

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2016-00091

Other Permit #: _____

1. Basic Information

Applicant: TIM FINICLE

Name: HIGHPOINT DESIGN GROUP, INC.

Address: 310-A WEST JACKSON STREET
SONORA Zip: 95370

Phone, W: 209 591 8610 H: _____

Email: tim@hpdg.us

Owner (if different from Applicant):

Name: SEAN AND BEN STENGER

Address: 148 COSTA RICA AVENUE
BURLINGAME Zip: 94011

Phone, W: 650 483 8615 H: _____

Email: SEANHSTENGER@gmail.com

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 047.071.270

Address: SEVILLA AVENUE
EL GRANADA Zip: 94109

Zoning: R1/S17/DR/CD

Parcel/lot size: 5584.49 sq. ft.

Site Description:

Vacant Parcel

Existing Development (Please describe):

3. Project Description

Project:

New Single Family Residence: 2491 sq. ft

Addition to Residence: _____ sq. ft

Other: _____

Additional Permits Required:

Certificate of Compliance Type A or Type B

Coastal Development Permit

Fence Height Exception (not permitted on coast)

Grading Permit or Exemption

Home Improvement Exception

Non-Conforming Use Permit

Off-Street Parking Exception

Variance

Describe Project:

NEW 2491 SQFT HOME CONSISTING OF
FOUR (4) BEDROOMS, THREE AND ONE
HALF (3 1/2) BATHS AND AN
ATTACHED TWO (2) CAR GARAGE.

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	LAP SIDING	WINDSWEEP CLIFFS (SHERWIN WILLIAMS) ^{HGSW 3220}	<input type="checkbox"/>
b. Trim	BASIC WOOD TRIM	PURE WHITE (SW) HGSW 4000	<input type="checkbox"/>
c. Windows	ANDERSON 100 SERIES	WHITE	<input type="checkbox"/>
d. Doors	A SERIES	WHITE	<input type="checkbox"/>
e. Roof	30 YEAR COMP	CHARCOAL BLACK	<input type="checkbox"/>
f. Chimneys	N/A	N/A	<input type="checkbox"/>
g. Decks & railings	COMBINATION WOOD-METAL	WHITE	<input type="checkbox"/>
h. Stairs	WOOD	WHITE	<input type="checkbox"/>
i. Retaining walls	DECORATIVE BLOCK	GRAY TONES	<input type="checkbox"/>
j. Fences	N/A	N/A	<input type="checkbox"/>
k. Accessory buildings	N/A	N/A	<input type="checkbox"/>
l. Garage/Carport	SAME AS HOUSE	—	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:

Applicant:

Date: 3/3/16

Date: 3-3-16

Design Review Application Submittal Checklist

This checklist is intended to be used by the Applicant during the Design Stage up to the time of the submittal of a complete application to the Current Planning Staff. During the Design Stage, this checklist is used to certify Pre-application Conference Attendance and to help the Applicant compile all the materials and information required for complete application submittal. At the time of project submittal, the Applicant should bring this checklist to the Planning Counter Staff, as this checklist will be used to review the completeness of the application submittal.

DESIGN STAGE

1. DESIGN SHALL CONFORM TO APPLICABLE REGULATIONS AND STANDARDS

The following samples are enclosed in this packet to illustrate materials required for application (see application requirements):

- a. *Maximum Building Heights in Unincorporated San Mateo County*
- b. *Survey Sample*
- c. *Sample Primary Building Elevation (Guidance for Presentation of Color and Exterior Material Samples)*

Other regulations and standards are available at the Planning and Building Department's Website and at the Planning Counter:

- a. *Midcoast Design Review Standards*
- b. *Design Review (DR) Zoning District Ordinance (includes Bayside DR Standards and Required Findings for Permit Approval)*
- c. *Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*

2. PRE-APPLICATION CONFERENCE REQUIREMENT

Prior to finalizing the design of a project in the Design Review District and submitting an application for Design Review, the project designer (which can be the owner) must participate in a pre-application conference with the Design Review Officer. The purpose of the pre-application conference is to assure that the designer and owner are aware of the design standards, expectations, and application requirements of the County prior to finalizing the design of a project. Applications which have not been signed by the Design Review Officer for certification of pre-application attendance are considered incomplete and will not be accepted by the Current Planning Section. Pre-application conferences may be arranged by appointment with the Design Review Officer, telephone 650/363-1825.

CERTIFICATION OF CONFERENCE ATTENDANCE

On 10/21, 2015, the project designer/architect attended a pre-application conference in relation to the development project located at Swilla Ave 40.


Design Review Officer

10/20/15
Date

Notes:

Note: Staff, please add pre-application project review notes as a parcel tag to the property.

APPLICATION STAGE

3. APPLICATION REQUIREMENTS

The following items are necessary for submittal of a complete application:

- a. Proof of owner's interest in property (copy of deed, tax bill, etc.).
- b. Owner's concurrence shall be provided if owner does not sign application.
- c. NPDES Impervious Surface Form (if project will result in 2,500 sq. ft. or more of impervious surface after December 1, 2012).
- d. Completed Environmental Information Form.
- e. Fees as set by resolution of the Board of Supervisors.
- f. A brief written explanation of how the design of the project conforms to the Design Review standards.
- g. For Coastside, include manufacturer's brochure(s) of all exterior light fixtures.
- h. Four (4) 8 1/2" x 11" color copies of exterior color/material (wall, trim, windows, accent). Include color chips from paint stores or manufacturers. Fire-rated materials are required in State Responsibility Areas (SRA) or Local Responsibility Areas (LRA). If specific materials are proposed, they must comply with this requirement.
- i. One (1) set of 8 1/2" x 11" paper reproductions of site plan, floor plans, building elevations and cross section.
- j. Whenever possible, provide electronic file of plans (prefer vector drawings).
- k. Five (5) full-scaled sets of preliminary drawings (not construction plans, minimum 18" x 24" paper size). **Plans shall include the following information:**

☐ SURVEYS

- A topographical survey prepared by a licensed land surveyor or a registered civil engineer (minimum scale of 1 inch = 10 feet).
- A boundary survey (required for additions located less than 5 feet from a minimum setback line) prepared by a licensed land surveyor or a registered civil engineer (minimum scale of 1 inch = 10 feet).
- Survey(s) shall show baseline elevation datum point and its elevation as established by a licensed land surveyor or engineer. (This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural grade of the site or finished grade depending on the applicable zoning district; garage slab, finished first floor, peak roof elevation and, if applicable, daylight planes must be shown on the plans submitted for a building permit.)

☐ SITE PLAN

- Property Lines: Clearly defined and accurate, including their respective linear lengths.
- All existing and proposed improvements (clearly differentiated), including buildings, structures, decks, paving, fences, walls, etc. If, in the case of additions, minimum setback compliance is proposed, a focused boundary survey shall be submitted confirming the exact location of the existing and proposed addition's distance to the closest property line.
- Dimensions of all setbacks.
- Easements (public and private) and utility lines. Access easement should be deducted from lot area for purposes of lot coverage and floor area ratio (FAR).
- Existing grade and proposed grade contour lines as they relate to finished floor levels. Define grading and areas of disturbance by shading.
- Tree Plan showing:
 - ◇ Bayside DR Districts (Emerald Lake Hills, Palomar Park, Devonshire): All existing trees 6" in diameter or 19" in circumference (significant trees). Number trees on plans and identify species/type.
 - ◇ Outside of Bayside DR Districts: All existing trees 12" in diameter or 38" in circumference (significant trees). Number trees on plans and identify species/type.
 - ◇ Trees to be removed, as marked with an "X."
- Information Table on Title Sheet showing:
 - ◇ Parcel size.
 - ◇ Square footage of structures (existing and proposed).
 - ◇ Lot coverage, include calculations.
 - ◇ Floor area ratio (FAR), include calculations.

- Minimum 20-foot wide access road and driveway profile with a maximum slope of 20%.
- For new houses in Emerald Lake Hills only, the location of two (2) guest parking stalls is required. Guest parking stalls are recommended elsewhere. If the garage/carport is located less than 20 feet from front property line, site plan shall be expanded to show how guest parking will be accommodated on- and/or off-site to the satisfaction of the Department of Public Works.

BUILDING ELEVATIONS

- Minimum scale of 1/4 inch = 1 foot.
- Natural grade clearly indicated in relation to all exterior walls.
- Building heights of all elevations.
- All exterior walls. In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.
- Show decks, exterior lights, and other structures or fixtures.
- Identify type of roof and exterior materials to be used. Include manufacturer's brochure, if available.

FLOOR PLANS

- Show all dimensions on all floors.
- In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.

BUILDING CROSS SECTION: Short and long cross sections showing maximum height, with elevation callouts of first floor, finished grade, and ridge height. Elevation callouts shall be consistent with the datum point provided on survey.

LANDSCAPE PLAN: Landscape/tree replacement plan, including the location, size and type of replacement trees to be planted. (Removal of any significant tree shall be replaced at a 1:1 ratio on the Coastside and up to 3:1 in the Bayside Design Review Districts.)

GRADING PLAN: Include amounts of cut and fill in cubic yards. Total = Cut + Fill.

ROOF PLAN: Include ridgeline elevations.

ACCESS AND DRAINAGE PLANS (Required by the Department of Public Works)

- Driveway profile (stipulating driveway slope), from centerline of roadway to garage slab.
- Site Distance Study by Civil Engineer (required on a case-by-case basis).
- Drainage Plans.

- ADDITIONAL INFORMATION IF NEEDED BY DESIGN REVIEW OFFICER:** Check with Design Review Officer to see which items are required:
 - Extended scaled cross section elevations, showing (in outline or silhouette form) houses on adjacent properties.
 - Expanded site plan showing location of houses on all adjacent properties.

INTAKE STAFF REVIEW OF APPLICATION SUBMITTAL

- Complete at Intake.
- Incomplete at Intake:
 - Application returned to Applicant. The following items were missing:
 1. _____
 2. _____
 3. _____
 4. _____
 5. _____
 - See Incomplete Letter prepared by Planning Staff.

PROJECT NOTICING STAGE (10 DAYS PRIOR TO HEARING)

4. NOTICING REQUIREMENTS

Applicant will be given "NOTICE OF DESIGN REVIEW" cards which SHALL be posted on your parcel, visible from the street beginning ten (10) calendar days prior to and remaining posted through the date of your confirmed Design Review Committee hearing.

5. STORY POLES

Story Poles are required for Coastside projects. See "*Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications,*" which outlines story pole requirements.

San Mateo County Planning & Building Department

Maximum Building Heights in Unincorporated San Mateo County

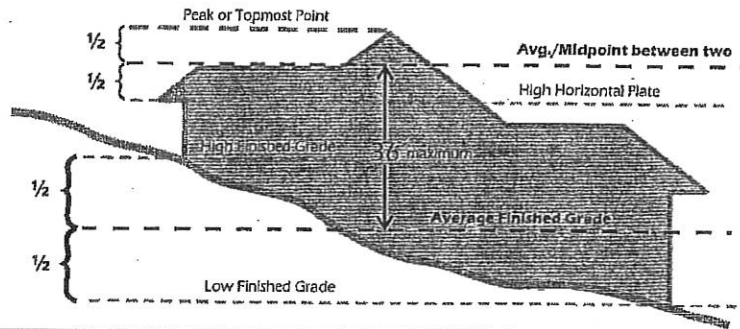
Heights Verification, per County procedures, is required for all homes, designed within 2 feet of the maximum height limit, and is required for all homes in Design Review Districts, regardless of proposed height. See Planner for additional information.

