

November 23, 2016

Chezare Santini
P.O. Box 1808
Pacifica, CA 94044

Dear Mr. Santini:

SUBJECT: Coastside Design Review
Sunshine Valley Road, Montara
APN 036-282-050; County File No. PLN 2016-00333

At its meeting of November 10, 2016, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow construction of a new 2,217 sq. ft. 1-1/2 story single-family residence plus an attached 611 sq. ft., two-car garage on a 6,197 sq. ft. legal parcel. Nine (9) trees are proposed for removal.

The CDRC was unable to make the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards For Design For One-Family and Two-Family Residential Development In The Midcoast" manual is required, specifically on Section 6565.20(D) and Section 6565.20(F). As such, requirements and recommendations from the CDRC for further project redesign are as follows:

Requirements:

1. Submit a detailed landscape plan to include all existing trees onsite. Indicate which ones are proposed for removal.
2. Submit a roof plan.
3. Submit manufacturer's specification sheets for all proposed exterior lighting fixtures. Fixtures must be downward-directed/Dark Sky compliant.

Recommendations:

1. Lower the garage roof ridge height to 15 ft. – 4 in.
2. Pull back the front porch overhang to the lowest riser.
3. Inset stair well by 1 foot, 6 inches, that spans the entire height of the building.
4. Limit the exterior lighting fixtures to one (1) per door, except at the front door where two (2) are recommended.



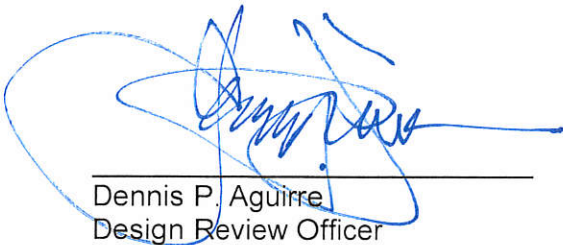
5. For the Craftsman style architecture:
 - a. Add more window sills and trims.
 - b. Remove the shutters.
 - c. Add aprons under the sills.
 - d. Replace the knee braces located at the attic dormer and living room bay window with exposed rafters.
 - e. Lower the porch overhang to align with the top of the transom.
 - f. Replace the hexagonal bay window with a square one, as shown over the attic dormer.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:aow – DPAAA0665_WAN.DOCX

cc: Dianne Whitaker, Member Architect
Stuart Grunow, Member Architect
Beverly Garrity, Montara Community Representative

Home / Lighting & Ceiling Fans / Outdoor Lighting / Outdoor Wall Mounted Lighting / Outdoor Lanterns & Sconces

Model # HB48017MP-237 Internet #100549693 Store SKU #213532



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Planning Division
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Hampton Bay

180-Degree Oil-Rubbed Bronze Motion-Sensing Outdoor Wall Lantern

★★★★☆ (111) [Write a Review](#) [Questions & Answers \(13\)](#)

- Cast aluminum and brass housing is made for outdoor installation
- 180 Degree, 30 ft. range of detection
- Uses 1 medium-base bulb, 100-Watt maximum

\$49.97 /each

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PN2016-00333

Product Overview

The Hampton Bay 180 Degree Outdoor Motion-Sensing Wall Lantern has an attractive brass housing with opaque sides that do not emit stray light, greatly reducing ambient light pollution and earning the approval of the International Dark Sky Association. Add that to energy savings from the auto-off feature and motion sensor for an environmentally friendly addition to your home. Uses 1 medium-base bulb, 100-Watt maximum (not included).

- Cast aluminum and brass housing is made for outdoor installation
- Opaque, conical copper-colored design casts light downward and reduces

Info & Guides

[Instructions / Assembly](#)

[Warranty](#)

You will need Adobe® Acrobat® Reader to view PDF documents.
[Download](#) a free copy from the Adobe Web site.

- Standard wall-mount installation
- Weather-resistant materials for added durability
- Uses 1 medium-base bulb, 100-Watt maximum
- Adjustable auto-off feature
- 180 degree, 30 ft. range of detection
- UL listed
- Assembled dimensions: 8 in. W x 11-1/2 in. H x 11 in. extension
- Have questions about outdoor lighting? Check out our helpful guide here.
- Click here for more information on Electronic Recycling Programs

Specifications

Dimensions

Product Depth (in.)	11	Product Length (in.)	11 in
Product Height (in.)	11.5 in	Product Width (in.)	8 in

Details

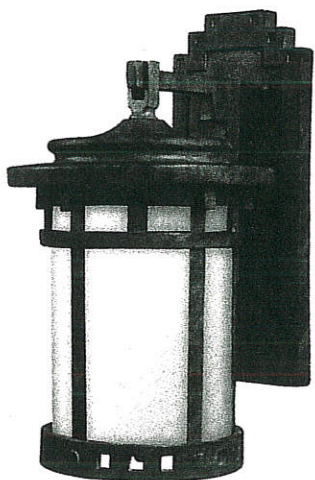
Bulb Type Included	No Bulbs Included	Outdoor Lighting Features	Adjustable Detection Sensitivity,Dark Sky,Dusk to Dawn,Motion Sensing,Motion Sensor,Rust Resistant,Water Resistant,Waterproof,Weather Resistant
Detection Range (ft.)	30	Power Type	Hardwired
Exterior Lighting Product Type	Outdoor Lanterns	Product Weight (lb.)	1.89 lb
Fixture Color/Finish	Oil Rubbed Bronze	Range of Motion	180
Glass/Lens Type	Clear	Recommended Light Bulb Shape Code	A19
Included	Hardware Included,Motion Sensor	Returnable	90-Day
Light Bulb Base Code	Medium	Size	Small
Maximum Bulb Wattage	100 W	Style	Transitional
Maximum Wattage (watts)	100	UL Listing	1-UL Listed
Number of Bulbs Required	1		

Warranty / Certifications

Certifications and Listings	1-UL Listed	Manufacturer Warranty	3-Year Limited Warranty
ENERGY STAR Certified	No		

Home / Lighting & Ceiling Fans / Outdoor Lighting / Outdoor Wall Mounted Lighting / Outdoor Lanterns & Sconces

Model # 3143MOSE Internet #204347025



Save to List

Maxim Lighting

Santa Barbara Dark Sky-Outdoor Wall Mount

★★★★★ (1) Write a Review Questions & Answers (1)

Add to Cart to See Price

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GU,PR,VI

We'll Ship It to You

Add to Cart

Free Shipping

Expect it
November 23 - November 28

[See Shipping Options](#)

Easy returns in store and online
[Learn about our return policy](#)

Product Overview

Santa Barbara Dark Sky is a traditional, craftsman/mission style collection from Maxim Lighting in Sienna finish with Mocha glass. Designed to meet the requirements of Dark Sky, these fixtures preserve and protect the nighttime environment and the heritage of dark skies through quality outdoor lighting.

- Uses (1) incandescent bulbs
- Bulb(s) not included
- Easy installation instructions and template enclosed for convenient setup
- Includes installation hardware
- Adds traditional styling and visual interest to the outside of your home
- Please allow 3 days for shipping
- Durably crafted from metal

Info & Guides

[Installation Guide](#)

[Instructions / Assembly](#)

[Use and Care Manual](#)

[Warranty](#)

You will need Adobe® Acrobat® Reader to view PDF documents.
[Download a free copy from the Adobe Web site.](#)

