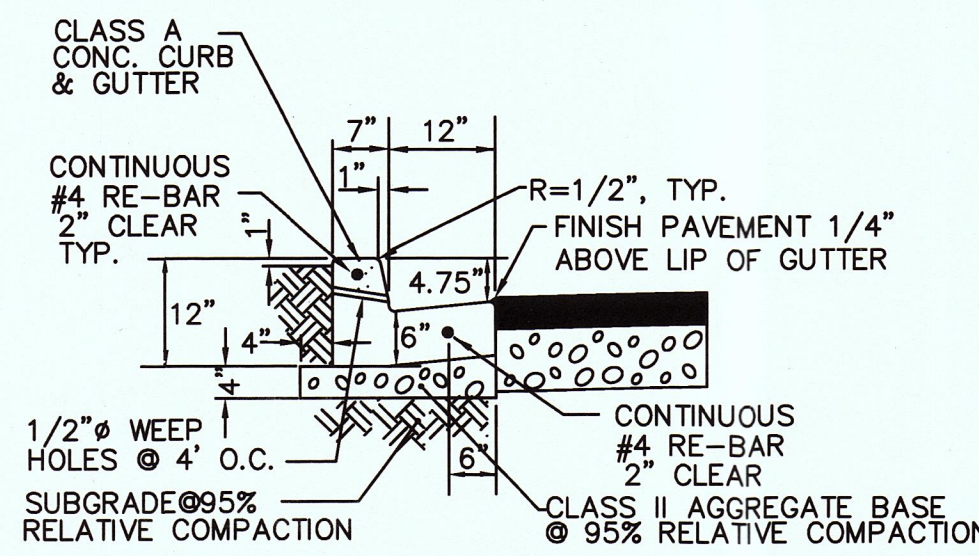


**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENTS OF COUNTY OF SAN MATEO.
- CONTRACTOR SHALL SECURE A STREET OPENING PERMIT FROM THE COUNTY ENGINEERING DEPARTMENT AND PAY APPROPRIATE FEE PRIOR TO COMMENCEMENT OF WORK. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE UNDER A SINGLE STREET OPENING PERMIT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642-2444.
- EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATION FOR NEW FACILITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ALL STREET MONUMENTS, LOT CORNER PIPES, AND GRADE STAKES DISTURBED DURING THE PROCESS OF CONSTRUCTION AT THE REGULAR ENGINEER'S FEE.
- PROVIDE CONCRETE PROTECTION BETWEEN UNDERGROUND PIPE CROSSINGS WITH 12" OR LESS VERTICAL CLEARANCE.
- ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PROJECT SITE AND FROM PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY ISSUED BY THE SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION, THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE COUNTY.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY.
- THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

**GRADING NOTES**

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- THE SITE SHALL BE CLEARED OF ALL EXISTING STRUCTURES, CONCRETE FOOTINGS, PAVEMENT, LANDSCAPING MATERIALS AND UNDERGROUND UTILITIES.
- FINISHED GRADES ALONG THE PERIMETER OF THE FOUNDATION TO BE SLOPED AT A MINIMUM OF 5% FOR FIRST 5 FEET.
- ALL CONCRETE SHALL BE CLASS "A" CONFORMING TO SECTION 90 OF CALTRANS SPECIFICATIONS AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS PER CALIFORNIA TEST METHOD NO. 521.
- ASPHALT CONCRETE PAVEMENT SHALL BE TYPE B, 3/4" MAXIMUM, MEDIUM WITH SLURRY SEAL COAT. ASPHALT CONCRETE SHALL BE PLACED IN ONE OR MORE LIFTS TO THE MINIMUM TOTAL THICKNESS SHOWN ON THE PLANS. THE MAXIMUM THICKNESS OF EACH LIFT SHALL NOT EXCEED THREE (3) INCHES.
- AGGREGATE BASE SHALL BE PLACED BENEATH ALL SIDEWALK, CURB AND GUTTER, AND ASPHALT CONCRETE PAVEMENT AS SHOWN ON THE PLANS. AGGREGATE BASE SHALL BE CLASS 2, 1-1/2" MAXIMUM COMPACTED TO AT LEAST 95% RELATIVE COMPACTION PER ASTM D1557-91
- ON-SITE UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- ALL UTILITIES SHALL BE UNDERGROUND FROM THE PROPERTY LINES IN. LOCATION OF METERS ARE AS NOTED. COORDINATE ALL SUCH WORK WITH THE UTILITY COMPANY HAVING JURISDICTION.
- STORM DRAIN POLLUTION PREVENTION. PROTECT DOWNSLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH HAY BALES, TEMPORARY DRAINAGE SWALES, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS COVER STOCK PILES AND EXCAVATED SOIL WITH SECURED TARPS OR PLASTIC SHEETING.
- CONTACT PUBLIC WORKS TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR EACH SUBSEQUENT DAY OF WORK IN THE PUBLIC RIGHT OF WAY.
- ALL EXISTING FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, VALLEY GUTTER, PARKING STRIP) THAT ARE DAMAGE DURING THE COURSE OF CONSTRUCTION MUST BE REPAIRED TO "AS NEW" CONDITION. COUNTY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE COUNTY OF SAN MATEO STANDARD DETAILS. ALL DETAILS APPLICABLE TO THE PARTICULAR CONSTRUCTION ACTIVITY SHALL BE UTILIZED.
- ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY ARE TO BE COMPLETED AND APPROVED BY THE CONSTRUCTION SUPERVISOR PRIOR TO FINAL INSPECTION BY THE BUILDING INSPECTOR.
- DATE OF SURVEY: APRIL, 2016
- ALL GRADING DURING THE RAINY SEASON (OCT. 1ST THROUGH APRIL 30TH) REQUIRES AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED THROUGHOUT THE YEAR, TO THE SATISFACTION OF THE CONSTRUCTION SUPERVISOR.
- ALL CHANGES TO THE APPROVED GRADING AND DRAINAGE PLAN REQUIRE A PLAN MODIFICATION APPROVAL BY THE COUNTY IN ADVANCE OF CONSTRUCTION OF THE CHANGE. THE PROPOSED PLAN CHANGE MUST BE GENERATED FROM THE ENGINEER/ARCHITECT WHO ORIGINALLY PREPARED THE PLAN.
- ANY DEVIATION FROM THE APPROVED PLAN AND/OR FAILURE TO OBTAIN GRADING AND DRAINAGE INSPECTION MAY AFFECT THE PUBLIC WORKS SIGN-OFF FOR BUILDING FINAL AND/OR OCCUPANCY.