NOTE: All elevation exhibits shown below are intended only as examples to illustrate how height is generally calculated for the cited zoning districts; height compliance confirmation is applicable to all elevation plans (critical with variable topography). Always refer to the respective building height regulations for the applicable zoning district.

Zoning/Combining Districts: S-1 thru S-11, S-81, S-83, SS-103, S-108, RM RM-CZ, TPZ, TPZ-CZ, PAD:

35 ft./36 ft. Height Limit

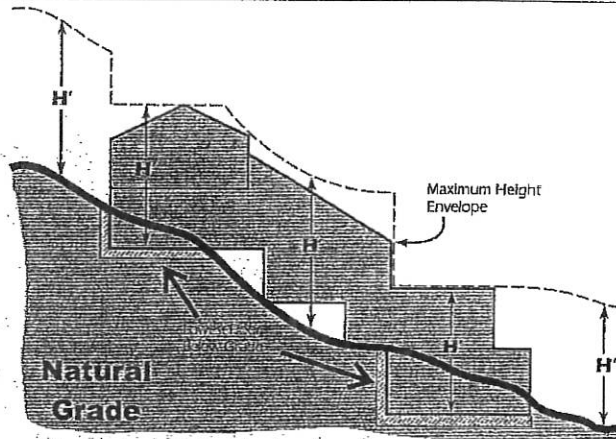
(Average Finished Grade to Average Roofline)



Zoning/Combining Districts: S-71, S-91, S-102, RH

28 ft. to 30 ft. Height Limit

(Natural Grade² (or lowest floor below grade) to topmost point of the building immediately above).



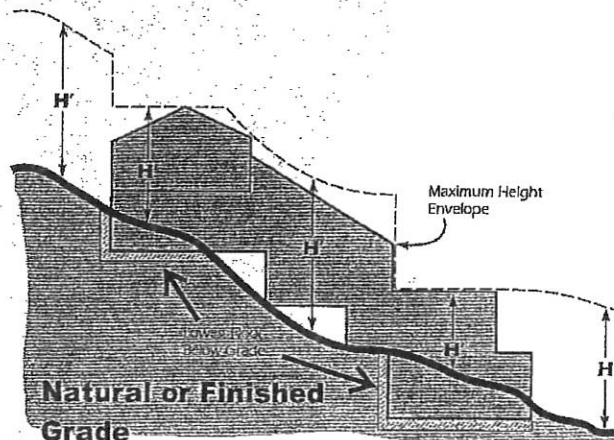
Zoning/Combining Districts: S-17, S-50, S-72 thru S-74, S-82, S-90, S-92 thru S-94, S-100, S-105

(Natural Grade² to topmost point of building immediately above).

28 ft. to 33 ft. Height Limit

Zoning/Combining Districts: S-95, S-101, S-104, S-106, S-110

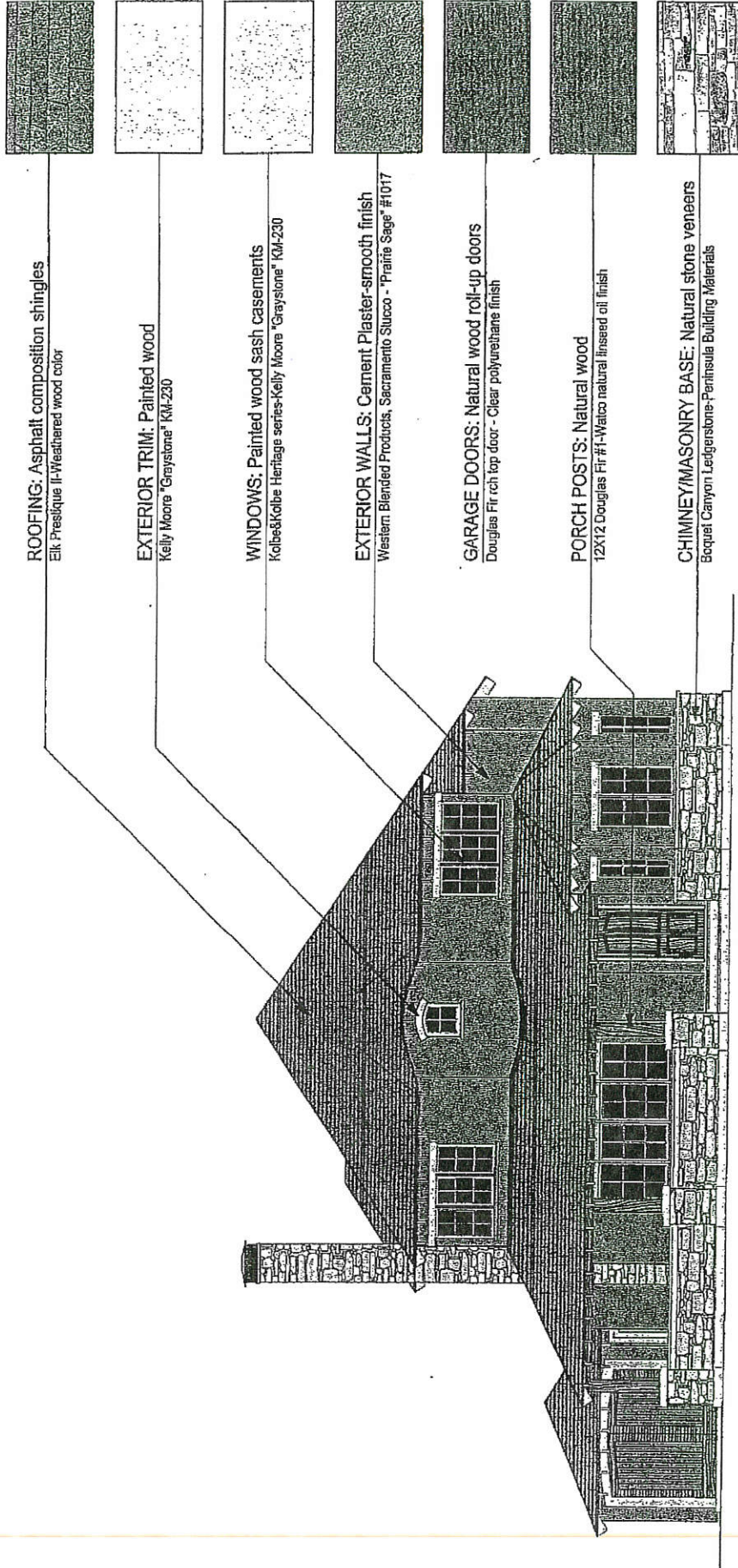
(Natural Grade² or Finished Grade¹ to topmost point of building immediately above, whichever is lower).



28 ft. to 30 ft. Height Limit

¹ Finished Grade (pursuit to sec. 6102.14) is defined as the topographic contours which result after completion of construction on the site. Average finished grade is the average level of the finished grade adjacent to building walls. The outer edges of projecting decks & balconies shall not be counted as "walls" if they are unenclosed below (supporting posts OK) & uncovered above. The average grade shall be calculated by topographic elevations noted at all building wall corners, noted both on the site plan & corresponding elevation plans.

² Natural Grade is defined as the topographic contours which exist prior to any disturbance related to construction on the site.



ROOFING: Asphalt composition shingles
Elk Preslique II-Weathered wood color

EXTERIOR TRIM: Painted wood
Kelly Moore "Graystone" KM-230

WINDOWS: Painted wood sash casements
Kolbe&Kolbe Heritage series-Kelly Moore "Graystone" KM-230

EXTERIOR WALLS: Cement Plaster-smooth finish
Western Blended Products, Sacramento Stucco - "Prairie Sage" #1017

GARAGE DOORS: Natural wood roll-up doors
Douglas Fir top door - Clear polyurethane finish

PORCH POSTS: Natural wood
12X12 Douglas Fir #1-Watco natural linseed oil finish

CHIMNEY/MASONRY BASE: Natural stone veneers
Bouquet Canyon Ledgerstone-Peninsula Building Materials

SAMPLE PRIMARY BUILDING ELEVATION: Project Location

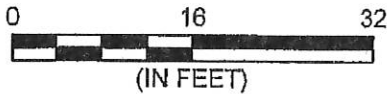
ABC Architects, Arty Town, CA (650) 123-4567

The colors and materials represented here have been approved by the San Mateo County Design Review Board. Please call (650) 363-4161 with any questions, comments, or concerns. This is project #2003-0001. (psd/design review colors (dark wood).psd 7-12-04 ss)

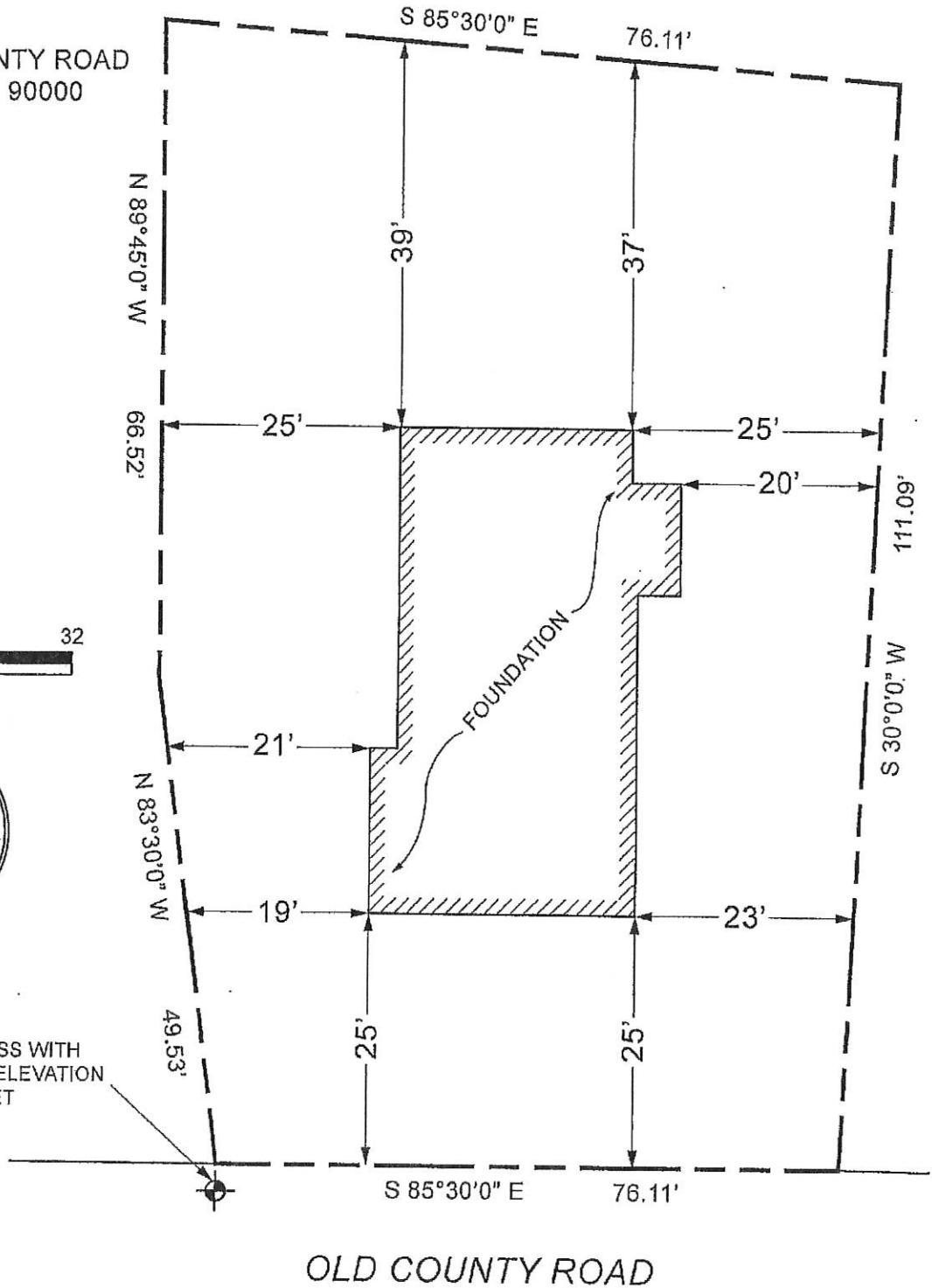
SURVEY SAMPLE

PROJECT SITE
12345 OLD COUNTY ROAD
ANYWHERE, CA 90000

APN
100-010-001



SCRIBED CROSS WITH
AN ASSUMED ELEVATION
OF 100.00 FEET



**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

Survey Requirements
(For: Survey Professional)

Project Address: _____

Assessor's Parcel Number: _____

The front of this property for survey purposes is:

A Survey is always required for new construction within 5 feet of a required setback. For other cases of when a Survey is required, please contact Planning and Building staff.