Specifications

Dimensions

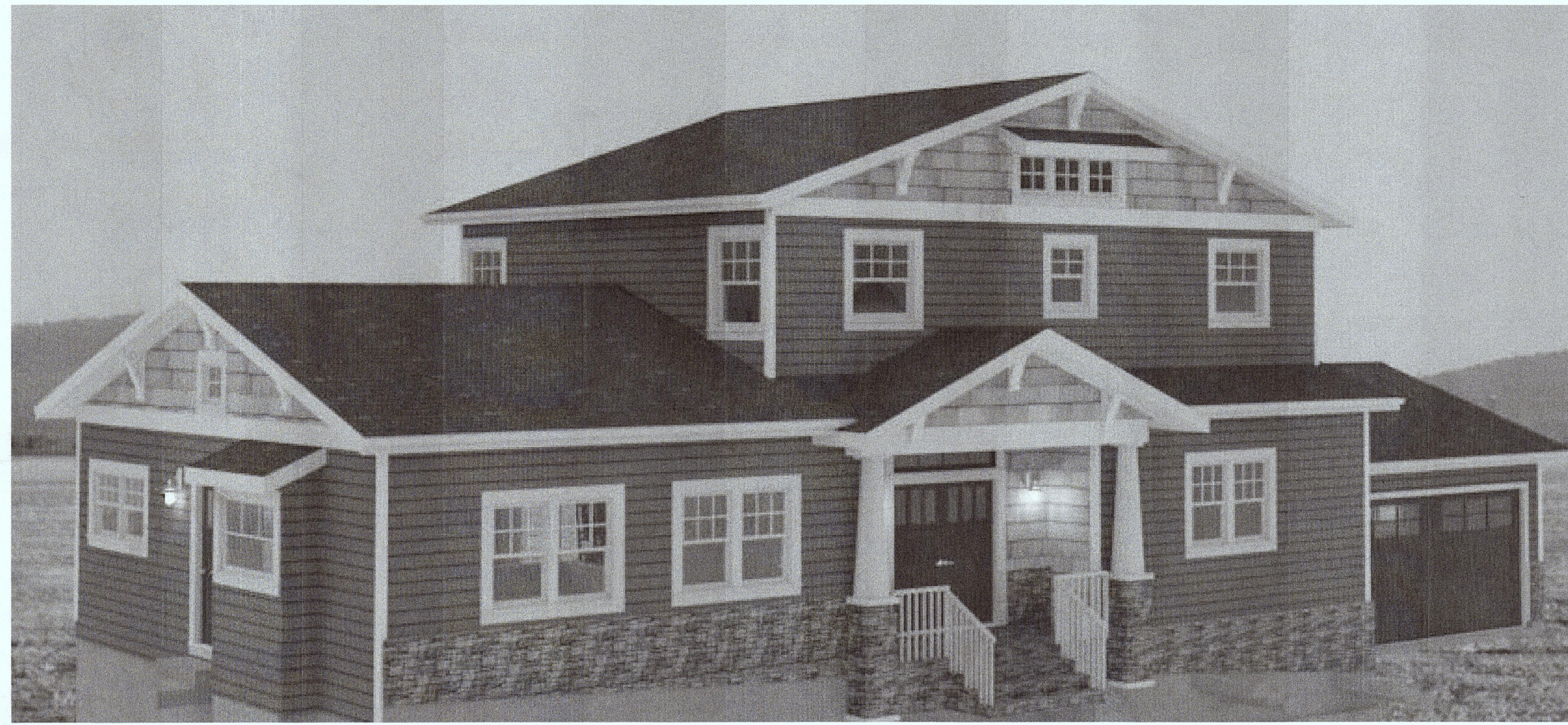
Product Depth (in.)	10.88	Product Length (in.)	10.88
Product Height (in.)	22.63	Product Width (in.)	9.13

Details

Bulb Type Included	No Bulbs Included	Number of Bulbs Required	1
Exterior Lighting Product Type	Outdoor Lanterns	Outdoor Lighting Features	Weather Resistant
Fixture Color/Finish	Sienna	Power Type	Hardwired
Glass/Lens Type	Water glass	Product Weight (lb.)	6.00 lb
Included	Hardware Included	Recommended Light Bulb Shape Code	A19
Light Bulb Base Code	Medium	Returnable	90-Day
Maximum Bulb Wattage	100 W	Style	Classic
Maximum Wattage (watts)	100		

Warranty / Certifications

Certifications and Listings	1-UL Listed, CSA Listed	Manufacturer Warranty	There is a limited one year warranty on this item.
ENERGY STAR Certified	No		



0 HOWELL STREET, APN# 036-282-050. NEW CUSTOM HOME

PRELIMINARY PLANS

MONTARA, CALIFORNIA

DESIGNED BY:
CHEZARE G. SANTINI
SANTINI CREATIONS
1359 HERMOSA AVE,
PACIFIC CA, CA. 94044
PHONE: 650.438.6945
chezaregs5@gmail.com

PROJECT NOTES

- ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR IN THE FIELD
- ALL INSPECTIONS INSPECTION'S REQUIRE 24 HOUR NOTICE
- CONSTRUCTION WORKING HOURS SHALL NOT EXTEND BEYOND 7AM TO 6PM, MONDAY THROUGH FRIDAY, WITHOUT WRITTEN PERMISSION FROM SAN MATEO COUNTY
- INFORMATION CONTAINED WITHIN THESE DOCUMENTS SHALL NOT BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE APPLICABLE CODES.
- CONTRACTOR SHALL REVIEW ALL DOCUMENTS TO COORDINATE WITH THE EXISTING SITE CONDITIONS
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL, OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT
- CONSTRUCTION WORK WITHIN THE STREET OR SIDEWALK RIGHT-OF-WAY SHALL ONLY BE DONE BETWEEN 9 AM AND 4 PM, MONDAY THROUGH FRIDAY EXCEPT CITY HOLIDAYS, WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE CITY ENGINEER
- ROADWAYS SHALL BE MAINTAINED CLEAR OF CONSTRUCTION MATERIALS AND DEBRIS AT ALL TIMES. DAILY ROAD CLEANUP WILL BE ENFORCED
- HOLES OR TRENCHES WITHIN THE PUBLIC RIGHT OF WAY MUST BE BACKFILLED BEFORE LEAVING EACH NIGHT UNLESS WRITTEN PERMISSION IS PROVIDED BY THE CITY ENGINEER, WHICH MUST BE REQUESTED AT LEAST 24 HOURS IN ADVANCE
- ALL RECORDED SURVEY POINTS, WHETHER WITHIN PRIVATE PROPERTY OR PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AND PRESERVED. IF SURVEY POINTS ARE ALTERED, REMOVED OR DESTROYED, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A LICENSED SURVEYOR OR QUALIFIED CIVIL ENGINEER TO RESTORE OR REPLACE THE SURVEY POINTS AND RECORD THE REQUIRED MAP PRIOR TO COMPLETION OF THE BUILDING PERMIT
- ALL IMPROVEMENTS IN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SAN MATEO COUNTY SPECIFICATIONS AND WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE COUNTY
- ANY DAMAGE TO IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY OR TO ANY PRIVATE PROPERTY, WHETHER ADJACENT TO SUBJECT PROPERTY OR NOT, THAT IS DETERMINED BY THE CITY ENGINEER TO HAVE RESULTED FROM CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT, SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER
- THERE SHALL BE NO STRUCTURAL ENCROACHMENT INTO THE PUBLIC RIGHT-OF-WAY.
- WATER CLOSETS WILL HAVE A MAXIMUM FLOW RATE OF 1.28 GPF
- SHOWER HEADS WILL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM
- LAVATORY AND KITCHEN FAUCETS WILL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)
- ROOF TRUSSES ARE A DEFERRED SUBMITTAL AND PRIOR TO FRAMING INSPECTION WILL BE APPROVED BY THE BUILDING DEPARTMENT
- SMOKE ALARM/DETECTOR ARE TO BE HARDWIRED, INTERCONNECTED AND WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURERS INSTRUCTION AND NFPA 72
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPEN ABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPEN ABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPEN ABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR
- SMOKE DETECTOR TO BE INSTALLED IN EACH BEDROOM
- AT LEAST ONE SMOKE DETECTOR INSTALLED ON EACH FLOOR
- SMOKE DETECTOR TO BE INSTALLED AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA
- A ONE HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20 MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY W/ SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED
- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE DISTRICT. THE REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT
- EXTERIOR BELL AND INTERIOR HORN/STROBE ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRIC PANEL AND LABELED
- THE ROOF COVERING SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE
- THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2"
- A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY
- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD
- NO HERITAGE TREE CANOPIES ON THIS LOT WITH DRIP LINES WITHIN THE FOOTPRINT OF THE PROPOSED PROJECT
- THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM
- ALL UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN

PLANNING DATA

- PROJECT ADDRESS:
0 HOWELL STREET
MONTARA, CA. 94037
- PARCEL NUMBER:
036-282-050
- ZONING:
R-1 SINGLE FAMILY RESIDENTIAL
- PLAN 2016-00333

SCOPE OF WORK

- EXCAVATE SITE AS NEEDED
- BUILD NEW 2 STORY HOME

BUILDING DATA

- TYPE OF OCCUPANCY: R-3/U
- CONSTRUCTION TYPE: VB
- SINGLE FAMILY RESIDENCE 4 BEDROOMS
- TWO STORY HOUSE
- WOOD FRAMED HOUSE WITH STONE, HARDIE, AND SHINGLE SIDING

EFFECTIVE CODES

- ALL WORK SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE FOLLOWING CODES;
- CRC 2013, CBC 2013, CMC 2013, CPC 2013, CEC 2013, CFC 2013, CGB 2013