NOTE: TOP OF ROCK NO HIGHER THAN 98.80

**LOT AREA**

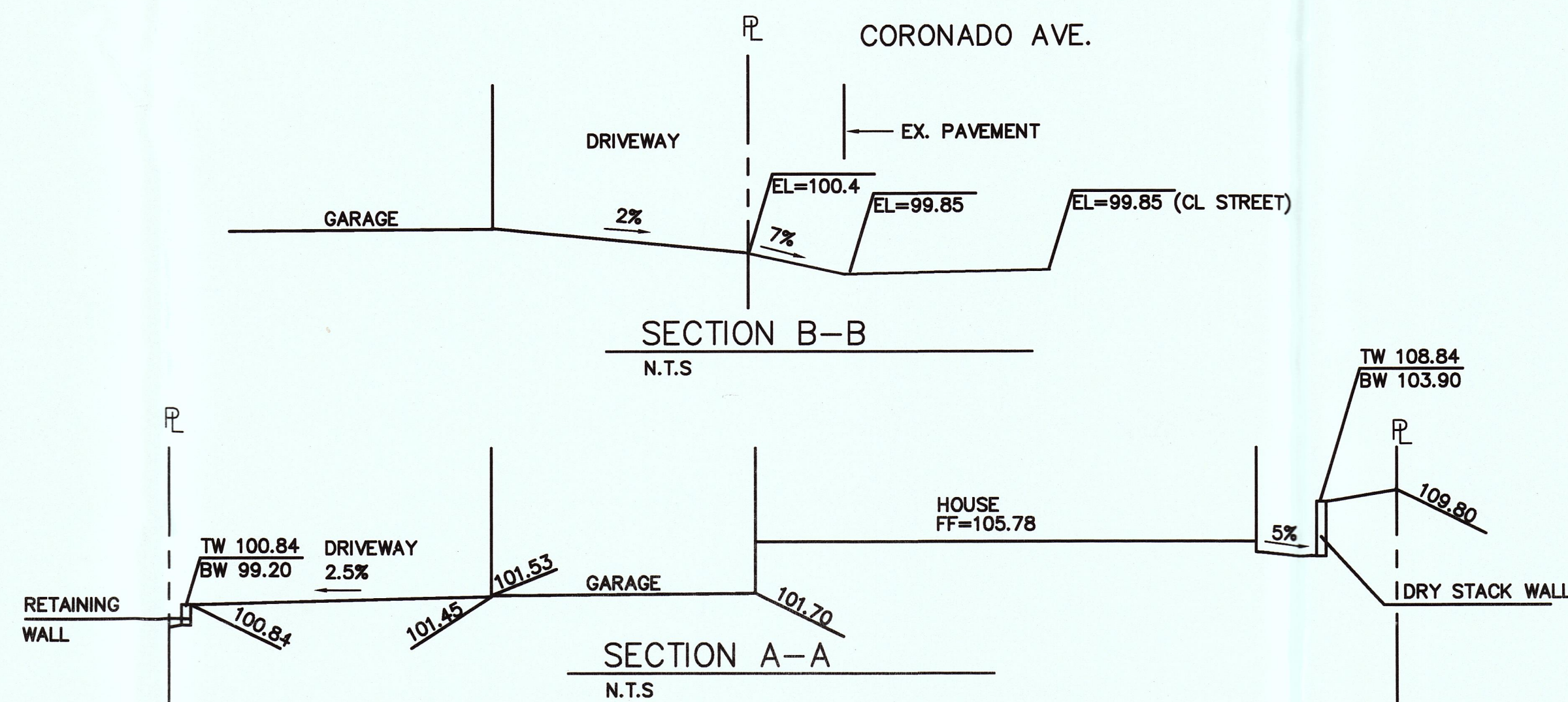
10,600.0 SQ. FT. +/-

**PROJECT BENCHMARK**

A MAG NAIL AND SHINER WAS SET IN THE PAVEMENT AND USED AS THE DATUM POINT FOR THIS SURVEY.  
ELEVATION = 100.00 (ASSUMED DATUM)