The minimal information needed on a Site Planning Survey varies depending on the project. Below is to help define the minimal information needed by the Planning and Building Department based on the type of project proposed, and can be passed to the appropriate licensed professional for clarification.

REQUIRED		
Yes	No	
		PROPERTY LINES
		Front
		Rear
		Right Side
		Left Side
		Other
		EXISTING DEVELOPMENT - A minimum of 2 dimensions must be clearly indicated from each property line required above to the nearest existing development.
		Residence: <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory building (garage, carport, storage shed, playhouse, other): <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory structure (gazebo, trellis, fence, retaining wall, play structure, swimming pool, other).
		Driveways, paved areas (e.g., patios, parking areas).
		Well and/or septic system.
		NATURAL ENVIRONMENT
		Trees ($\geq 6"$ d.b.h. in Emerald Lake Hills area or $\geq 12"$ d.b.h. in any residential zoning district), show actual diameter at breast height and dripline.
		Waterways
		Topographical contours; extent of topographical contours on-site.
		OTHER
		Benchmark with elevation identified (for height verification purposes). See Height Verification Handout for further details.

Please contact the San Mateo County Planning Department at 650/363-1825 with questions.

SSB:pac - FRM00498.doc (12/2/11)

Environmental Information Disclosure Form

Planning and Building Department

PLN 2016-00091
 BLD _____

Project Address: SEVILLA AVENUE
EL GRANADA, CA
94109
 Assessor's Parcel No.: 047-071-270
2-1/5-17 - -
 Zoning District: ~~DR~~ DR

Name of Owner: SEAN & BEN STENGER
 Address: 148 COSTA RICA AVENUE
BURLINGAME Phone: 650 483 8015
 Name of Applicant: TIM FINICIE - HPD6, INC.
 Address: 3410-A WEST JACKSON STREET
SONORA, CA 95370 Phone: 209 591 8610

Existing Site Conditions

Parcel size: 5584.79

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>27 HOUSE 5720</u> c.y. Fill: <u>0 HOUSE TO REPAIR</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

SMALL LEVELLING OF FOUNDATION - FILL MAY BE ABLE TO STAY IN LANDSCAPING

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

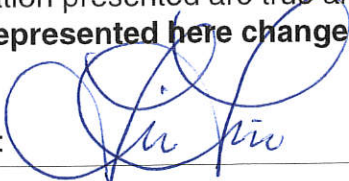
3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date:

2 March 2016

2 March 2016

WRITTEN NARRATIVE

RE: STENGER RESIDENCE

APN 047-071-270

RECEIVED

MARR 23, 2016

San Mateo County
Planning Division

The proposed residence for Sean and Ben Stenger is in S-17 zoning pursuant to MidCoast ordinances. It has met the Design Review criteria minimally in the following ways:

- 1) Building Height – 28' Allowable
 - a. 27'-6 ¾" actual
- 2) Build Area = 2471 sf
- 3) Impervious coverage of 44.5%
- 4) Density of 52.5%
- 5) Use of hipped roofs to lower wall heights and massing
- 6) Scale is appropriate to neighborhood
- 7) 2 car covered parking area with room for two additional cars in driveway
- 8) 20' access to home
- 9) Minimal grading with 27cy to be removed or applied stylistically to landscape

More information is available upon request.

Best Regards,



Tim Finicle, CFO/Secretary

HIGH POINT DESIGN GROUP, INC – A California Corporation

CONTACTS

- A. REGULATORY AGENCY: COUNTY OF SAN MATEO
405 COUNTY CENTER
REDWOOD CITY, CA 94063
T: (650) 363-1825
CONTACT: DENNIS AGUIRRE
- B. OWNER/DEVELOPER: SEAN STENGER
148 COSTA RICA AVENUE
BURLINGAME, CA 94010
T: (650) 483-8615
- C. PROJECT LOCATION: SEVILLA AVENUE
EL GRANADA, CA 94019
- D. ENGINEER: NORTHSTAR ENGINEERING
GROUP, INC.
620 J 12TH STREET
MODESTO, CA 95354
T: (209) 524-3525
CONTACT: JOHN ELLIS
- E. ARCHITECT: HIGH POINT DESIGN GROUP,
INC.
346-A WEST JACKSON STREET
SONOMA, CA 95370
T: (209) 591-8610
CONTACT: TIM FINCLE
- F. GEOTECHNICAL: CTE CAL., INC.
4230 KIERNAN AVENUE
STE 150
MODESTO, CA 95356
T: (209) 543-1799
CONTACT: KIRT LAMB

GENERAL NOTES

1. CONTRACTOR SHALL BE AWARE THAT THE FOLLOWING NOTES LISTED BELOW ARE NORTHSTAR ENGINEERING GROUP'S TYPICAL GENERAL NOTES AND SOME NOTES MAY NOT BE APPLICABLE TO THIS PLAN SET.
2. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: COUNTY OF SAN MATEO ("COUNTY") STANDARD SPECIFICATIONS AND THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, WHERE THERE IS A CONFLICT BETWEEN THE PLANS AND THE COUNTY AND/OR CALIFORNIA BUILDING CODE STANDARDS, THE COUNTY AND/OR CALIFORNIA BUILDING CODE STANDARDS SHALL PREVAIL. ALL WORK SHALL BE SUBJECT TO THE INSPECTION OF THE COUNTY OF SAN MATEO.
3. PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL NOTIFY THE CONTACTS LISTED ON THIS SHEET FORTY-EIGHT HOURS IN ADVANCE OF SAID MEETING.
4. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTAINED HEREIN AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY NORTHSTAR ENGINEERING GROUP, INC. ("ENGINEER") IMMEDIATELY REGARDING ANY DISCREPANCIES AND AMBIGUITIES WHICH MAY EXIST IN THE PLANS AND SPECIFICATIONS. IF THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO BE USED AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. CONSTRUCTION STAKING FOR GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, AND WATER SHALL BE DONE UNDER THE DIRECTION OF THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SEVENTY-TWO (72) HOURS IN ADVANCE OF THIS NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR HIS SUBCONTRACTORS THAT IS ABOVE AND BEYOND NORMAL STANDARD STAKING NEEDS AS OUTLINED IN THE CONTRACT, WILL BE SUBJECT TO AN EXTRA BACK CHARGE TO THE CONTRACTOR.
6. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSE FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
7. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SURVEY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE COUNTY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE COUNTY ENGINEER.
9. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY TO ALL TRAFFIC CONTROLS, WARNING SIGNS, LIGHTS, AND DEVICES FOR USE IN PERFORMANCE OF WORK UPON HIGHWAY PUBLISHED BY THE STATE OF CALIFORNIA BUSINESS AND TRANSPORTATION AGENCY.
10. THE OFFICE OF THE COUNTY OF SAN MATEO PUBLIC WORKS SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK.
11. CABLE TV, ELECTRICAL, GAS, AND TELEPHONE UNDERGROUND WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF THE CURB, GUTTER, SIDEWALK AND PAVING.
12. THE COUNTY OF SAN MATEO OR ASSOCIATED UTILITY COMPANY AND RESIDENCES TO BE AFFECTED SHALL BE NOTIFIED IMMEDIATELY UPON ANY UTILITY SERVICE DISRUPTION OTHER THAN SPECIFIED ON THESE IMPROVEMENT PLANS AND A TWENTY-FOUR (24) HOUR NOTICE SHALL BE GIVEN FOR ANY PLANNED DISRUPTION.
13. STREET SIGNS, TRAFFIC CONTROL SIGNS, AND PAVEMENT MARKINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS ESTABLISHED BY THE ENGINEER.
14. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE REMOVAL OR RELOCATION OF ALL EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
15. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY OF SAN MATEO DEPARTMENT OF PUBLIC WORKS OR ANY OTHER APPLICABLE AGENCY PRIOR TO COMMENCEMENT OF WORK WITH EXISTING COUNTY RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT.
16. ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE IS ABOVE 50°F AND RISING.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING DAMAGED EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND REPLACEMENT.
18. DRAWING NUMBERS SHOWN ON THE PLANS REFER TO DRAWINGS CONTAINED IN THE COUNTY OF SAN MATEO STANDARD SPECIFICATIONS (I.E. DWG-30).
19. ALL TRENCHES IN PAVED AREAS SHALL BE PAVED WITH TEMPORARY PAVING, OR COVERED WITH A STEEL PLATE OF APPROPRIATE SIZE AND STRENGTH, THE SAME DAY THE PAVEMENT CUT IS MADE.
20. DRIVEWAYS ON STREETS TO BE LOCATED IN THE FIELD BY THE ENGINEER AT THE TIME OF CONSTRUCTION. DRIVEWAYS SHALL NOT COINCIDE WITH WHEELCHAIR RAMPS.
21. WHENEVER PAVEMENT IS BROKEN OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS AND PLANS, THE PAVEMENT SHALL BE REPLACED, AFTER PROPER BACK FILLING, WITH PAVEMENT MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL PAVING. THE FINISHED PAVEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE COUNTY ENGINEER.
22. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDUCED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

GENERAL NOTES (CONT)