SQUARE FOOTAGE

- PROPOSED LIVING	2,217
- GARAGE	611
- TOTAL	2,828
- LOT	6,197

SQUARE FOOTAGE LOT COVERAGE (%) 30%

- FLOOR AREA RATIO	46%
- PROPOSED HOME TOTAL	30%
- PROPOSED LANDSCAPING	70%

SYMBOLS

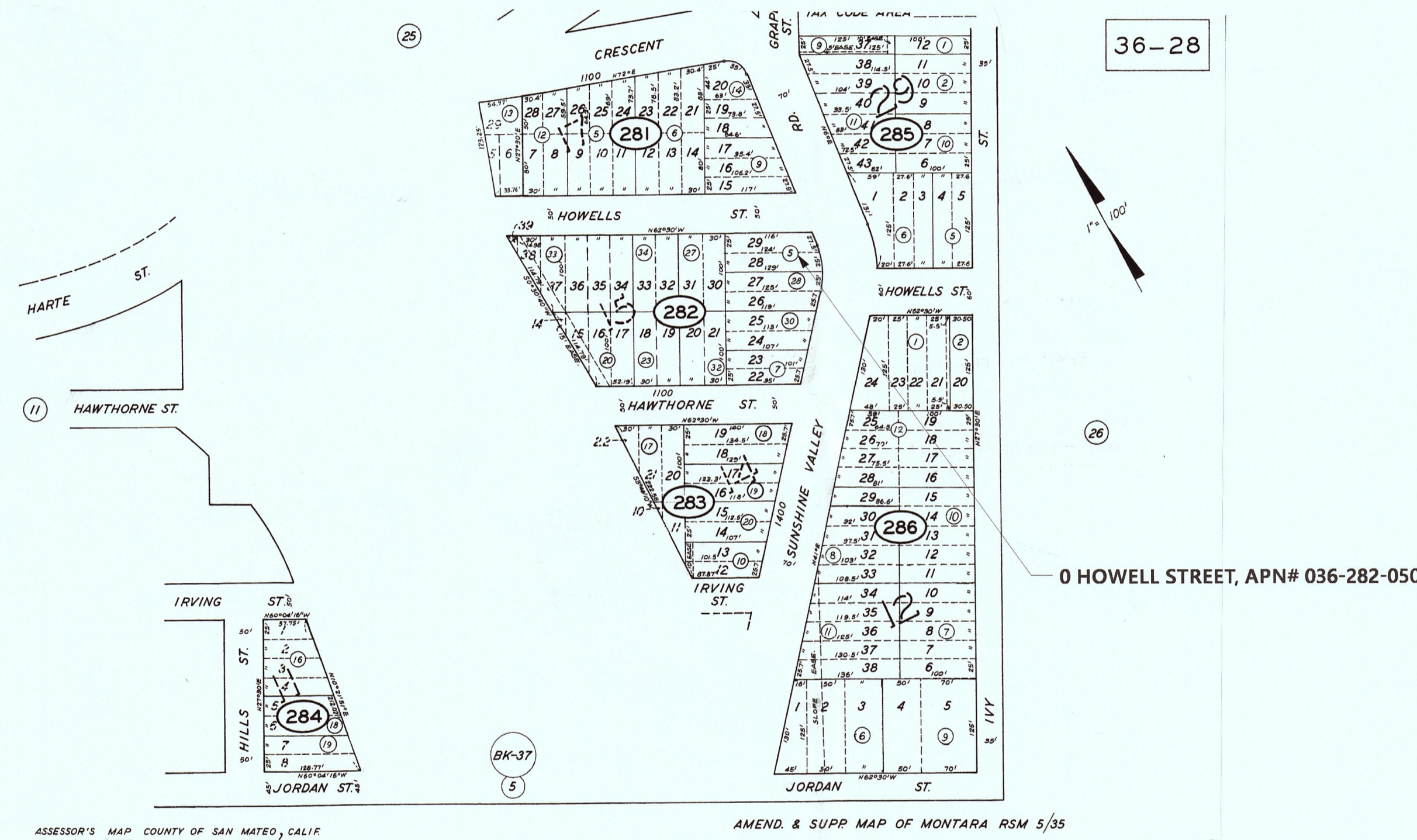
- 1 A-0 ← DETAIL DESIGNATION SHEET NUMBER
- 1 A-0 ← DIRECTION OF VIEW DETAIL DESIGNATION SHEET NUMBER
- 1 ← KEYNOTES
- 1 ← REVISION NUMBER
- ← NORTH ARROW

SHEET INDEX

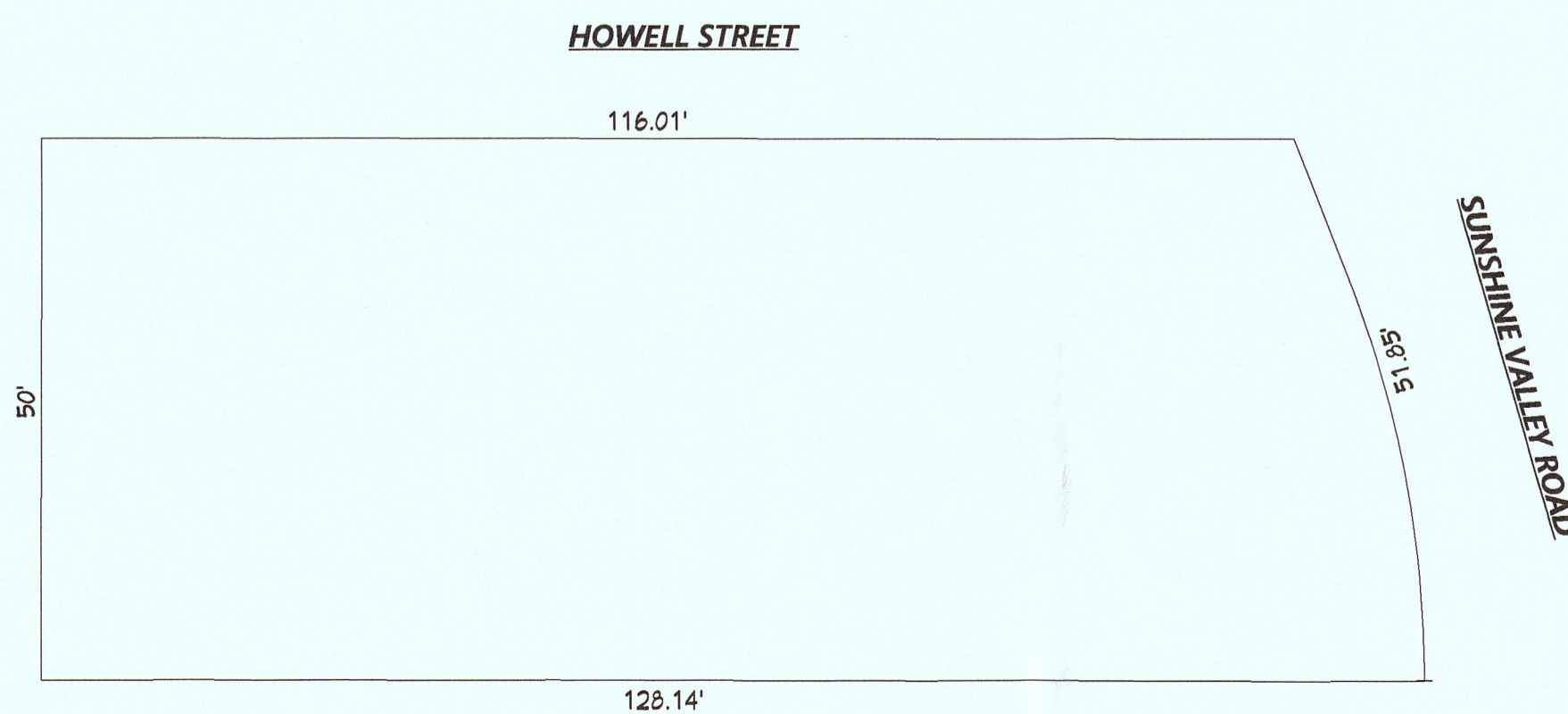
DESIGN

- A-0 SHEET INDEX / EXISTING SITE PLAN / PARCEL MAP / ANALYSIS / NOTES / PROPOSED STREET VIEW
- A-1 PROPOSED SITE PLAN WITH 1ST FLOOR LAYOUT
- A-2 TOPOGRAPHIC SURVEY
- A-3 PROPOSED 1ST FLOOR PLAN OVER TOPOGRAPHIC SURVEY
- A-4 PROPOSED LANDSCAPING PLAN
- A-5 PROPOSED 1ST FLOOR PLAN / PROPOSED 2ND FLOOR PLAN
- A-6 PROPOSED ELEVATIONS
- A-7 PROPOSED ELEVATIONS
- A-8 PROPOSED COLOR PLAN / PERSPECTIVE VIEW
- A-9 CROSS SECTION DETAILS
- A-10 ROOF FRAMING PLAN

3 A-0 RENDERING OF PROPOSED HOUSE



2 A-0 PARCEL MAP



1 A-0 PARCEL PLAN SHOWING PROPERTY LINE

1"=16'

REVISIONS:

PROJECT SCOPE:
NEW TWO STORY CUSTOM HOME

SANTINI RESIDENCE
0 HOWELL STREET
MONTARA, CA 94037
APN# 036-282-050

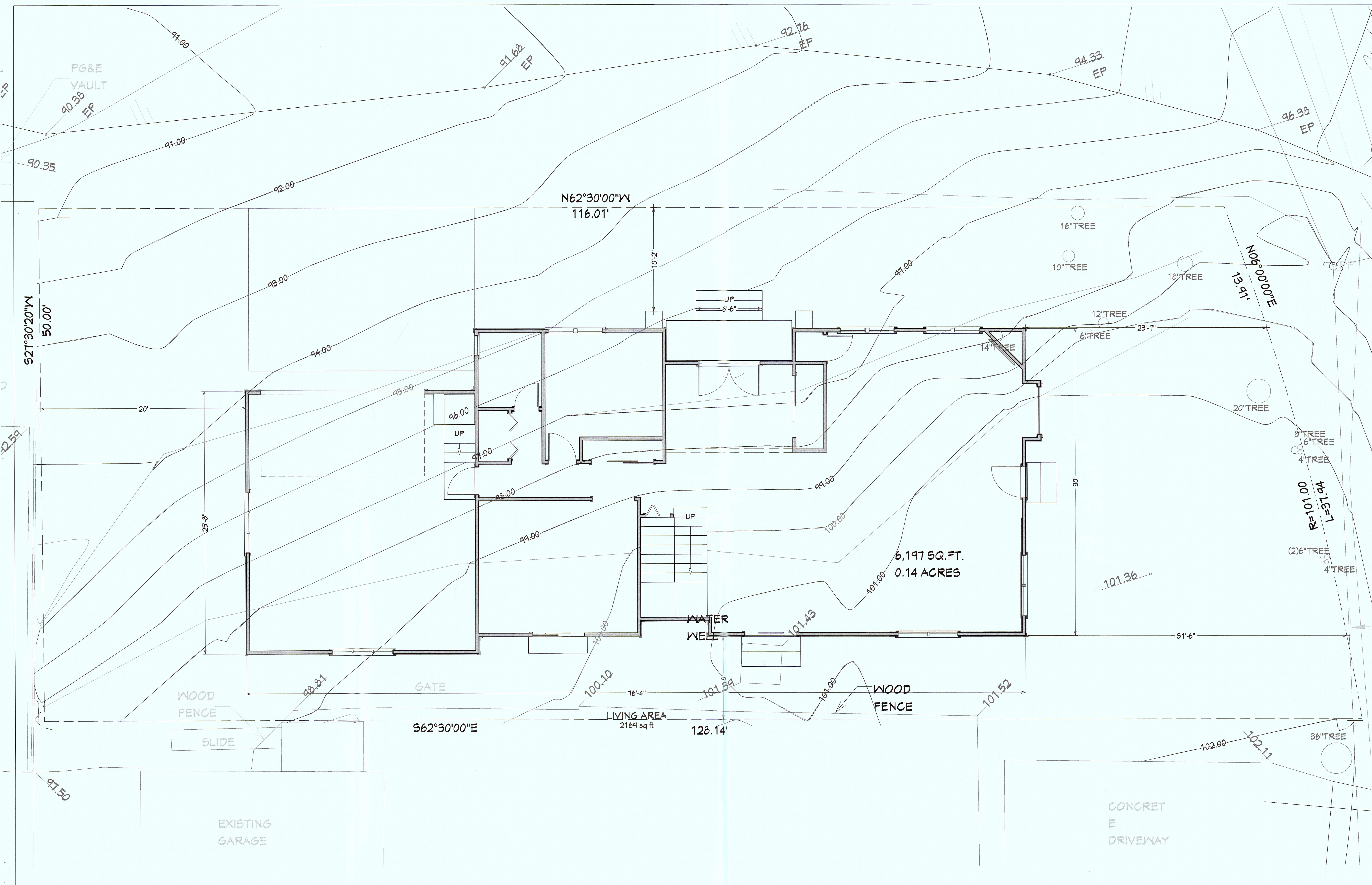
SHEET TITLE:
SHEET INDEX / EXISTING SITE PLAN / PARCEL MAP / ANALYSIS / NOTES / PROPOSED STREET VIEW

SHEET:

A-0

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San Mateo County
Planning Authority

PLN 2016-00333



DESIGNED BY:
 CHEZARE G. SANTINI
 SANTINI CREATIONS
 1359 HERMOSA AVE,
 PACIFICA, CA. 94044
 PHONE: 650.438.6945
 chezaregs5@gmail.com

REVISIONS:

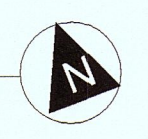
PROJECT SCOPE
 NEW TWO STORY CUSTOM HOME

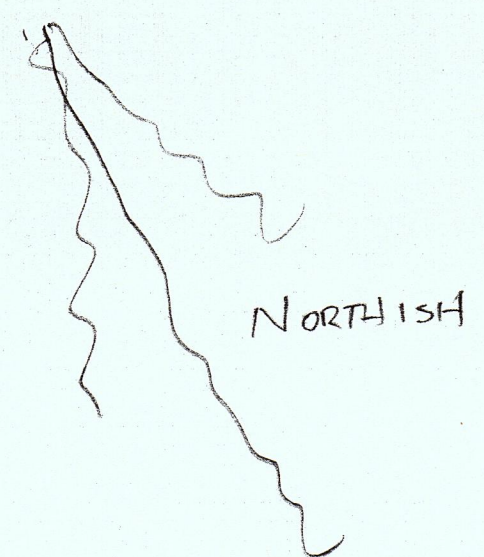
SANTINI RESIDENCE
 0 HOWELL STREET
 MONTEREY, CA 94037
 APN# 036-282-050