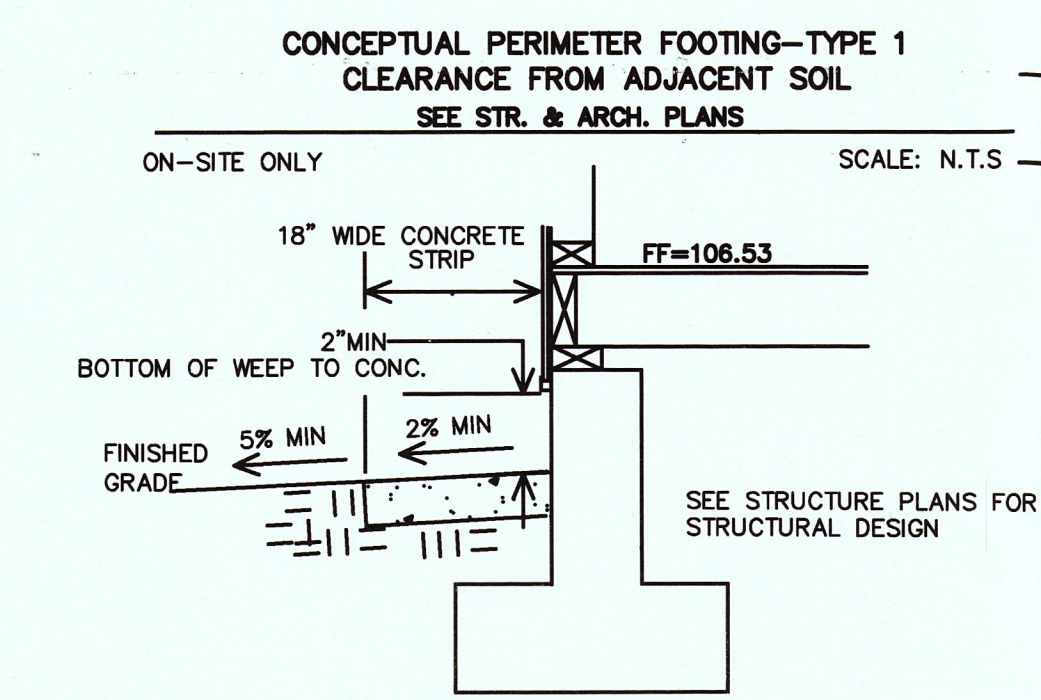
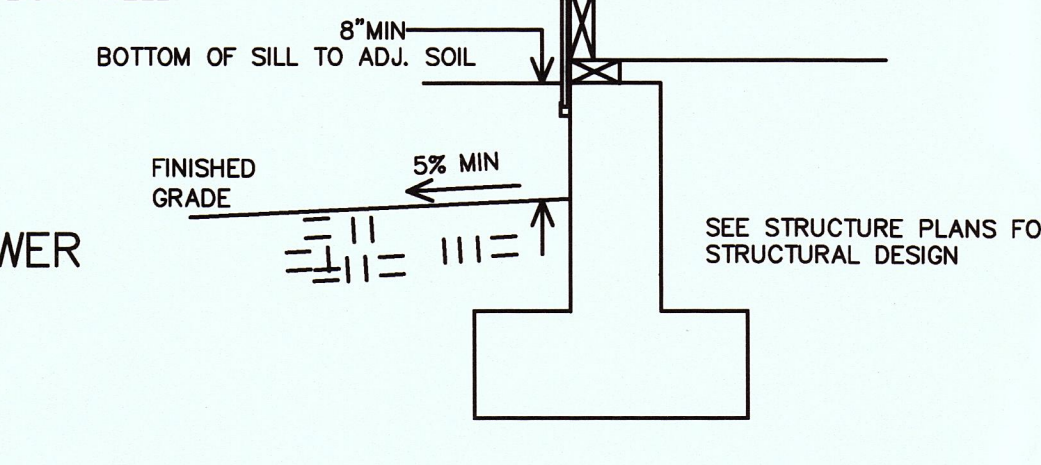
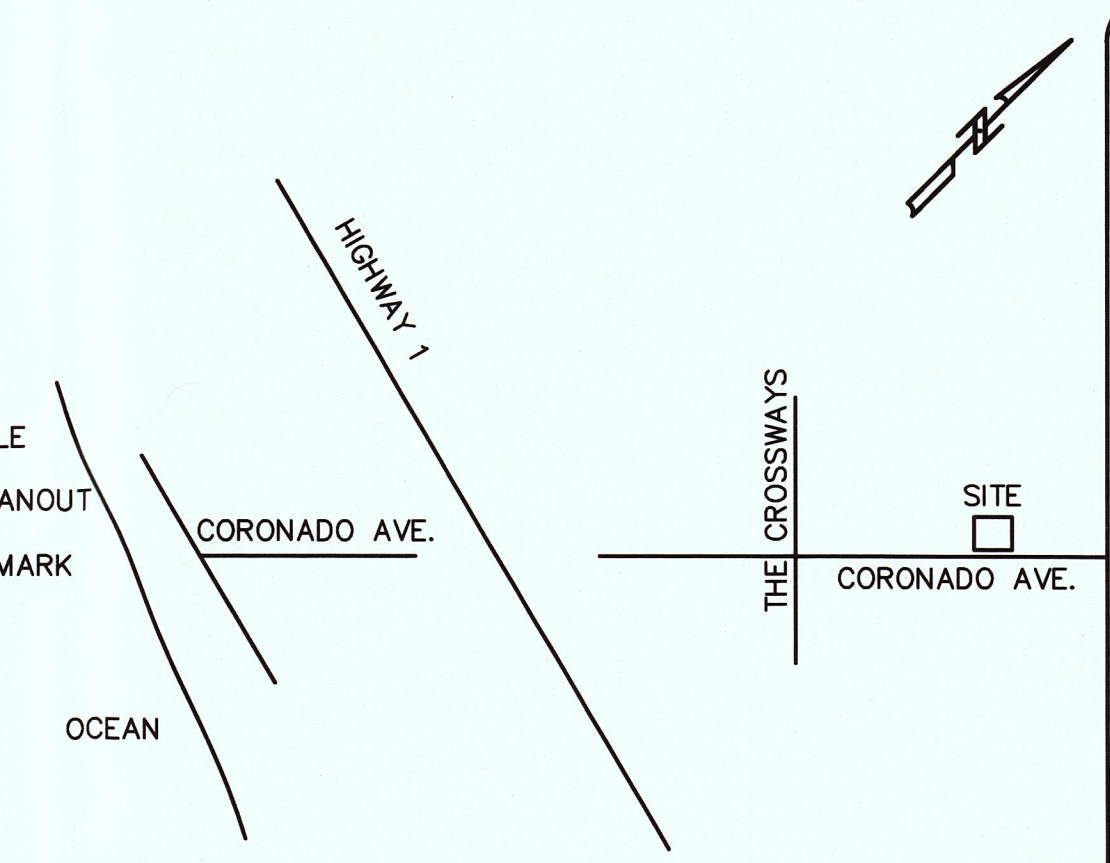
**SURVEY NOTES**

- Survey shows existing site conditions at the time of the survey. Any Site Plan or Grading Plan has been done by others.
- The Elevations shown are based upon an assumed Datum.



**ABBREVIATIONS**

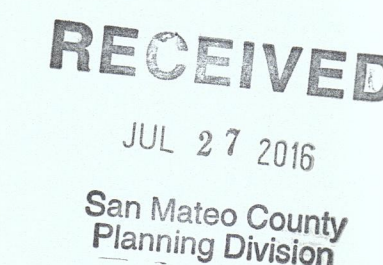
AC	ASPHALT CONCRETE	MH	MAN HOLE
APN	ASSESSORS PARCEL NUMBER	MON	MONUMENT
BFP	BACK FLOW PREVENTER	N	NEW
BLD	BUILDING	PL	PROPERTY LINE
CB	CATCH BASIN	PM	PARCEL MAP
CO	CLEAN OUT	PVMT	PAVEMENT
CONC	CONCRETE	RD	ROOF DRAIN
CP	CONTROL POINT	RIM	TOP OF GRATE
DS	DOWN SPOUT	SD	STORM DRAIN
DWY	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
EX	EXISTING	SS	SANITARY SEWER
EM	ELECTRICAL METER	SSCO	SANITARY SEWER CLEANOUT
FC	FACE OF CURB	S/W	SIDEWALK
FF	FINISH FLOOR	TBM	TEMPORARY BENCH MARK
FG	FINISH GRADE	VG	VALLEY GUTTER
FGH	FIRE HYDRANT	W	WATER
G	GAS/GROUND	WDF	WOOD FENCE
GM	GAS METER	WM	WATER METER
INV	PIPE INVERT	WV	WATER VALVE
JP	JOINT POLE		
LW	LIGHT WELL		