23. WHENEVER PAVEMENT IS BROKEN OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS AND PLANS, THE PAVEMENT SHALL BE REPLACED, AFTER PROPER BACK FILLING, WITH PAVEMENT MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL PAVING. THE FINISHED PAVEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE COUNTY ENGINEER.
24. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATED, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY MEMBERS OF THE UNDERGROUND SERVICE ALERT (USA) FORTY-EIGHT (48) HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 277-8600. THE CONTRACTOR SHALL RECORD THE USA ORDER NUMBER. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE OCCURS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE DEVELOPMENT.
25. CONTRACTOR SHALL PROVIDE COUNTY WITH A CERTIFICATE SIGNED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR STATING THAT ALL BUILDING PAD ELEVATIONS ARE IN ACCORDANCE WITH THE APPROVED GRADING PLAN.
26. PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS AND PLANS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INDICATED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
27. EXCAVATIONS OF 5 FEET OR MORE IN DEPTH WILL REQUIRE AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY. FOR TRENCHES 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH SECTION 5-1.02A OF THE CALTRANS STANDARDS, CHAPTER 9 OF THE STATE OF CALIFORNIA LABOR CODE, AND ANY LOCAL CODES OR ORDINANCES.
28. WE CALL YOUR ATTENTION TO TITLE 8 CALIFORNIA ADMINISTRATION CODE SECTION 1540 (A) (1) OF THE CONSTRUCTION SAFETY ORDERS ISSUED BY THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD PURSUANT TO THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1973 AS AMENDED VERIFICATION. (1) PRIOR TO OPENING AN EXCAVATION EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRICAL LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING, AND WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
29. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR TO THE DEVELOPER AND APPROVAL AGENCY.
30. AFTER CONSTRUCTION OF ALL IMPROVEMENTS, THE CONTRACTOR SHALL SUBMIT ONE SET OF REPRODUCIBLE PLANS, FINAL INVERT ELEVATIONS FOR SEWER AND STORM DRAIN LINES THAT ARE TO BE EXTENDED FOR FUTURE CONSTRUCTION SHALL ALSO BE SHOWN ON THE "AS-BUILT" PLANS ALL AS PROVIDED BY THE CONTRACTOR.
31. THE CONTRACTOR SHALL NOTIFY NORTHSTAR ENGINEERING AT LEAST 48 HOURS PRIOR TO BACK FILLING OF ANY PIPE WHICH STOPS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE COUNTY OF SAN MATEO STANDARD SPECIFICATIONS.
32. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
33. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY OF SAN MATEO. CONTRACTOR SHALL OBTAIN A PERMIT FROM COUNTY OF SAN MATEO FOR USE OF WATER FROM FIRE HYDRANTS FOR CONSTRUCTION PURPOSES. THE PERMIT SHALL BE APPROVED BY THE COUNTY OF SAN MATEO FIRE DEPARTMENT.
34. SIGNING, STRIPING AND PAVEMENT MARKINGS SHALL BE IN STRICT CONFORMANCE WITH THE COUNTY OF SAN MATEO STANDARDS AND SPECIFICATIONS.
35. UNLESS OTHERWISE STATED, ALL STATIONS INDICATED ON THE IMPROVEMENT PLANS ARE REFERENCED TO THE CENTERLINE OF THE STREET. ALL STATIONS OFF CENTER ARE PERPENDICULAR TO OR RADIAL OPPOSITE CENTERLINE STATIONS, UNLESS OTHERWISE NOTED.

GRADING NOTES

1. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MANATECA STANDARDS AND THE PROJECT SOILS REPORT. ALL FILL AREAS SHALL BE TESTED AS REQUIRED BY THE CITY OF MANATECA AND SHALL BE PAID FOR BY THE CONTRACTOR.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR COST OF INITIAL TEST FOR MOISTURE DENSITY CURVE. IF THE FIRST TEST FAILS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF ALL SUBSEQUENT CURVES AND TESTS.
3. THE CONTRACTOR SHALL REVIEW SITE PRIOR TO BIDDING. ALL VEGETATION AND DELICIOUS MATERIALS SHALL BE REMOVED FROM THE SITE AT THE EXPENSE OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
4. THE CONTRACTOR SHALL PRESERVE ALL STAKES AND POINTS SET FOR LINES, GRADES OR MEASUREMENT OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEER. ALL EXPENSES INCURRED IN REPLACING STAKES THAT HAVE BEEN REMOVED WITHOUT PROPER AUTHORITY SHALL BE PAID FOR BY THE CONTRACTOR.
5. CONTRACTOR'S PRICE SHALL INCLUDE COST TO ACHIEVE A BALANCED SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPORT AND EXPORT MATERIAL AS REQUIRED TO BALANCE SITE.
6. CONTRACTOR SHALL GRADE ALL LANDSCAPE AREAS TO WITHIN 0.10 FEET OF FINAL GRADE ELEVATIONS WITH APPROPRIATE LANDSCAPE SECTIONS INCLUDED.
7. GRADE TAGS LOCATED ON CURBS REFERENCE TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED. ADDITIONAL DESCRIPTIONS ARE PROVIDED TO DENOTE HORIZONTAL AND VERTICAL CHANGES IN ACCORDANCE WITH ABBREVIATIONS DEFINED ON COVER SHEET.
8. ALL AC PAVING SHALL BE FOG SEALED PER SECTION 37 OF CALTRANS STANDARD SPECIFICATIONS, THE LATEST EDITION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HIS OWN EARTHWORK QUANTITIES FOR BIDDING, CONTRACT AND CONSTRUCTION PURPOSES. IF IT APPEARS THERE WILL BE AN EXCESS OR SHORTAGE OF MATERIAL, THE CONTRACTOR MAY NOTIFY THE ENGINEER TO DETERMINE IF POSSIBLE GRADE ADJUSTMENTS CAN BE MADE.
10. SITE CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR TO ACCOMMODATE THE PROPER CLEARANCE BETWEEN THE BOTTOM OF THE STUCCO AND THE TOP OF THE GRADE TREATMENT ALONG THE BUILDING AS APPLICABLE, IN ACCORDANCE WITH SECTION 2511.2. OF THE CURRENT CALIFORNIA BUILDING CODE. IF THE SUBJECT BUILDING SINKING TREATMENT IS STUCCO, CONTRACTOR SHALL NOTIFY ENGINEER IF ANY GRADES ARE ADJUSTED. CONTRACTOR SHALL ALSO APPLY FLAGGING WHERE APPLICABLE WITHIN AREAS OF GRADE TREATMENT.
11. ALL LANDSCAPE AREAS THAT ABUT ANY PORTION OF THE BUILDING SHALL BE GRADED SUCH THAT THE FINISHED GRADE IN LANDSCAPE AREAS SHALL BE A MINIMUM OF SIX INCHES BELOW FINISHED FLOOR OF THE ADJUTING BUILDING AND IN NO CASE SHALL THE LANDSCAPE AREA BE GRADED OR LANDSCAPED SUCH THAT WATER DRAINS TOWARD THE BUILDING.
12. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITION OVER THE ENTIRE SITE, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES.
13. CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJOINING PROPERTY OWNERS PRIOR TO ANY WORK BEING STARTED THAT MAY EFFECT THEIR PROPERTY.
14. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM THE PROPOSED GRADING TO THE EXISTING FLOWLINE, CURB, CONCRETE, AND OR PAVEMENT ELEVATIONS.
15. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF THE COUNTY HEALTH DEPARTMENT AND THE CITY OF MANATECA. THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
16. PRIOR TO CONSTRUCTING ANY FLOWLINE THE CONTRACTOR SHALL VERIFY THE FINISH FLOOR ELEVATIONS AT ALL DOORS. NOTE THAT FINISH FLOOR ELEVATIONS MAY HAVE BEEN CHANGED DUE TO FOUNDATION ADJUSTMENTS IN FIELD. CONTRACTOR SHALL HOLD ADJUSTED FINISH FLOOR GRADES, ACCOUNT FOR DOOR THRESHOLDS, AND ADJUST GRADES AS NECESSARY TO STAY IN COMPLIANCE WITH CURRENT ADA STANDARDS. CONTRACTOR SHALL NOTIFY NORTHSTAR ENGINEERING IMMEDIATELY IF ANY GRADE ADJUSTMENTS WILL CREATE ADA ACCESSIBILITY ISSUES.

GRADING NOTES (CONT)

17. CONTRACTOR IS RESPONSIBLE FOR THE OFF HAIL AND DISPOSAL OF ANY AND ALL EXCESS DIRT.
18. CONTRACTOR SHALL VERIFY BUILDING SUBGRADE SECTIONS WITH ARCHITECT PLANS BEFORE CONSTRUCTION. IF A DISCREPANCY EXISTS, CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY.
19. THE VALUES SHOWN ON THE GRADING PLAN ARE FOR REFERENCE AND FEE PURPOSES ONLY. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITION OVER THE ENTIRE SITE, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES.
20. THE VALUES SHOWN ON THE GRADING PLAN ARE TO AD THE CONTRACTOR IN DETERMINING THE QUANTITIES OF DIRT TO BE MOVED. THE CUT AND FILL QUANTITIES SHOWN INDICATE A THEORETICAL YARDAGE FIGURE AND ARE GIVEN ONLY AS A CONVENIENCE TO THE CONTRACTOR. THE QUANTITIES SHOWN SHALL NOT BE USED AS THE BASIS OF BID COSTS.
21. EARTHWORK QUANTITY VALUES SHOWN ON GRADING PLAN REPRESENT THE DIFFERENCE BETWEEN THE ESTIMATED EXISTING GRADES FROM ASBUILT DOCUMENTS COMPARED WITH THE SUBGRADE STRUCTURAL SECTIONS OF THE PROPOSED GRADING DESIGN. SEE STRUCTURAL SECTIONS IN HATCH LEGEND ON PAVING PLAN.
22. EARTHWORK QUANTITY CALCULATIONS DO NOT INCLUDE STRIPPING, SHRINKAGE, SWELL FACTORS OR MATERIAL FROM UTILITY TRENCH SPOOLS.
23. CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJOINING PROPERTY OWNERS PRIOR TO ANY WORK BEING STARTED THAT MAY EFFECT THEIR PROPERTY.
24. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM THE PROPOSED GRADING TO THE EXISTING FLOWLINE, CURB, CONCRETE, AND OR PAVEMENT ELEVATIONS.
25. THE VALUES SHOWN ON THE GRADING PLAN ARE FOR REFERENCE AND FEE PURPOSES ONLY. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITION OVER THE ENTIRE SITE, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES.
26. THE VALUES SHOWN ON THE GRADING PLAN ARE TO AD THE CONTRACTOR IN DETERMINING THE QUANTITIES OF DIRT TO BE MOVED. THE CUT AND FILL QUANTITIES SHOWN INDICATE A THEORETICAL YARDAGE FIGURE AND ARE GIVEN ONLY AS A CONVENIENCE TO THE CONTRACTOR. THE QUANTITIES SHOWN SHALL NOT BE USED AS THE BASIS OF BID COSTS.
27. EARTHWORK QUANTITY VALUES SHOWN ON PAVING PLAN REPRESENT THE DIFFERENCE BETWEEN THE ESTIMATED EXISTING GRADES FROM ASBUILT DOCUMENTS COMPARED WITH THE SUBGRADE STRUCTURAL SECTIONS OF THE PROPOSED GRADING DESIGN. SEE STRUCTURAL SECTIONS IN HATCH LEGEND ON PAVING PLAN.