SHEET TITLE
 PROPOSED 1ST FLOOR PLAN
 OVER TOPOGRAPHIC SURVEY

SHEET:
A-3

1
 A-3
PROPOSED 1ST FLOOR PERIMETER OVER TOPOGRAPHIC SURVEY
 1/4"=1'





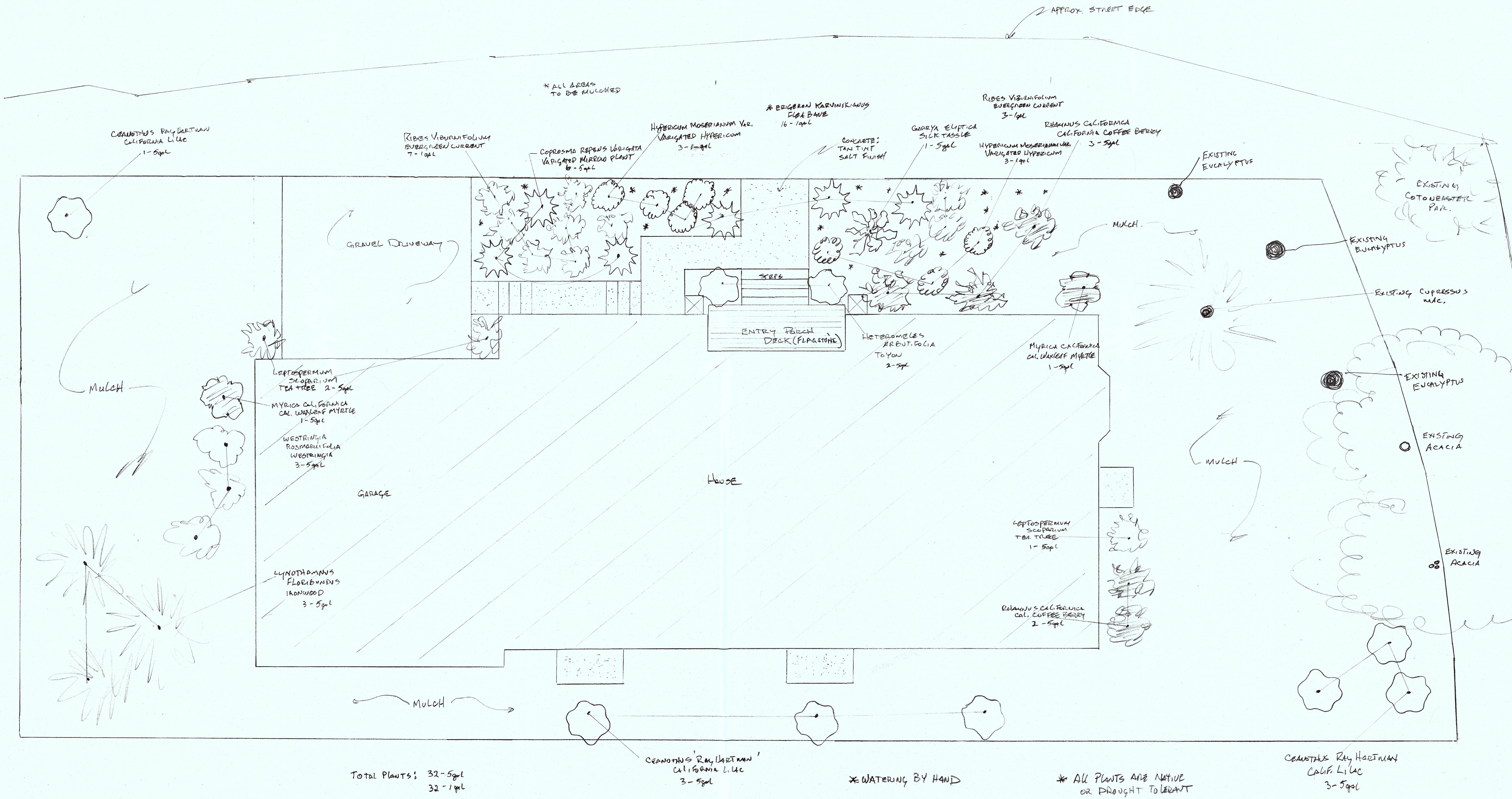
NORTHISH

LANDSCAPE PLAN

FLORA FARM
340 DURUSSIMA ST.
HALF MOON BAY
DRAWN BY: JERRY WHITING
LIC # 549107

SANTINI RESIDENCE
O HOWELL STREET
MONTARA, CA.
APN # 036-282-050

SCALE 1/4" = 1'-0"
DATE 11/15/16



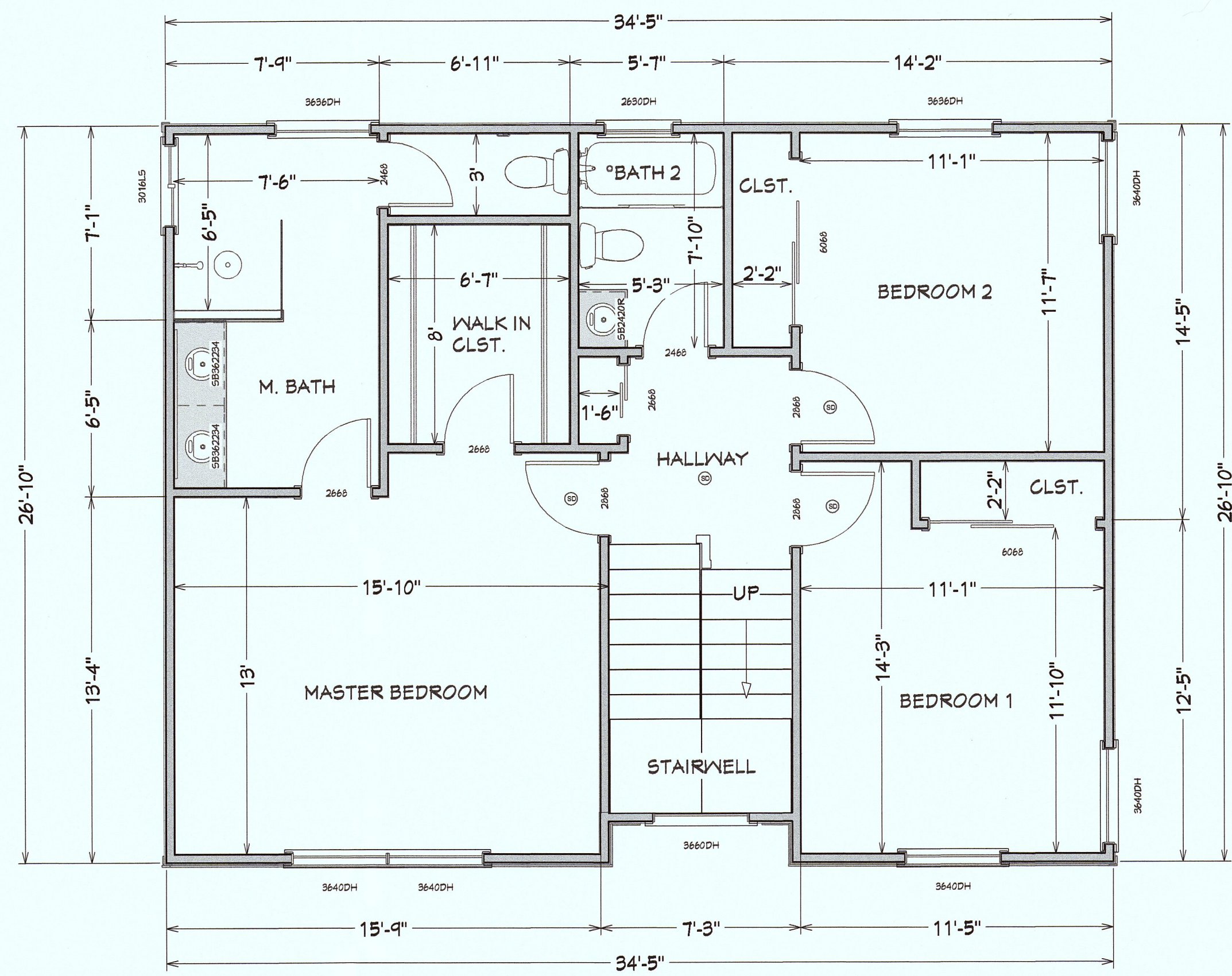
Total Plants: 32-5gal
32-1gal

CEANOETHUS RAY HARTMAN
CALIF. LILAC
3-5gal

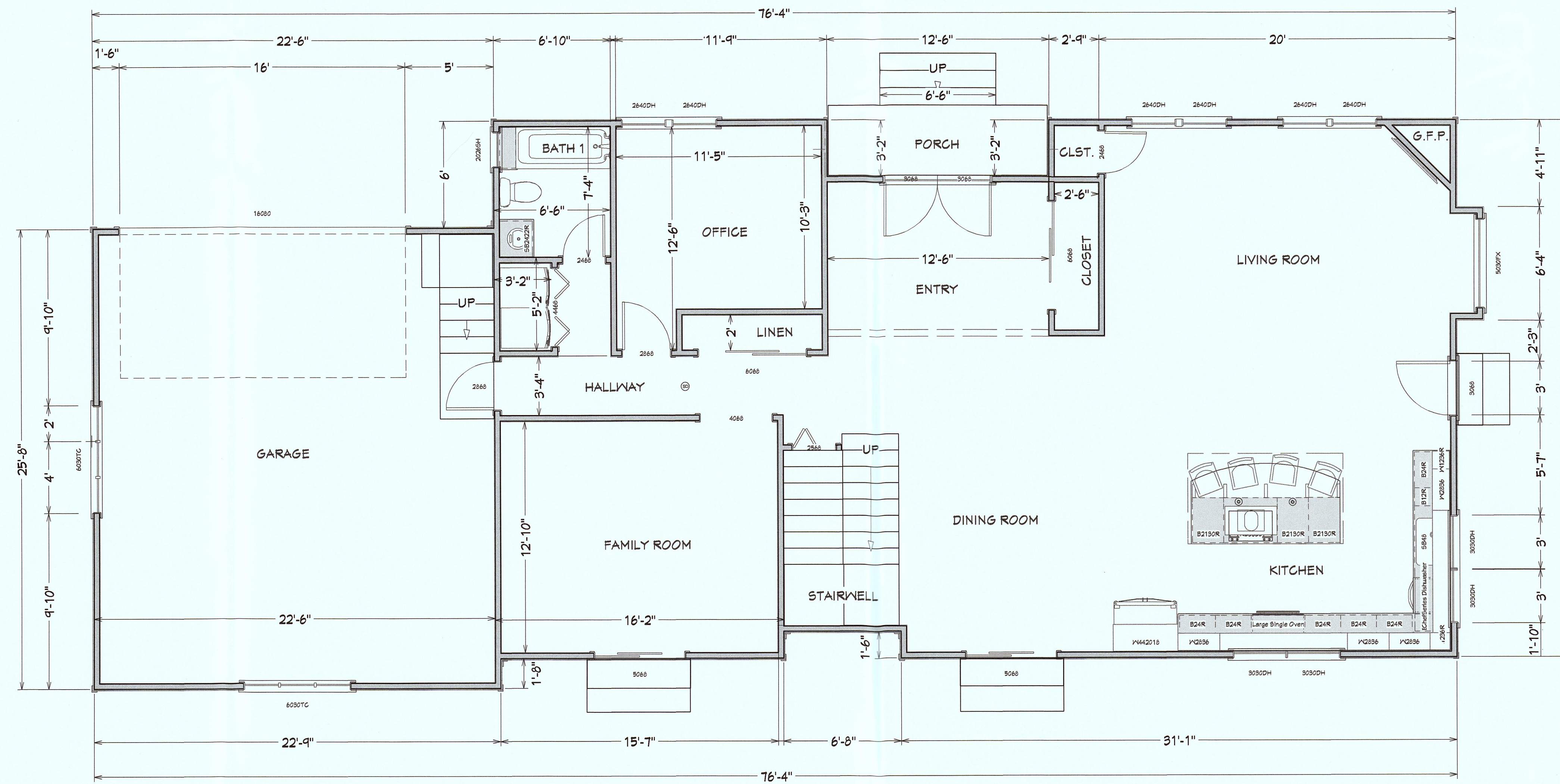
* WATERING BY HAND

* ALL PLANTS ARE NATIVE
OR BROUGHT TO BEANT

CEANOETHUS RAY HARTMAN
CALIF. LILAC
3-5gal



2
A-5
PROPOSED 2ND FLOOR PLAN
1/4" = 1'



1
A-5
PROPOSED 1ST FLOOR PLAN
1/4" = 1'

NOTES

- A ONE HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20 MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY W/ SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED
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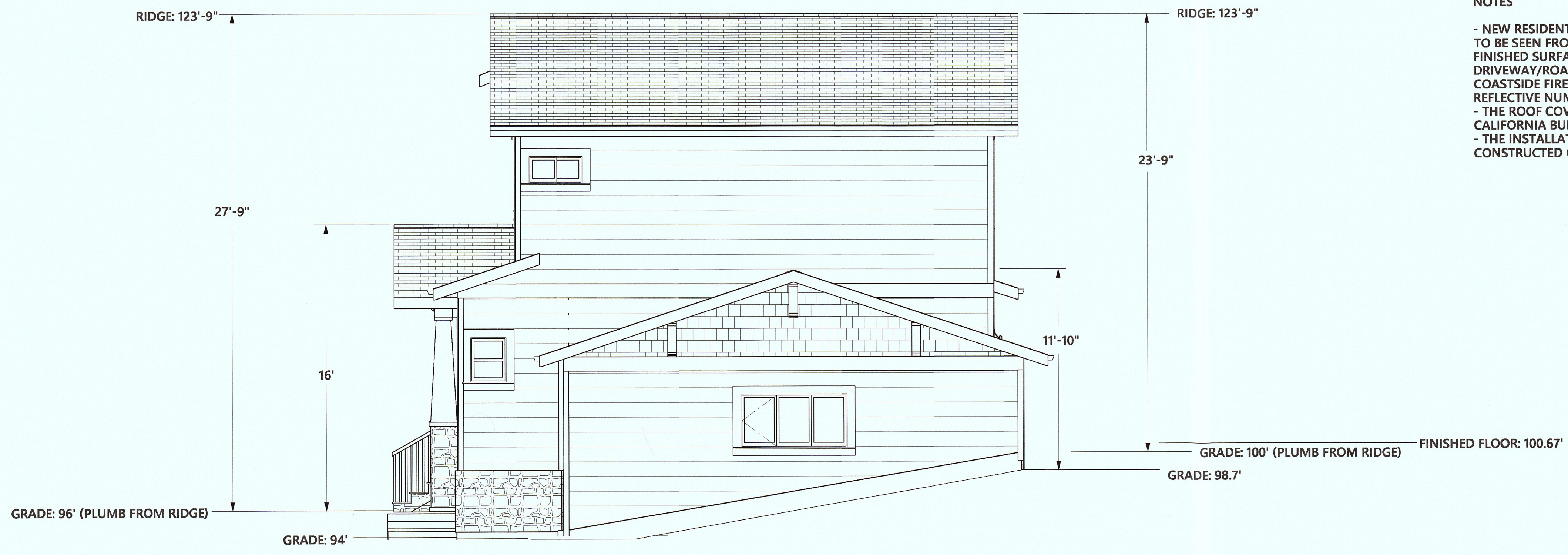
REVISIONS:

PROJECT SCOPE
 NEW TWO STORY CUSTOM HOME

SANTINI RESIDENCE
 0 HOWELL STREET
 MONTARA, CA 94037
 APN# 036-282-050

SHEET TITLE:
 PROPOSED 1ST FLOOR PLAN /
 PROPOSED 2ND FLOOR PLAN

SHEET:
A-5



- NOTES**
- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR OF EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE DISTRICT. THE REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT
 - THE ROOF COVERING SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE
 - THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2"

2
 A-6
 1/4"=1'
PROPOSED WEST ELEVATION



1
 A-6
 1/4"=1'
PROPOSED NORTH ELEVATION

REVISIONS:

PROJECT SCOPE:
 NEW TWO STORY CUSTOM HOME

SANTINI RESIDENCE
 0 HOWELL STREET
 MONTARA, CA 94037
 APN# 036-282-050

SHEET TITLE:
 PROPOSED NORTH ELEVATION
 PROPOSED WEST ELEVATION

SHEET:
A-6

DESIGNED BY:
 CHEZARE G. SANTINI
 SANTINI CREATIONS
 1359 HERMOSA AVE,
 PACIFICA, CA. 94044
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 chezaregs@gmail.com

REVISIONS:

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 0 HOWELL STREET
 MONTARA, CA 94037
 APN# 036-282-050

SHEET TITLE:
 PROPOSED SOUTH ELEVATION
 PROPOSED EAST ELEVATION

SHEET:
A-7

ESCAPE/RESCUE WINDOW TO MEET EGRESS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQUARE FT. ALLOWED AT GRADE.
 THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
 THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
 FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

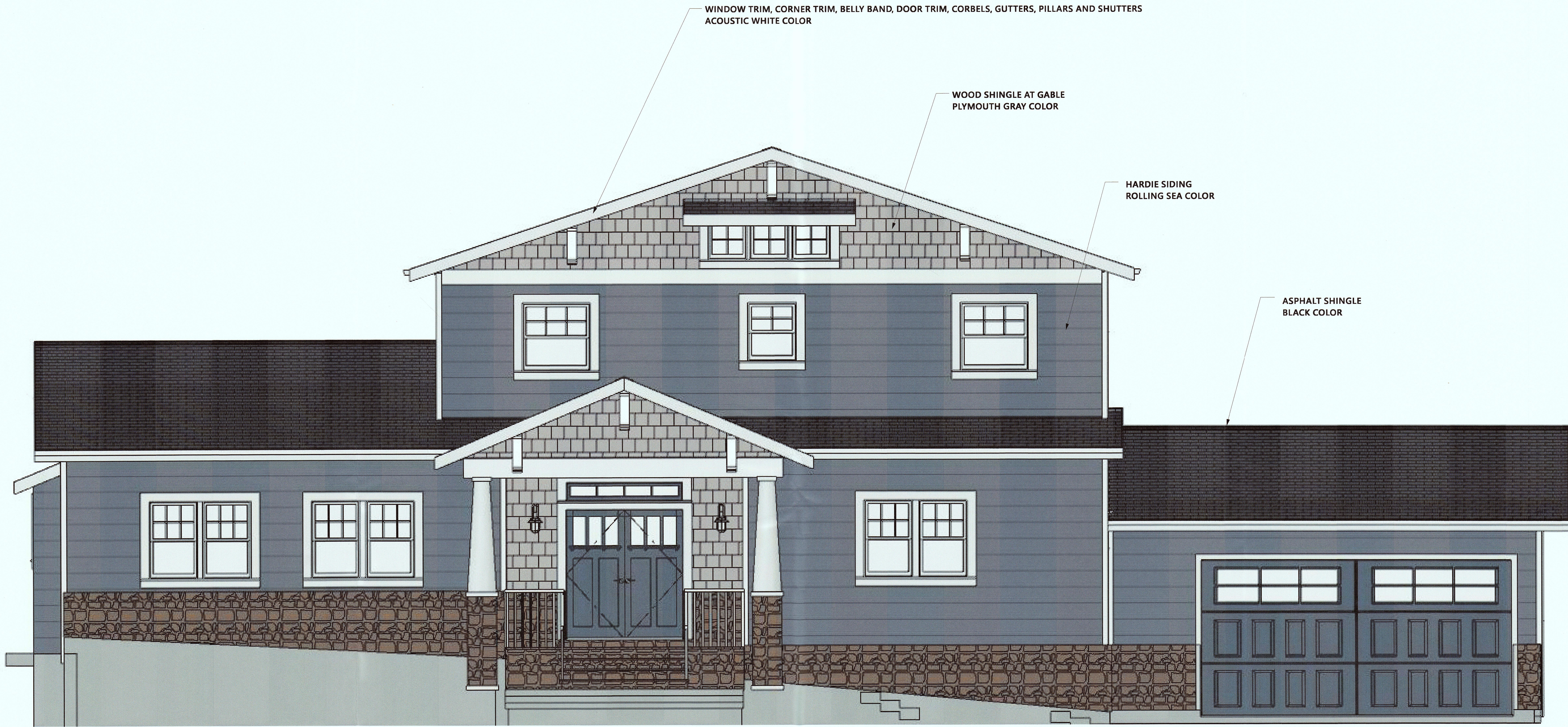


2
 A-7
PROPOSED EAST ELEVATION
 1/4"=1'

ESCAPE/RESCUE WINDOW TO MEET EGRESS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQUARE FT. ALLOWED AT GRADE.
 THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
 THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
 FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.