**RETENTION CALCULATIONS**

VOLUME OF DRAIN ROCK REQUIRED PER CALCULATIONS  
V(CF) = 1,029CF  
VOLUME OF DRAIN ROCK USE 16" x 16" FOOTPRINT  
VOL OF BOTTOM LAYER DRAIN ROCK = 16'x16'x2' = 512CF  
VOL OF DRAIN ROCK ON SIDES OF CB ABOVE BOTTOM LAYER = ((16'x16') - 4SF)x2.5' = 630CF  
TOTAL VOLUME OF DRAIN ROCK = 1,142 CF  
TOTAL VOL. OF VOIDS = 457CF

ALL WORK TO BE COMPLETED IN CONFORMANCE WITH THE GEOTECHNICAL INVESTIGATION PREPARED BY  
**DAVID BUCKLEY, PE**  
JOB NO. 16318.5



**ESTIMATED EARTHWORK QUANTITIES**

	CUT	FILL
DRIVEWAY AND YARD	50CY±	140CY±
HOUSE AND GARAGE	375CY±	0CY
TOTAL	425CY±	140CY±

ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% COMPACTION FACTOR ON ALL CUT MATERIAL. ESTIMATE DOES NOT INCLUDE VOLUMES FOR CLEARING AND GRUBBING. ALL TOPSOIL FROM CUT CAN BE USED IN TOP 1" OF LANDSCAPE.

CONTRACTOR TO MAKE OWN ESTIMATES OF QUANTITIES FOR BIDDING PURPOSES BASED ON ALL PLANS.

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	SD	STORM DRAIN
---	SS	SANITARY SEWER
---	G	GAS
---	W	WATER
---	DSO	DOWN SPOUT
---	CB	CATCH BASIN (CB)
---	AD	AREA DRAIN (AD)
---	---	CONCRETE/ HARDSCAPE/DECK IMPERMEABLE SURFACE
---	---	FIBER ROLL
---	---	RETENTION ROCK FOOTPRINT
---	---	MIRAMAR DRIVE- AC PAVEMENT 2" MIN. ASPHALT OVER 6" CL2 AGGREGATE BASE
---	---	FILL SOIL

OWNER	TOM CAREY
ARCHITECT	JACK MCCARTHY DESIGNER, INC 6257 BLAUER LANE SAN JOSE, CA 95135
CIVIL ENGINEER	BAY LAND CONSULTING CIVIL ENGINEERS P.B BOX 299 Santa Clara, California 95050
SURVEYOR	PAT MCNULTY 1604 FRANCIS AVE. BELMONT, CA 94002

**SHEET INDEX**

- C1 NOTES & DETAILS
- C2 GRADING AND DRAINAGE PLAN
- C3 EROSION CONTROL PLAN
- C4 EROSION CONTROL NOTES & DETAILS
- C5 BEST MANAGEMENT PRACTICES PLAN
- T1 TOPOGRAPHIC SITE PLAN SURVEY



**BAY LAND CONSULTING**  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California 95050  
Ph: (408) 296-6000  
email: scott@lcceng.com  
SERVING THE BAY AREA



**GRADING AND DRAINAGE NOTES & DETAILS**  
CORONADO AVE  
HALF MOON BAY (UNINCORPORATED), CA  
APN 048-024-430

**REVISIONS**

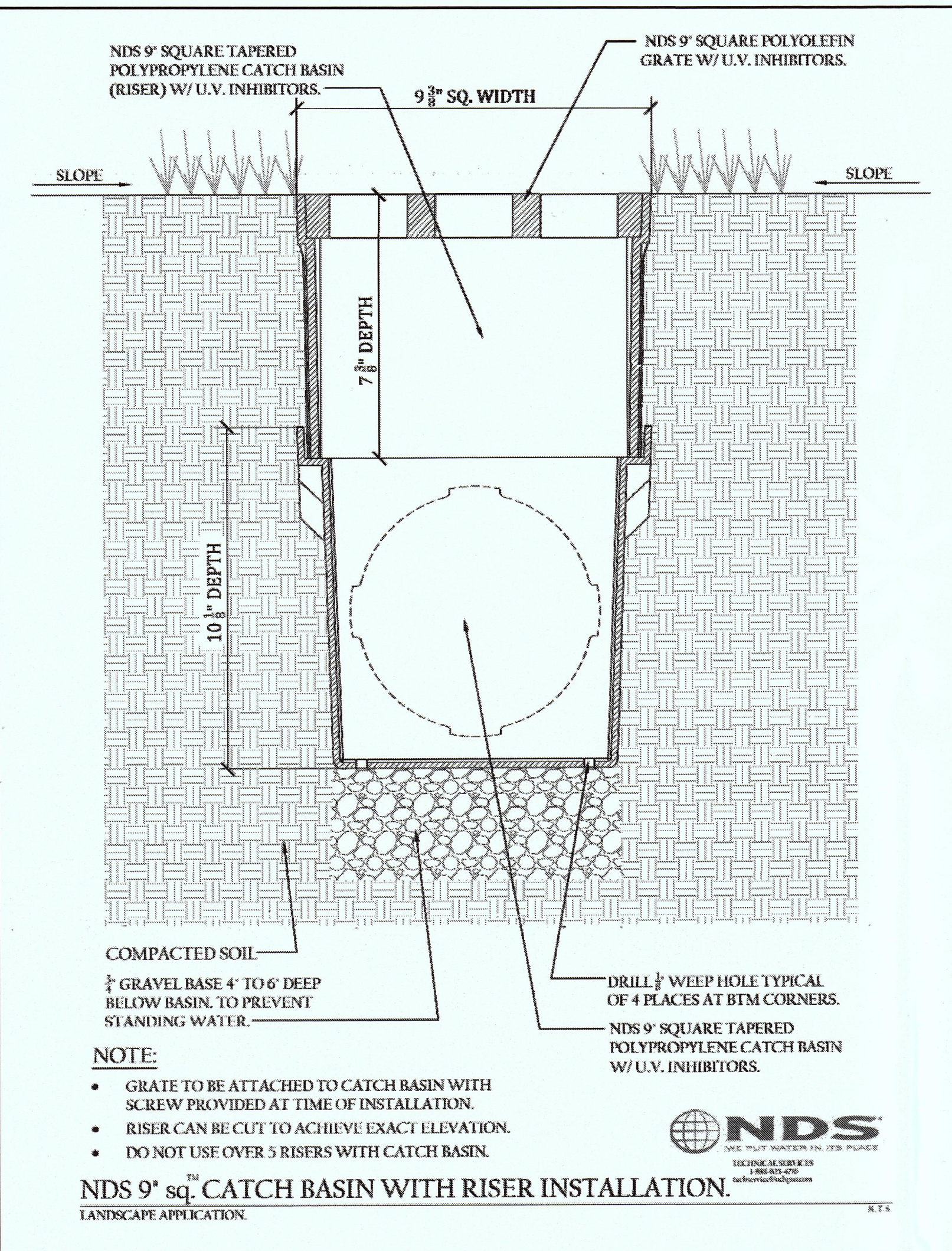
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DRAWN BY: YC  
CHECKED BY: SH  
DATE: 07/25/2016