NPDES NOTES

1. STORM DRAIN PERMITS TO COMPLY WITH THE STATE OF CALIFORNIA'S STATEWIDE GENERAL NPDES PERMIT, REGULATING DISCHARGES OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM SOIL DISTURBANCES OF ONE (1) ACRE OR MORE, A NOTICE OF INTENT (NOI) TO COMPLY WITH THE TERMS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION, IN ADDITION, AT THE CONCLUSION OF THE PROJECT A NOTICE OF TERMINATION (NOT) MUST ALSO BE FILED. SUBMIT THE FEI, NOI, AND NOT TO THE STATE WATER RESOURCES CONTROL BOARD UTILIZING THE STORM WATER MULTIPLE APPLICATION AND REPORT TRACKING SYSTEM (SMARTS) AT THE FOLLOWING ADDRESS:
WWW.SMARTS.WATERBOARDS.CA.GOV
FEES AND PAYMENTS CAN BE MADE TO THE FOLLOWING ADDRESS:
STATE WATER RESOURCES CONTROL BOARD
DIVISION OF WATER QUALITY
ATTN: STORM WATER PERMIT UNIT
P.O. BOX 1977
SACRAMENTO, CA 95812-1977
IF YOU HAVE ANY QUESTIONS CALL JOSEPH HENAO, WATER QUALITY CONTROL ENGINEER, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, AT (916) 255-3028.
THE FOLLOWING MUST BE SUBMITTED TO THE CITY PRIOR TO BEGINNING WORK AND PRIOR TO THE ISSUANCE OF AN ENCROACHMENT PERMIT:
A) TRANSMITTAL MEMO THAT INCLUDES:
* THE NAME AND PHONE NUMBER OF THE PERSON RESPONSIBLE FOR SWPPP IMPLEMENTATION, AND
* IF APPLICABLE, A LISTING OF THE POST-CONSTRUCTION BEST MANAGEMENT PRACTICES THAT WILL BE INSTALLED TO SATISFY THE REQUIREMENTS OF THE COUNTY OF SAN MATEO MUNICIPAL CODE. COPY OF SWPPP MUST REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES.
B) COPY OF A SIGNED NOTICE OF INTENT FORM OR A WASTE DISCHARGE IDENTIFICATION NUMBER. **NOTE: CONTRACTOR SHALL PROVIDE IF REQUIRED**

DEWATERING NOTES

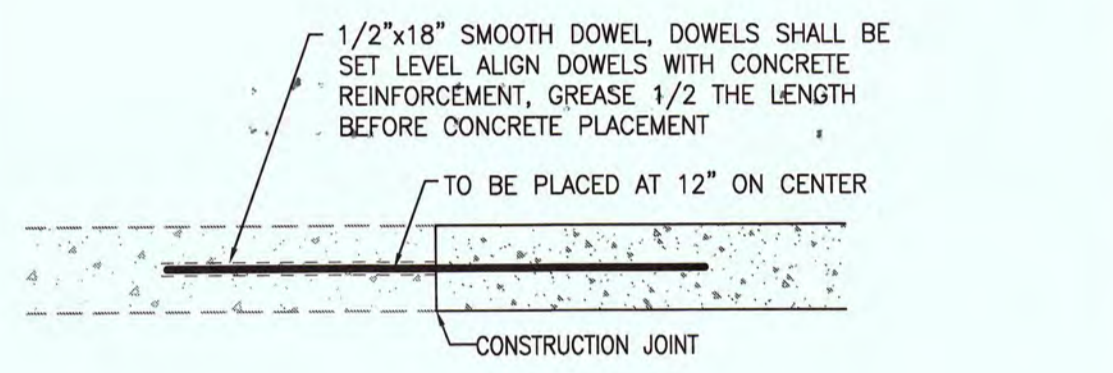
1. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUNDWATER LEVEL ENHANCED ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACK FILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
2. THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.
3. THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "POCKET" CONDITIONS OR "BOILS" DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF THE NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACK FILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF AN NPDES (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.
4. ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PIPING TO PERMIT IMMEDIATE USE. IN ADDITION, STANDBY AUXILIARY EQUIPMENT AND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETENT WORKMEN FOR OPERATION AND MAINTENANCE OF ALL DEWATERING EQUIPMENT SHALL BE ON SITE AT ALL TIMES. STANDBY EQUIPMENT SHALL INCLUDE EMERGENCY POWER GENERATION AND AUTOMATIC SWITCH OVER TO THE EMERGENCY GENERATOR WHEN NORMAL POWER FAILS. DEWATERING SYSTEMS SHALL NOT BE SHUT DOWN BETWEEN SHIFTS, ON HOLIDAYS, OR WEEKENDS, OR DURING WORK STOPPAGES.
5. SUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

TOPOGRAPHY NOTES

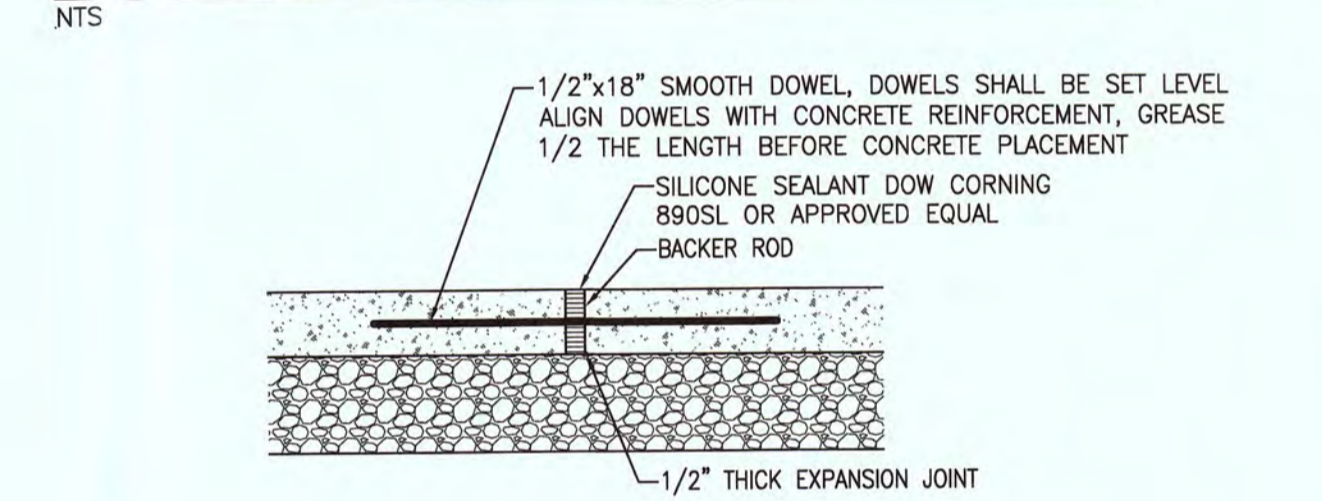
1. PLAN SET DESIGN BASED OFF OF TOPOGRAPHIC SURVEY PERFORMED ON AUGUST 14, 2015. CONTRACTOR SHALL BE AWARE THAT SINCE THIS INITIAL SURVEY THE SITE MAY HAVE CHANGED.
2. ALL EXISTING UTILITIES WERE PLOTTED FROM RECORD INFORMATION AND FIELD TOPOGRAPHY. ACTUAL LOCATIONS MAY VARY AND ADDITIONAL CROSSINGS MAY EXIST IN THE FIELD.
3. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXPOSING EXISTING UTILITY CROSSINGS AND SERVICES.
4. ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL CALL U.S.A. (800) 227-2600 TO HAVE THE SITE MARKED. THE CONTRACTOR SHALL POthOLE ALL EXISTING UTILITIES TO VERIFY THAT NO CONFLICTS EXIST BETWEEN PROPOSED AND EXISTING IMPROVEMENTS.
6. CONTRACTOR/DEVELOPER SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY TO DO ANY WORK WITHIN RIGHT-OF-WAY PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO BE CAUTIOUS OF UNDERGROUND STUBS AND LINES. CONTRACTOR SHALL USE EXTREME CAUTION AS OTHER LINES MAY EXIST ON THE SITE THAT ARE NOT CLEARLY MARKED.
8. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, PAVEMENTS, CURBS, WALLS, ETC. IN THEIR APPROXIMATE LOCATION ON THE SURVEY AND/OR WORKING DRAWINGS. HOWEVER, OTHERS THAT ARE NOT SHOWN MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE OR DURING THE CLEARING AND REMOVAL WORK. IT WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO ACCURATELY LOCATE ALL EXISTING FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER.
9. THE CONTRACTOR SHALL REPORT ANY EXISTING SITE ELEMENT NOT SHOWN ON THE WORKING DRAWINGS TO THE ARCHITECT OF RECORD SO THAT THE PROPER DISPENSATION OF THAT ELEMENT MAY BE MADE.
10. IN CONJUNCTION WITH CONTACTING USA TO LOCATE UNDERGROUND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR UTILIZE (GPR) GROUND PENETRATING RADAR UNDERGROUND SERVICES TO IDENTIFY ON-SITE UTILITIES THAT MAY NOT BE VISIBLE FROM THE SURFACE.
11. CONTRACTOR SHALL REVIEW ALL OF THE CONSULTANT'S PLAN SETS FOR ADDITIONAL DEMOLITION, REPLACEMENT AND IMPROVEMENTS PRIOR TO BEGINNING OF ANY WORK. IF A CONFLICT IS FOUND THEN THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY.
12. IN ACCORDANCE WITH SECTION 8771 OF THE PROFESSIONAL LAND SURVEYORS ACT:
A) MONUMENTS SET SHALL BE SUFFICIENT IN NUMBER AND DURABILITY AND EFFICIENTLY PLACED SO AS NOT TO BE READILY DISTURBED, TO ASSURE, TOGETHER WITH MONUMENTS ALREADY EXISTING, THE PERPETUATION OR FACILE REESTABLISHMENT OF ANY POINT OR LINE OF THE SURVEY.
B) WHEN MONUMENTS EXIST THAT CONTROL THE LOCATION OF SUBDIVISIONS, TRACTS, BOUNDARIES, ROADS, STREETS, OR HIGHWAYS, OR PROVIDE HORIZONTAL OR VERTICAL SURVEY CONTROL, THE MONUMENTS SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER PRIOR TO THE TIME WHEN ANY STREETS, HIGHWAYS, OTHER RIGHTS-OF-WAY, OR EASEMENTS ARE IMPROVED, CONSTRUCTED, REDCONSTRUCTED, MAINTAINED, RESURFACED, OR RELOCATED, AND A CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES SHALL BE FILED WITH THE CITY SURVEYOR. THEY SHALL BE RESET IN THE SURFACE OF THE NEW CONSTRUCTION, A SUITABLE MONUMENT BOX PLACED THEREON, OR PERMANENT WITNESS MONUMENTS SET TO PERPETUATE THEIR LOCATION IF ANY MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, OR OTHERWISE OBLITERATED, AND A CORNER RECORD OR RECORD OF SURVEY FILED WITH THE CITY SURVEYOR PRIOR TO THE RECORDING OF A CERTIFICATE OF COMPLETION FOR THE PROJECT. SUFFICIENT CONTROLLING RIGHT-OF-WAY AND EASEMENT LINES, PROPERTY CORNERS, AND SUBDIVISION AND TRACT BOUNDARIES TO BE REESTABLISHED WITHOUT PREVIOUS SURVEYS NECESSARILY ORIGINATING ON MONUMENTS DIFFERING FROM THOSE THAT CURRENTLY CONTROL THE AREA. IT SHALL BE THE RESPONSIBILITY OF THE GOVERNMENTAL AGENCY OR OTHERS PERFORMING CONSTRUCTION WORK TO PROVIDE FOR THE MONUMENTATION REQUIRED BY THIS SECTION. IT SHALL BE THE DUTY OF EVERY LAND SURVEYOR OR CIVIL ENGINEER TO COOPERATE WITH THE GOVERNMENTAL AGENCY IN MATTERS OF MAPS, FIELD NOTES, AND OTHER PERTINENT RECORDS. MONUMENTS SET TO MARK THE LIMITING LINES OF HIGHWAYS, ROADS, STREETS OR RIGHT-OF-WAY OR EASEMENT LINES SHALL NOT BE DEEMED ADEQUATE FOR THIS PURPOSE UNLESS SPECIFICALLY NOTED ON THE CORNER RECORD OR RECORD OF SURVEY OF THE IMPROVEMENT WORKS WITH DIRECTION IN BEARING OR AZIMUTH AND DISTANCE BETWEEN THESE AND OTHER MONUMENTS OF RECORD.
C) CONTRACTOR SHALL COORDINATE WITH THE LAND SURVEYOR OF RECORD, PRIOR TO STARTING CONSTRUCTION, TO IDENTIFY ALL SURVEY MONUMENTS THAT MAY BE SUBJECT TO DISTURBANCE AND SHALL INCLUDE COSTS FOR MONUMENT PRESERVATION, REPLACEMENT, AND PREPARATION OF CORNER RECORDS OR RECORD OF SURVEY IN CONTRACTOR'S BID.
D) THE DECISION TO FILE EITHER THE REQUIRED CORNER RECORD OR A RECORD OF SURVEY PURSUANT TO SUBDIVISION (B) SHALL BE AT THE ELECTION OF THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER SUBMITTING THE DOCUMENT, AT CONTRACTOR'S EXPENSE.
§732.5, §1492.5, §1810.5 OF THE CALIFORNIA STREETS AND HIGHWAYS CODES STATE: SURVEY MONUMENTS SHALL BE PRESERVED, REFERENCED, OR REPLACED PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.