1
 A-7
PROPOSED SOUTH ELEVATION
 1/4"=1'



WINDOW TRIM, CORNER TRIM, BELLY BAND, DOOR TRIM, CORBELS, GUTTERS, PILLARS AND SHUTTERS
ACOUSTIC WHITE COLOR

WOOD SHINGLE AT GABLE
PLYMOUTH GRAY COLOR

HARDIE SIDING
ROLLING SEA COLOR

ASPHALT SHINGLE
BLACK COLOR

1
A-8 **COLOR STUDY**
1/4"=1'

DESIGNED BY:
CHEZARE G. SANTINI
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1359 HERMOSA AVE,
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chezaregs@gmail.com

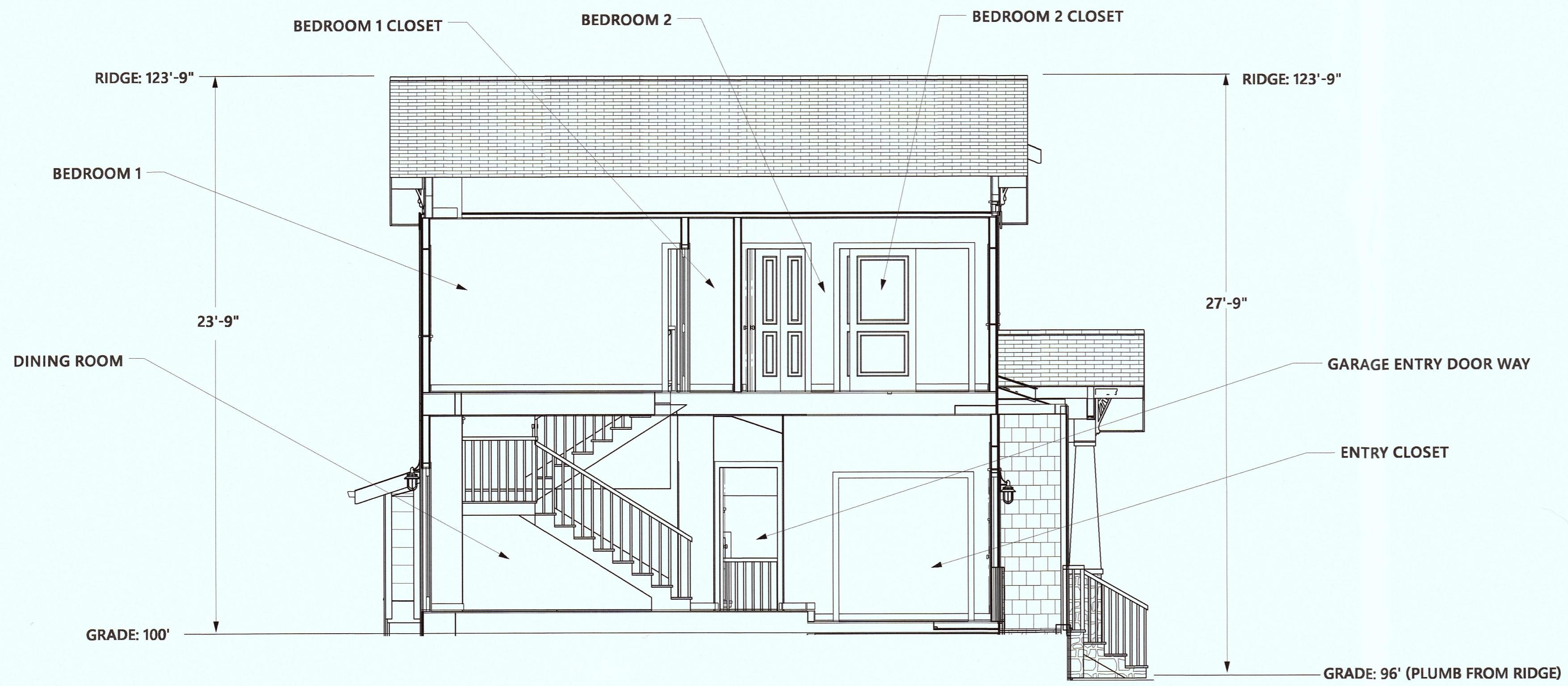
REVISIONS:

PROJECT SCOPE
NEW TWO STORY CUSTOM HOME

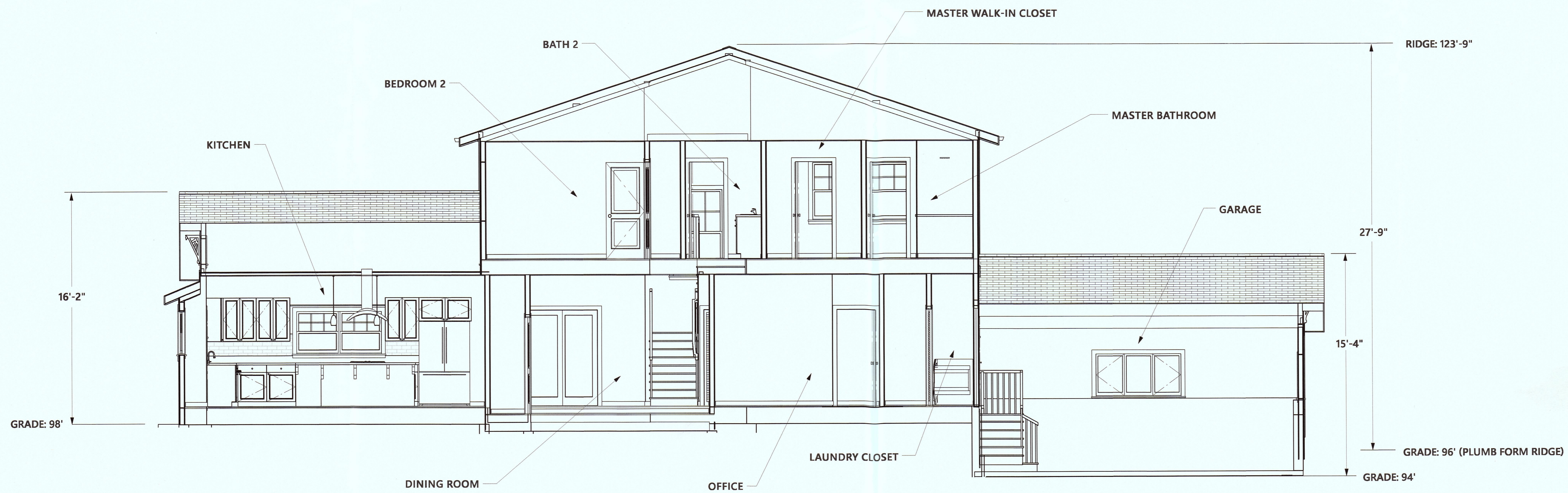
SANTINI RESIDENCE
0 HOWELL STREET
MONTARA, CA 94037
APN# 036-282-050

SHEET TITLE:
COLOR STUDY

SHEET:
A-8



2
A-9
EAST SIDE CROSS SECTION DETAIL
1/4"=1'



1
A-9
NORTH SIDE CROSS SECTION DETAIL
1/4"=1'

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0 HOWELL STREET
MONTARA, CA 94037
APN# 036-282-050