SHEET  
**C1**  
OF 6 SHEETS

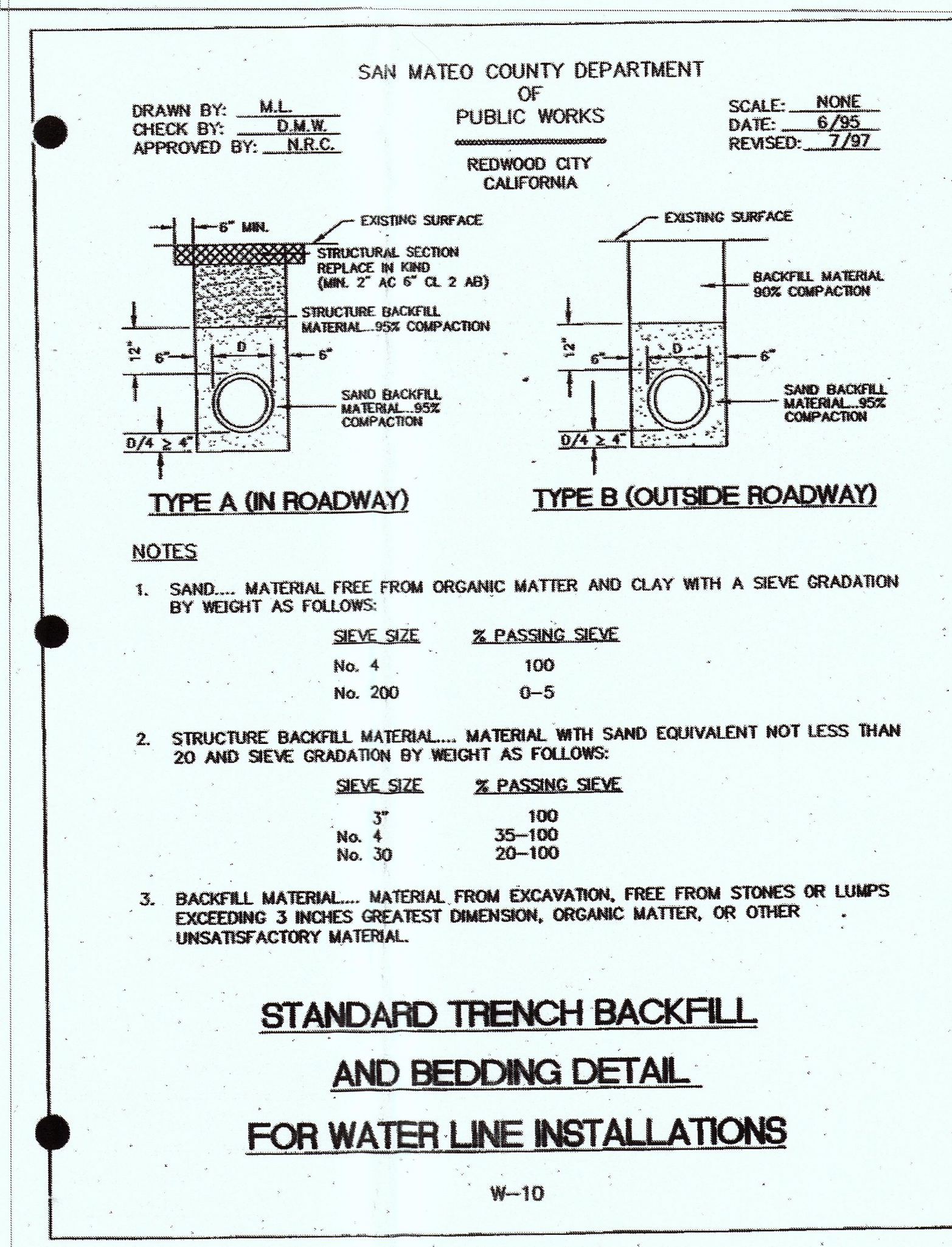
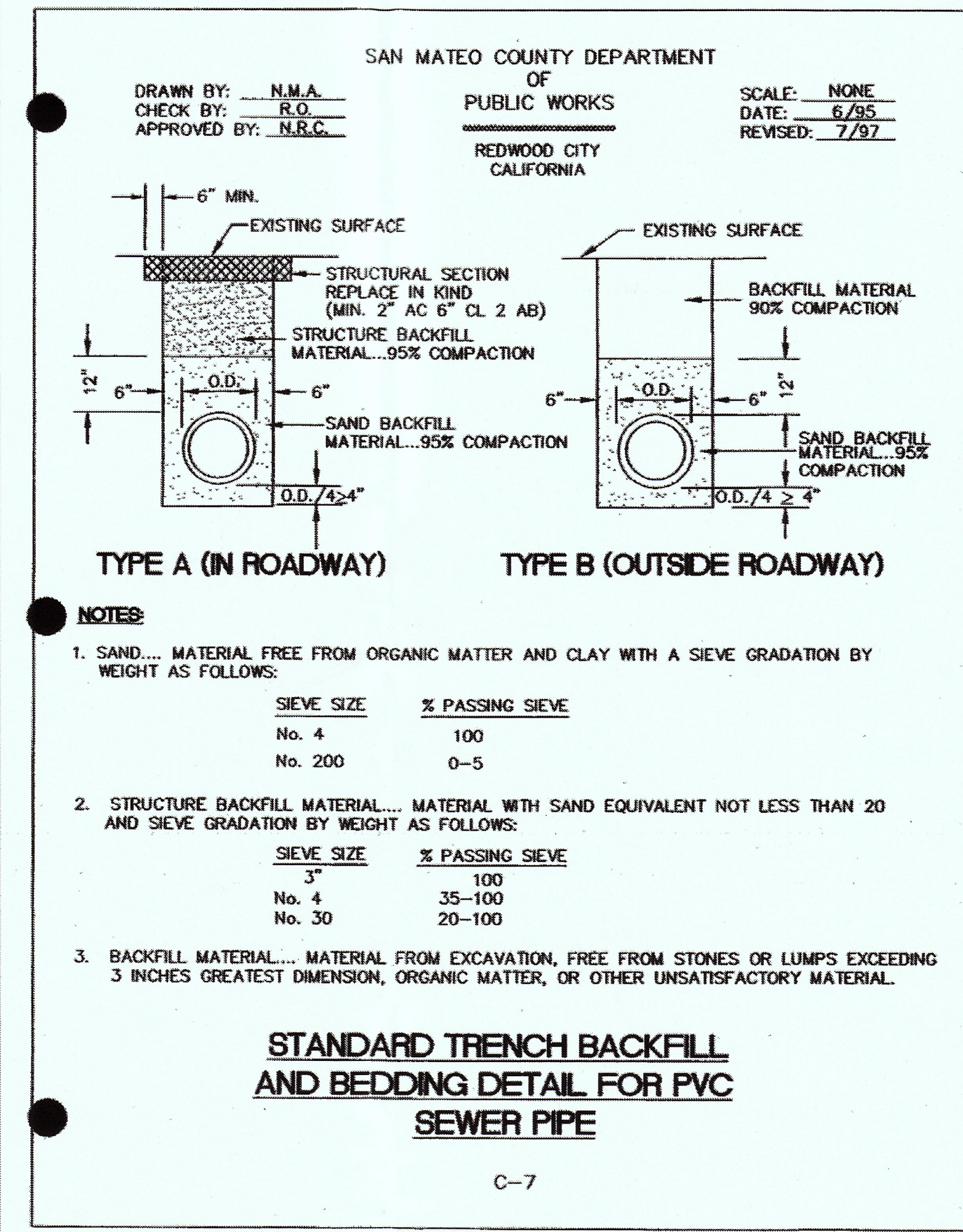
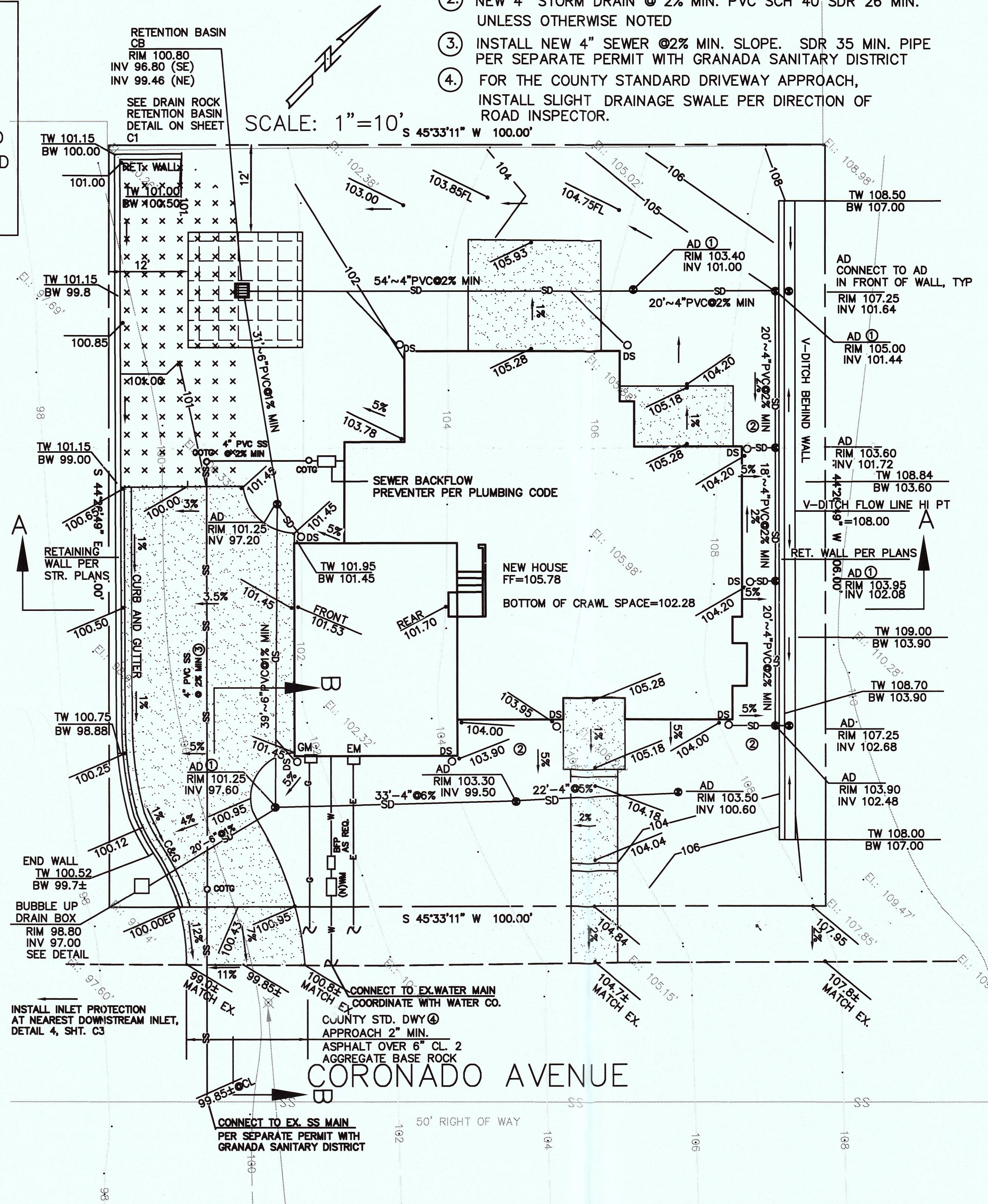


IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT ALL DRAINAGE IMPROVEMENTS SHOWN HEREON ARE MAINTAINED IN GOOD WORKING ORDER. THIS INCLUDES PERIODICALLY INSPECTING THE STORM DRAIN PIPES FOR SEDIMENT AS WELL AS THE DRAIN INLETS FOR SEDIMENT. ANY BUILT UP SEDIMENT SHOULD BE PERIODICALLY CLEANED TO ENSURE THE DRAINAGE FEATURES FUNCTION AS INTENDED THE SWALES ALONG THE SIDES OF THE BUILDING SHALL BE MAINTAINED AS SHOWN ON THIS PLAN.