COUNTY OF SAN MATEO STANDARD DETAILS

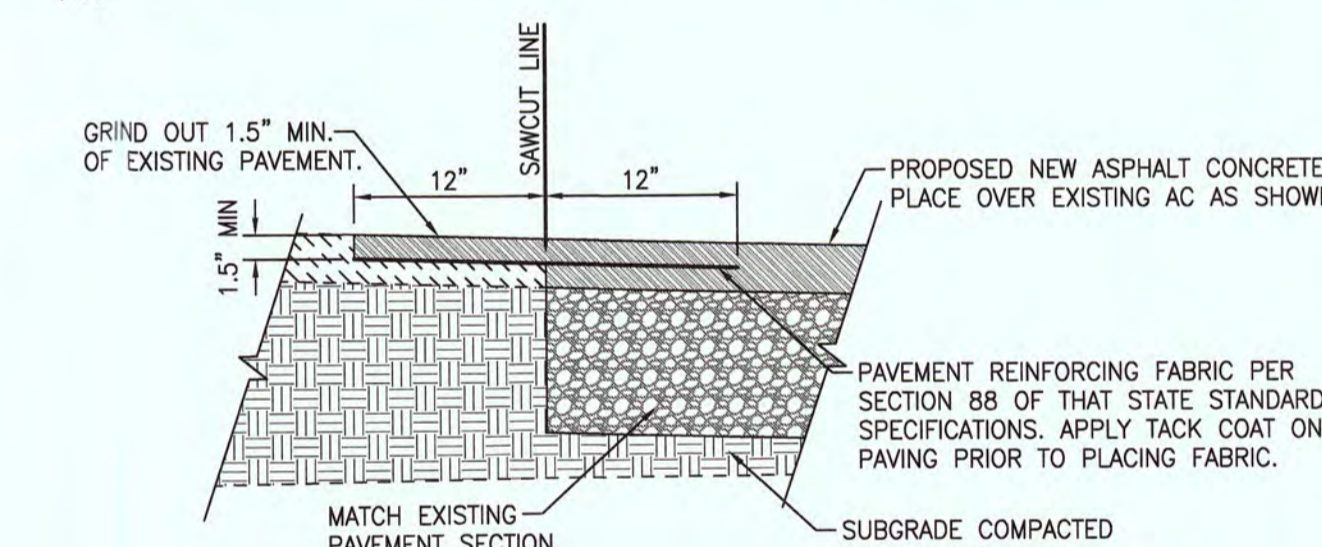
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE MOST UP TO DATE COUNTY OF SAN MATEO STANDARDS FOR REFERENCE PRIOR TO AND DURING CONSTRUCTION.
2. THE LATEST COPY OF THE COUNTY OF SAN MATEO STANDARDS SHALL BE CONSIDERED PART OF THIS PLAN SET.
3. IN THE EVENT OF A DISCREPANCY BETWEEN THIS PLAN SET AND COUNTY STANDARDS; THE COUNTY STANDARDS SHALL PREVAIL.
4. STANDARD PLAN DRAWINGS REFERENCED WITHIN THIS PLAN SET INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING DRAWINGS:
COUNTY OF SAN MATEO:
DWG No. A-3.....URBAN RESIDENTIAL COLLECTOR OR MINOR COMMERCIAL STREET
DWG No. D-1.....STANDARD STRUCTURES DRIVEWAY WIDTHS AND CURB OPENINGS FOR SINGLE FAMILY RESIDENTIAL DWELLINGS
DWG No. D-3.....TYPICAL SECTION CURB, GUTTER AND SIDEWALK



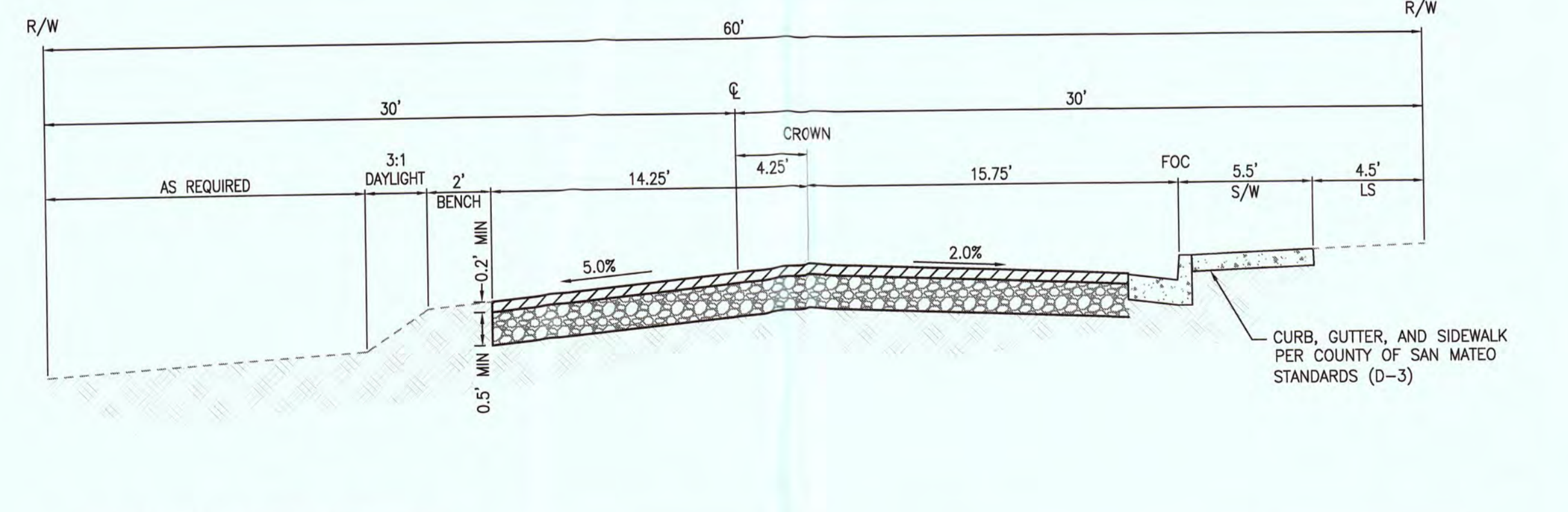
CONSTRUCTION JOINT



EXPANSION JOINT



LAP JOINT DETAIL



60' R/W SEVILLA AVENUE SECTION

PLOTTED BY: C:\Users\...
 DATE: 03/07/2016 14:24
 PROJECT: 148 COSTA RICA AVENUE, BURLINGAME, CA 94010

SEAN STENGER
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
LICENSE NO. 51554

GENERAL NOTES, SPECIFICATIONS, AND DETAILS

OFFSITE CIVIL IMPROVEMENT PLANS FOR STENGER RESIDENCE

EL GRANADA, CALIFORNIA

NorthStar Engineering Group, Inc.
 CIVIL ENGINEERING • SURVEYING • PLANNING
 680 12th Street
 Modesto, CA 95354
 (209) 524-3525 Phone
 (209) 524-3525 Fax

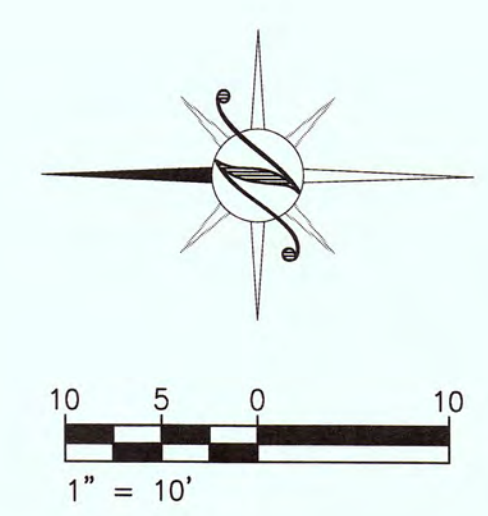
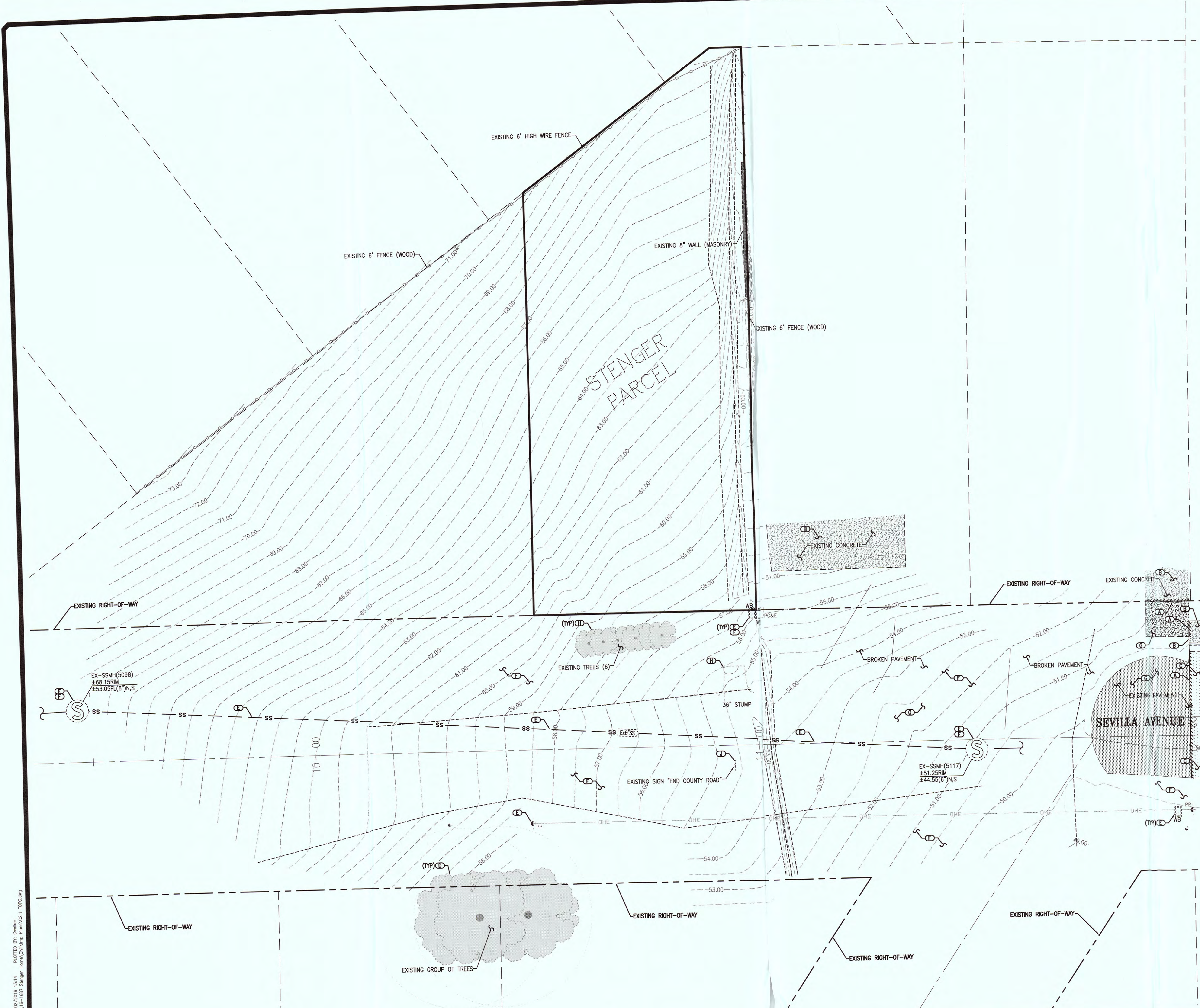
NO.	DATE	DESCRIPTIONS