SHEET TITLE:
CROSS SECTION DETAILS

SHEET:
A-9

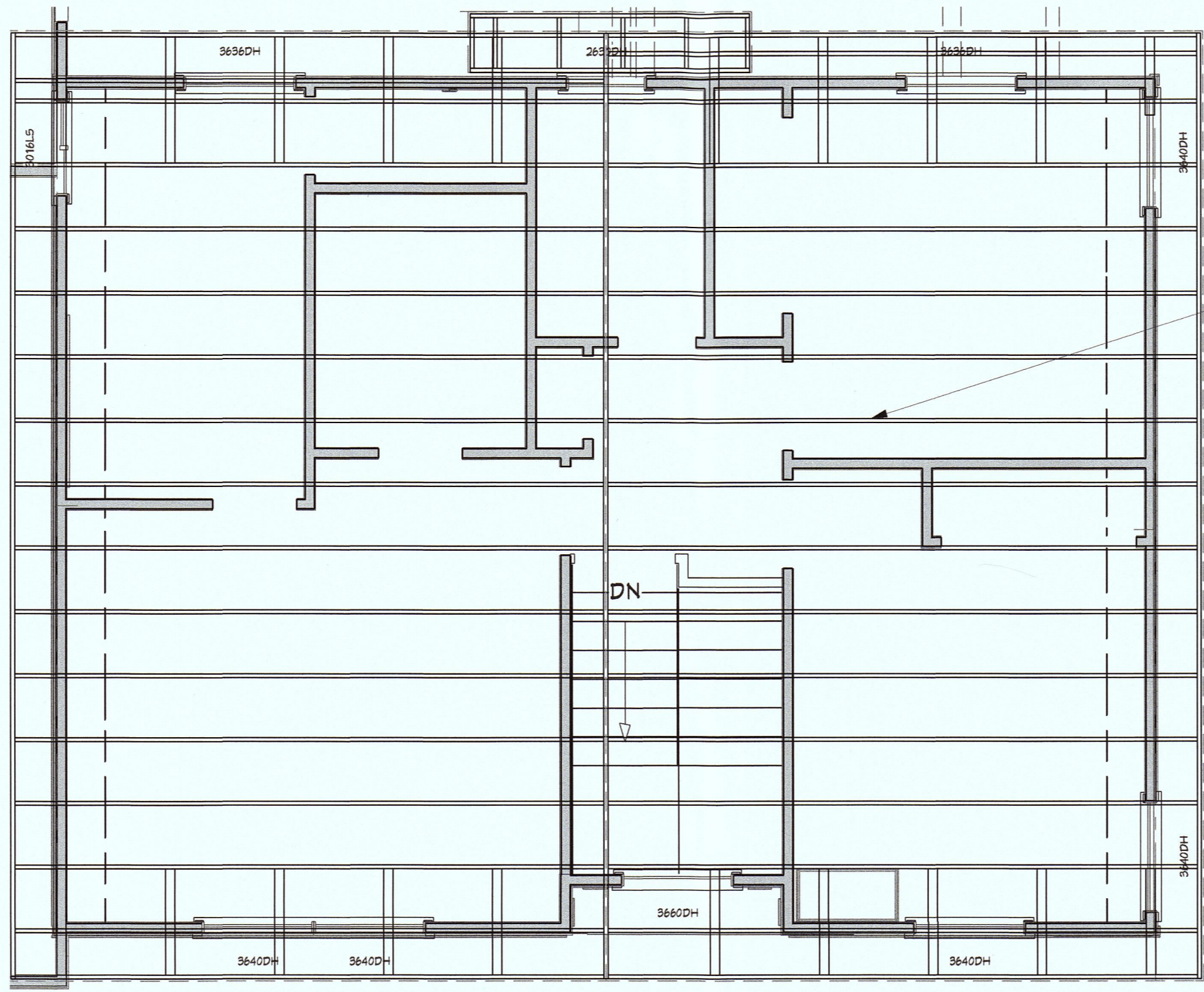
REVISIONS:

PROJECT SCOPE:
 NEW TWO STORY CUSTOM HOME

SANTINI RESIDENCE
 0 HOWELL STREET
 MONTARA, CA 94037
 APN# 036-282-050

SHEET TITLE:
 ROOF FRAMING PLAN

SHEET:
A-10



ENGINEERED TRUSSES OVER ENTIRE 2ND STORY TO HAVE VAULTED CEILING.
 TRUSS LAYOUT 2' O.C.
 ROOF PITCH IS 4" RISE TO 12" RUN.
 ADEQUATE 2X BLOCKING TO BE INSTALLED IN BETWEEN TRUSSES AS REQUIRED BY THE MANUFACTURER.

2
 A-10
PROPOSED 2ND FLOOR ROOF PLAN
 1/4"=1'

ENGINEERED TRUSSES OVER FRONT ENTRY AND BATHROOM 1/OFFICE LOCATION.
 TRUSS LAYOUT 2' O.C.
 ROOF PITCH IS 4" RISE TO 12" RUN.
 ADEQUATE 2X BLOCKING TO BE INSTALLED IN BETWEEN TRUSSES AS REQUIRED BY THE MANUFACTURER.

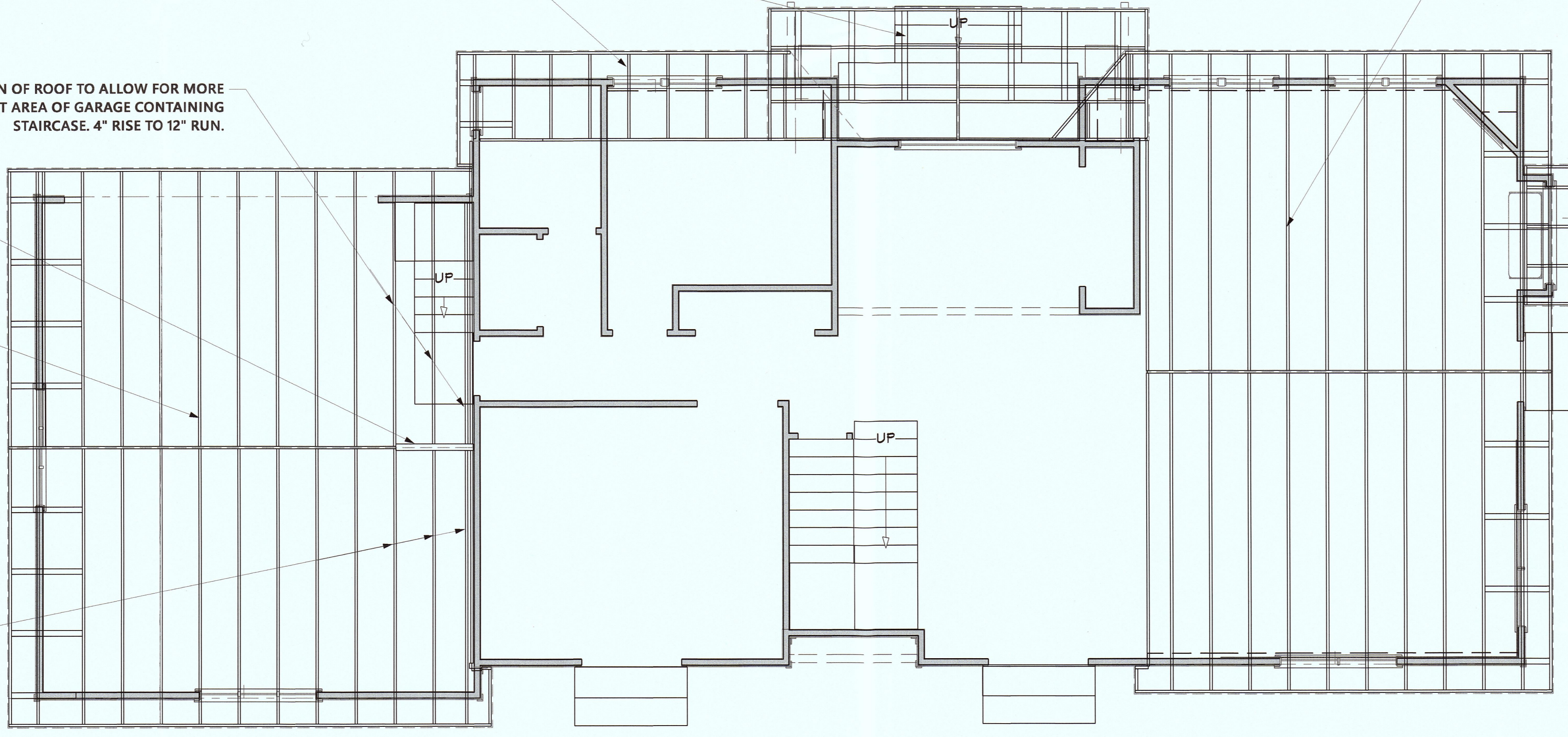
ENGINEERED TRUSSES OVER LIVING ROOM AND KITCHEN TO HAVE VAULTED CEILING.
 TRUSS LAYOUT 2' O.C.
 ROOF PITCH IS 4" RISE TO 12" RUN.
 ADEQUATE 2X BLOCKING TO BE INSTALLED IN BETWEEN TRUSSES AS REQUIRED BY THE MANUFACTURER.

STICK FRAMED SECTION OF ROOF TO ALLOW FOR MORE HEAD CLEARANCE AT AREA OF GARAGE CONTAINING STAIRCASE. 4" RISE TO 12" RUN.

RIDGE BEAM TO CONNECT TO TRUSS FRAMING AND EAST WALL OF GARAGE. FRAMING DETAILS TO BE SPECIFIED BY ENGINEER.

ENGINEERED TRUSSES OVER GARAGE TO HAVE VAULTED CEILING.
 TRUSS LAYOUT 2' O.C.
 ROOF PITCH IS 4" RISE TO 12" RUN.
 ADEQUATE 2X BLOCKING TO BE INSTALLED IN BETWEEN TRUSSES AS REQUIRED BY THE MANUFACTURER.

STICK FRAMED SECTION OF ROOF TO MATCH PARALLEL FRAMING AT OPPOSITE SIDE OF GARAGE. 4" RISE TO 12" RUN.



1
 A-10
PROPOSED 1ST FLOOR ROOF PLAN
 1/4"=1'