**REFERENCE NOTES:**

1. INSTALL AREA DRAINS ALONG SIDE YARD, SEE TYP. DETAIL
2. NEW 4" STORM DRAIN @ 2% MIN. PVC SCH 40 SDR 26 MIN. UNLESS OTHERWISE NOTED
3. INSTALL NEW 4" SEWER @ 2% MIN. SDR 35 MIN. PIPE PER SEPARATE PERMIT WITH GRANADA SANITARY DISTRICT FOR THE COUNTY STANDARD DRIVEWAY APPROACH, INSTALL SLIGHT DRAINAGE SWALE PER DIRECTION OF ROAD INSPECTOR.
- 4.



FEMA FLOOD ZONE: ZONE X  
PANEL 255 OF 510 DATE: OCTOBER 16, 2012

SURVEY COMPLETED BY PAT MCNUITY  
PROFESSIONAL LAND SURVEYOR  
1604 FRANCIS AVENUE  
BELMONT, CA 94002 TEL: 650-654-6460

**SURVEY OF:**  
SITE ADDRESS: Vacant Lot Coronado Avenue, Half Moon Bay  
LEGAL DESCRIPTION: Parcel 2 of Parcel Map Vol. 72 at Page 43  
A.P.N. 048-024-430  
AREA: 10,600.0 SQ. FT. +/-

**NOTES:**  
1.) Survey shows existing site conditions at the time of the survey. Any Site Plan or Grading Plan has been done by others.  
2.) The Elevations shown are based upon an assumed Datum.



7/26/2016

**BAY LAND CONSULTING**  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California 95050  
Ph: (408) 296-6000  
SERVING THE BAY AREA



**GRADING AND DRAINAGE PLAN**  
CORONADO DRIVE  
HALF MOON BAY (UNINCORPORATED), CA  
APN 048-024-430

**REVISIONS**

DATE	DESCRIPTION

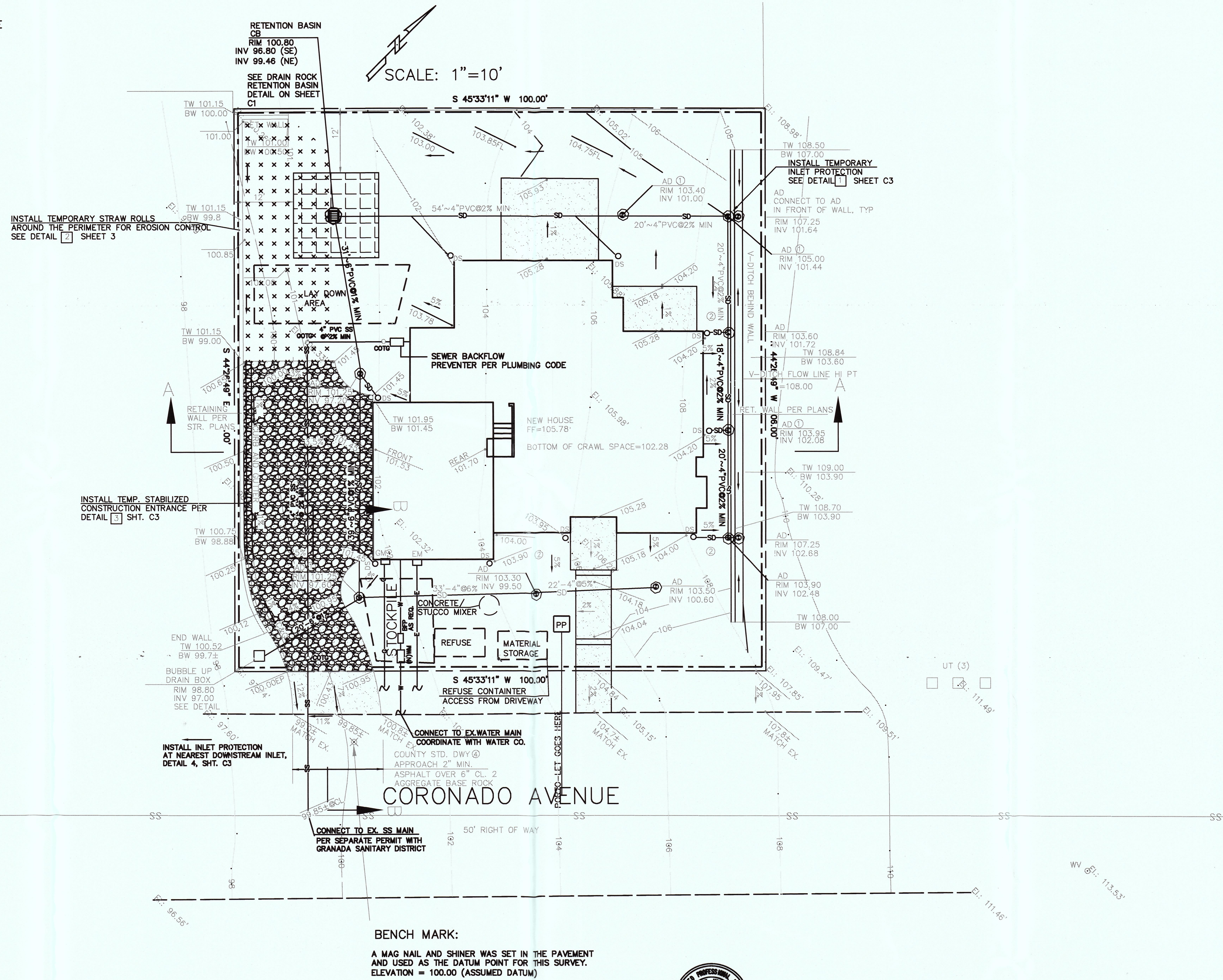
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SCALE: AS SHOWN  
DRAWN BY: YC  
CHECKED BY: SH  
DATE: 07/25/2016

SHEET  
**C2**  
OF 6 SHEETS



REFERENCE NOTES:

1. INSTALL AREA DRAINS ALONG SIDE YARD, SEE TYP. DETAIL
2. NEW 4" STORM DRAIN @ 2% MIN. PVC SCH 40 SDR 26 MIN.
3. INSTALL NEW 4" SEWER @ 2% MIN. SLOPE. SDR 35 MIN. PIPE PER SEPARATE PERMIT WITH GRANADA SANITARY DISTRICT
4. FOR THE COUNTY STANDARD DRIVEWAY APPROACH, INSTALL SLIGHT DRAINAGE SWALE PER DIRECTION OF ROAD INSPECTOR.