JOB #: 16-1687
 DATE: 03/07/2016
 SCALE: AS SHOWN
 DRAWN: CRW
 DESIGN: BP
 CHK'D: JPE

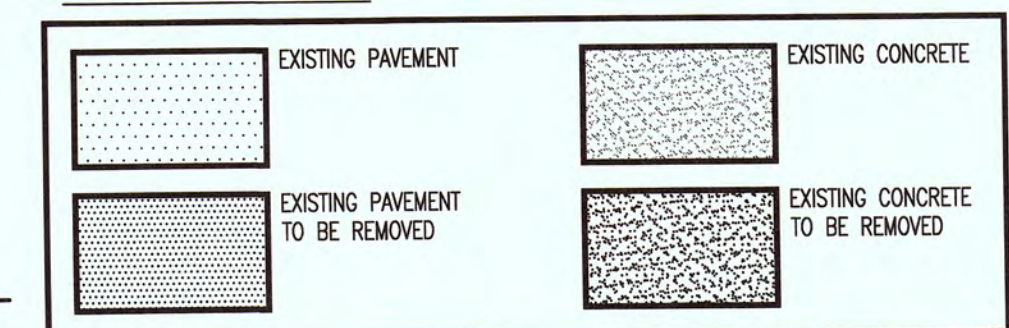
SHEET NUMBER

C1.2

COPYRIGHT © 2016 NORTHSTAR ENGINEERING GROUP, INC



HATCH LEGEND



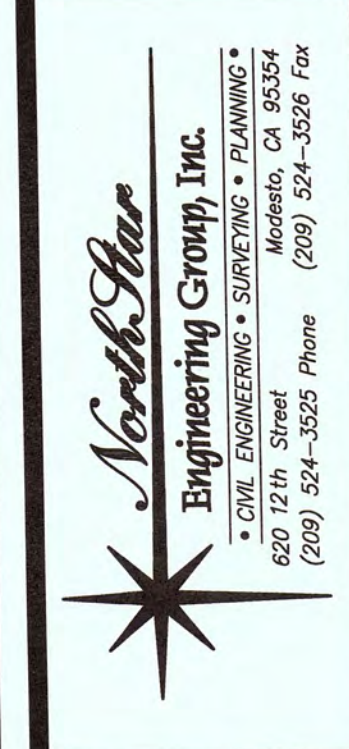
KEY NOTES

- (A) SAWCUT AND REMOVE EXISTING PAVEMENT, CONCRETE, AND/OR CURB AS REQUIRED PER THESE PLANS. CONTRACTOR MAY NEED TO FIELD ADJUST SAWCUT LINE TO REMOVE THE CONCRETE SECTION AT THE NEAREST JOINT WHILE MAINTAINING ACCESSIBLE TRANSITION TO PROVIDE ADA COMPLIANCE BASED ON FIELD CONDITIONS.
- (B) CONTRACTOR SHALL PROTECT EXISTING CONCRETE AND/OR CURB THROUGHOUT THE COURSE OF CONSTRUCTION AND REPAIR/REPLACE IF DAMAGED DURING CONSTRUCTION, AT CONTRACTOR'S EXPENSE. SEE KEYNOTE "A" ABOVE.
- (C) CONTRACTOR SHALL PROTECT EXISTING PAVEMENT THROUGHOUT THE COURSE OF CONSTRUCTION AND REPAIR/REPLACE IF DAMAGED DURING CONSTRUCTION, AT CONTRACTOR'S EXPENSE.
- (D) CONTRACTOR SHALL PROTECT EXISTING TREE AND ROOTS THROUGHOUT THE COURSE OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE BY THE LANDSCAPE ARCHITECT, AND REPLACE IF DAMAGED DURING CONSTRUCTION, AT THE CONTRACTOR'S EXPENSE. EXCAVATION AND GRADING SHOULD BE KEPT TO A MINIMUM AND NOTIFY THE OWNER IMMEDIATELY SHOULD THE TREE NEED TO BE REMOVED TO COMPLETE IMPROVEMENTS.
- (E) ***USE EXTREME CAUTION*** CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, OVERHEAD LINES AND UNDERGROUND UTILITIES THROUGHOUT THE COURSE OF CONSTRUCTION AND REPAIR/REPLACE IF DAMAGED DURING CONSTRUCTION, AT CONTRACTOR'S EXPENSE. COORDINATE WITH APPROPRIATE CONSULTANT AND/OR AGENCY FOR ANY RELOCATION OR REMOVAL.
- (F) CONTRACTOR SHALL ***USE EXTREME CAUTION*** THROUGHOUT THE COURSE OF CONSTRUCTION AS ADDITIONAL UNDERGROUND LINES AND STRUCTURES NOT SHOWN ON THIS PLAN MAY EXIST AND ARE NOT CLEARLY MARKED OR VISIBLE FROM THE SURFACE. ADDITIONALLY CONTRACTOR SHALL USE **EXTREME CAUTION WHILE WORKING BY LOW HANGING POWER LINES.** IN CONJUNCTION WITH CONTACTING USA TO LOCATE UNDERGROUND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR UTILIZE (GPR) GROUND PENETRATING RADAR UNDERGROUND SERVICES TO IDENTIFY ONSITE UTILITIES THAT MAY NOT BE VISIBLE FROM THE SURFACE.
- (G) CONTRACTOR SHALL REMOVE EXISTING CONCRETE, CURB, AND/OR PAVEMENT AS SHOWN AND DISPOSE OF OFF-SITE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR MAY NEED TO FIELD ADJUST SAWCUT LINE TO REMOVE THE CONCRETE SECTION AT THE NEAREST JOINT WHILE MAINTAINING ACCESSIBLE TRANSITION TO PROVIDE ADA COMPLIANCE BASE ON FIELD CONDITIONS. SEE KEYNOTE "A" ABOVE FOR ADDITIONAL INFORMATION.
- (H) CONTRACTOR SHALL REMOVE EXISTING TREE OR STUMP AND DISPOSE OF OFF-SITE AT THE CONTRACTOR'S EXPENSE.
- (I) CONTRACTOR SHALL REMOVE EXISTING SIGN AND DISPOSE OF OFFSITE AT CONTRACTOR'S EXPENSE.



NO.	DATE	APPROVED	REVISIONS	DESCRIPTIONS

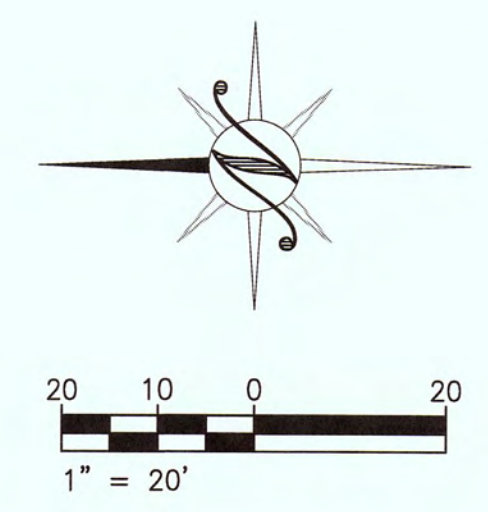
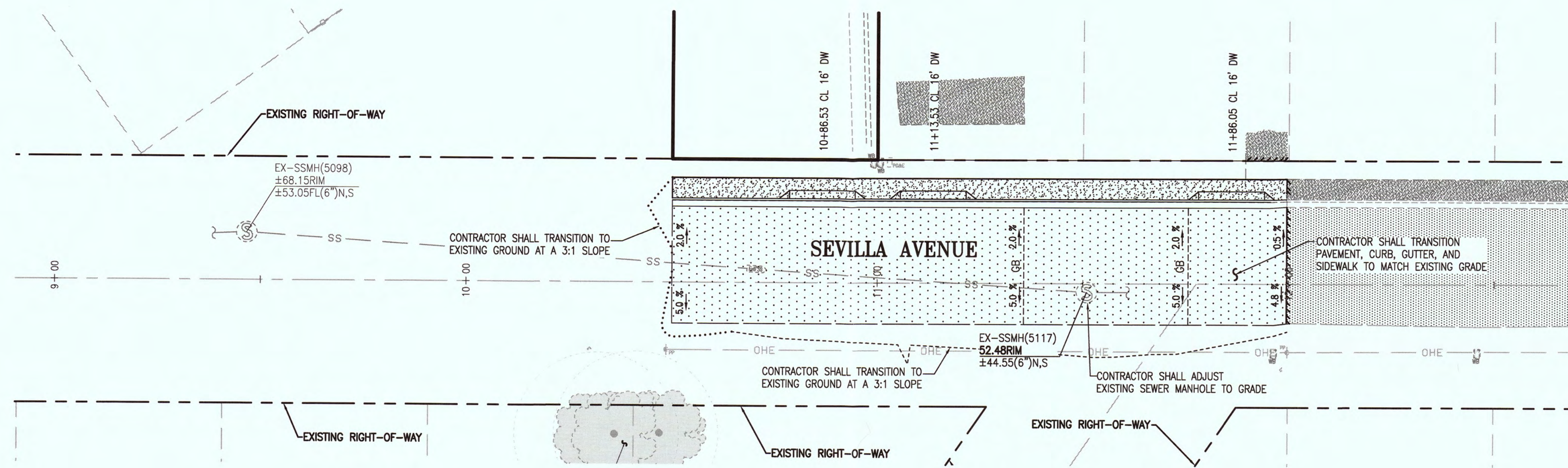
**TOPOGRAPHIC AND DEMOLITION PLAN
OFFSITE CIVIL IMPROVEMENT PLANS FOR
STENGER RESIDENCE
EL GRANADA, CALIFORNIA**