BAY LAND CONSULTING  
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SERVING THE BAY AREA



GRADING AND DRAINAGE  
EROSION CONTROL PLAN  
CORONADO DRIVE  
HALF MOON BAY (UNINCORPORATED), CA  
APN 048-024-430

REVISIONS	
DATE	DESCRIPTION

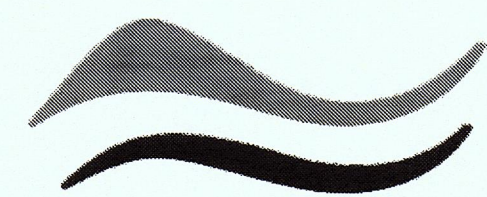
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DATE: 07/25/2016

SHEET  
C3  
OF 6 SHEETS



7/26/2016



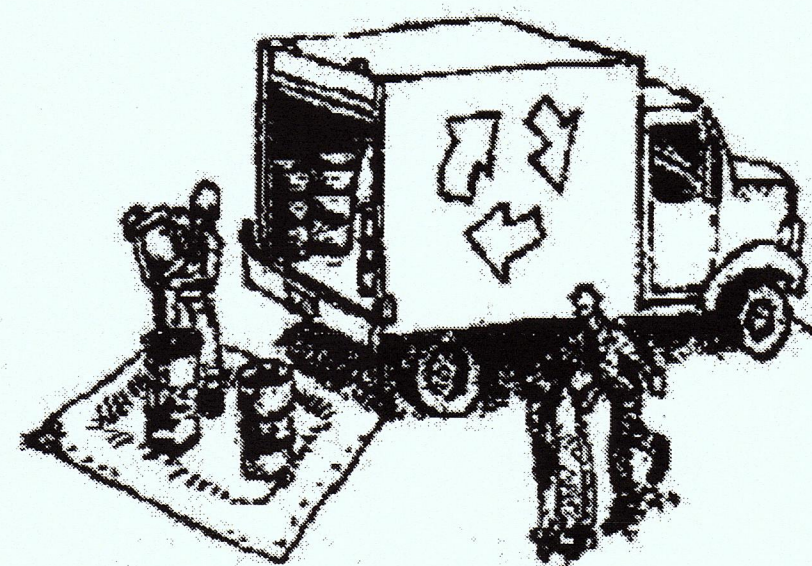


SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**  
Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

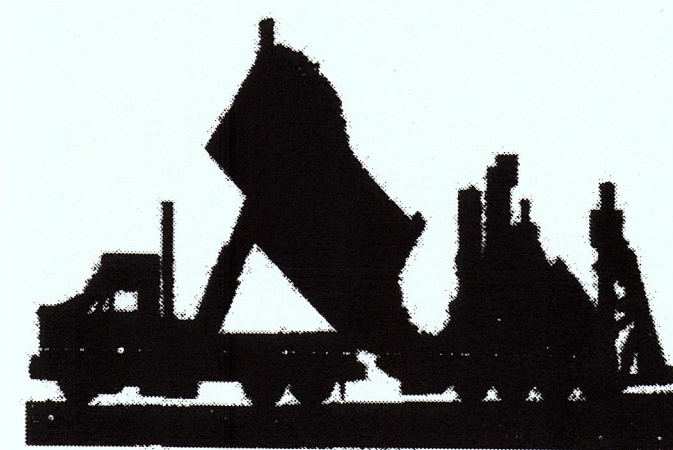


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



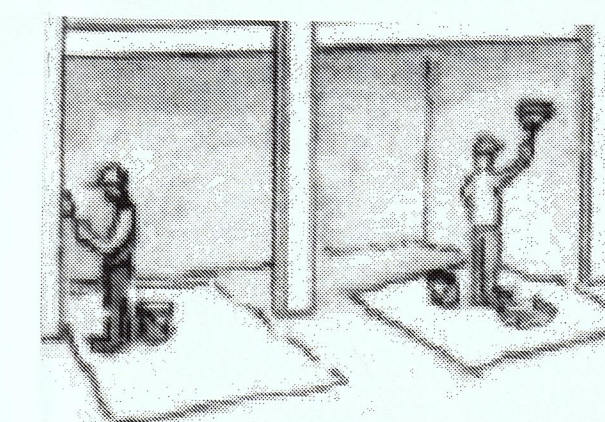
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

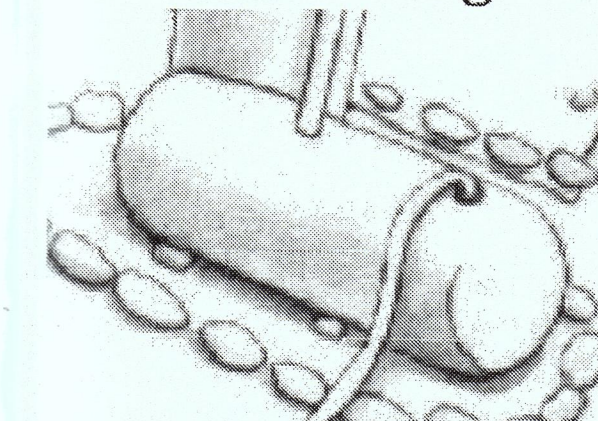
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

BAY LAND CONSULTING

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SERVING THE BAY AREA



GRADING AND DRAINAGE  
BEST MANAGEMENT PRACTICES PLAN  
CORONADO DRIVE  
HALF MOON BAY (UNINCORPORATED), CA  
APN 048-024-430

### REVISIONS

DATE	DESCRIPTION

JOB NO. 15012

SCALE: AS SHOWN

DRAWN BY: YC

CHECKED BY: SH

DATE: 07/25/2016

SHEET

C5

OF 6 SHEETS