JOB #:	16-1687
DATE:	03/02/2016
SCALE:	AS SHOWN
DRAWN:	CRW
DESIGNED:	BP
CHK'D:	JPE

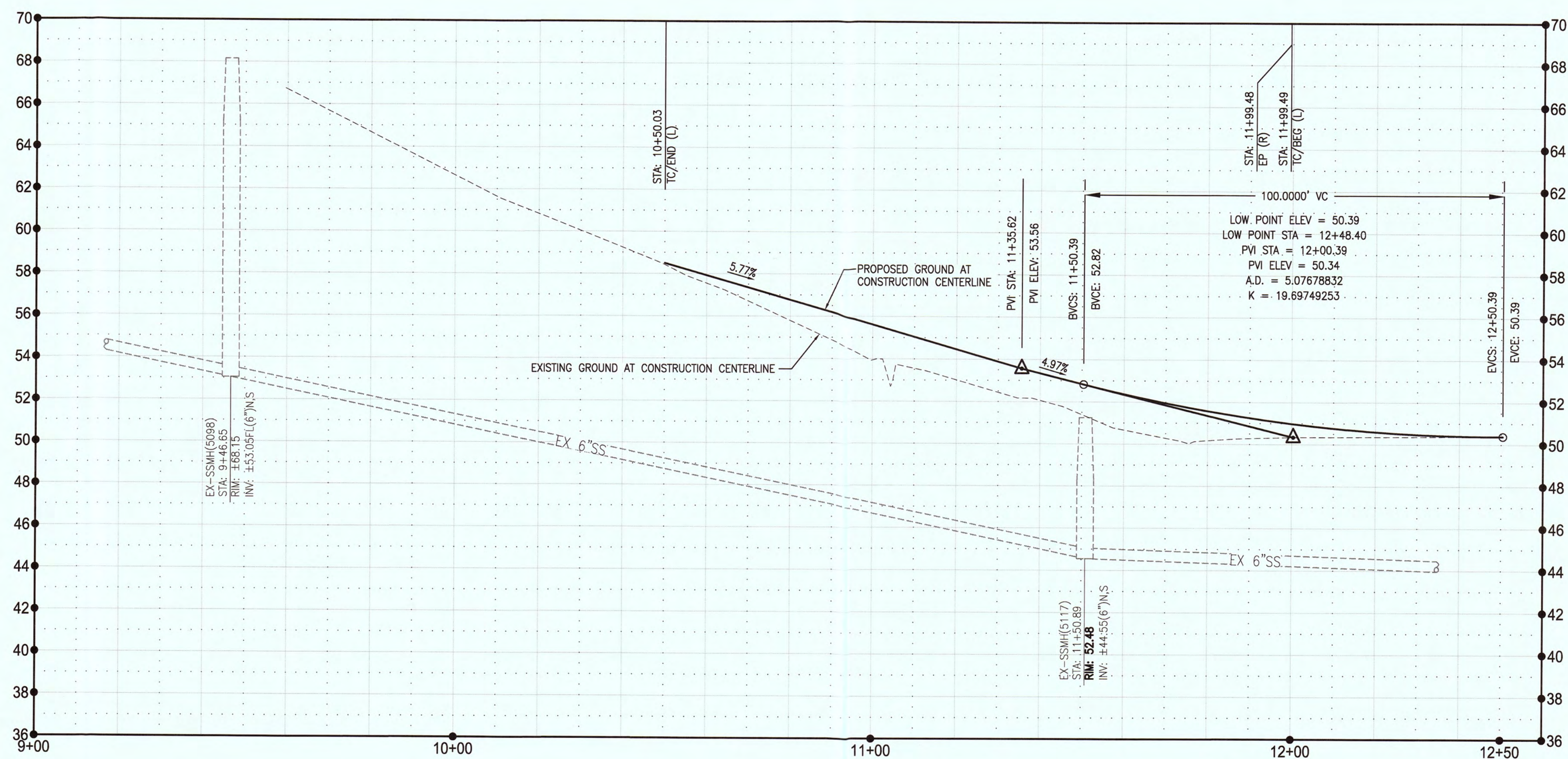
SHEET NUMBER
C2.1

PLOTTED: 03/02/2016 13:14 PLOTTED BY: C:\Users\...
DRAWING: 16-1687 Stenger Home/Offsite Plans/C2.1 Topo.dwg



SEVILLA AVENUE (STA: 9+00.00 TO STA: 12+50.00)

PROFILE SCALE
 1" = 20' HORIZONTAL
 1" = 4' VERTICAL



PLOTTED: 03/02/2016 13:57
 DWGNAME: F:\16-1887 Stenger Home\Civil\Imp Plans\C3.1 PP SEVILLA.dwg



NO.	REVISIONS	DATE	APPROVED

SEVILLA AVENUE
STA 9+00.00 TO 12+50.00
OFFSITE CIVIL IMPROVEMENT PLANS FOR
STENGER RESIDENCE
EL GRANADA, CALIFORNIA



JOB #: 16-1887
 DATE: 03/02/2016
 SCALE: AS SHOWN
 DRAWN: CRW
 DESIGN: BP
 CHK'D: JPE

SHEET NUMBER

C3.1

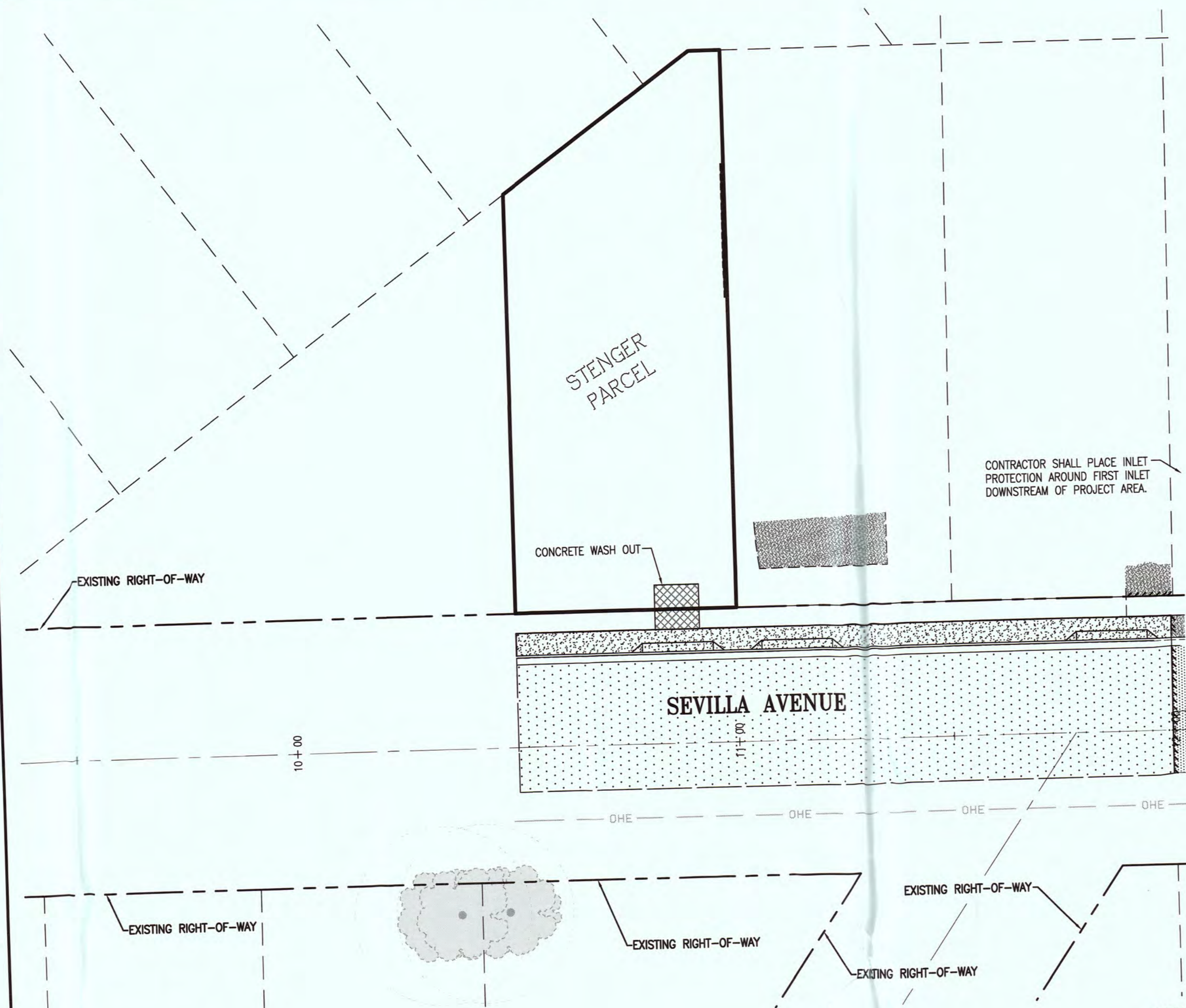
EROSION CONTROL NOTES

- THESE PLANS DEPICT APPROPRIATE MEASURES TO CONTROL EROSION ON THE SITE TO BE GRADED AS SHOWN ON THE PLANS. THE NATIVE VEGETATION WILL BE REMOVED ONLY FROM THOSE AREAS TO BE GRADED. AREAS OUTSIDE OF AND DOWNSLOPE OF THE LIMITS OF GRADING WILL BE PROTECTED FROM SILT LADEN RUNOFF BY PERIMETER SILT FENCES AS DEPICTED ON THIS PLAN. SLOPED AREAS WHICH HAVE BEEN STRIPPED OF VEGETATION AND NEW SLOPES OVER FOUR FEET HIGH CREATED DURING THE GRADING OPERATION WILL BE TRACKWALKED & HYDROSEEDED.
- ALL EROSION SEDIMENT STRUCTURES SHALL BE INSPECTED AFTER EACH RAINSTORM AND SHALL BE CLEANED OUT AS NECESSARY.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. THE LOCATION IS SHOWN ON THESE PLANS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE LIFE OF THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY ENGINEER, DURING CONSTRUCTION ACTIVITIES.
- TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS AND STOCKPILE AREAS SHALL BE HYDROSEEDED, LANDSCAPED OR SEALED.
- STRAW BALES, PIECES OF WOOD, FABRIC OR OTHER SUITABLE MATERIALS SHALL BE USED TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING ANY COMPLETED STORM DRAIN INLETS. THESE PROTECTION MEASURES SHALL BE MAINTAINED UNTIL THE PROJECT IS COMPLETED.
- WHEN TEMPORARY STRUCTURES HAVE SERVED THEIR INTENDED PURPOSE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, THE EMBANKMENT AND RESULTING SEDIMENT DEPOSITS ARE TO BE LEVELLED OR OTHERWISE DISPOSED OF BY THE CONTRACTOR AS RECOMMENDED BY THE SOILS ENGINEER.
- GRADED AREAS MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE SHALL BE DIRECTED TOWARDS DRAINAGE INLETS.
- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THIS PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- HYDROMULCHING OF SLOPES OVER 5' IN HEIGHT SHALL BE COMPLETED BETWEEN SEPTEMBER 1 AND OCTOBER 1 OF THE YEAR IN WHICH THEY ARE CONSTRUCTED OR IMMEDIATELY AFTER THEIR CONSTRUCTION IF THEY ARE COMPLETED AFTER OCTOBER 1ST. APPLICATION RATES SHALL BE AS FOLLOWS AS REQUIRED BY THE COUNTY OF SAN MATEO:

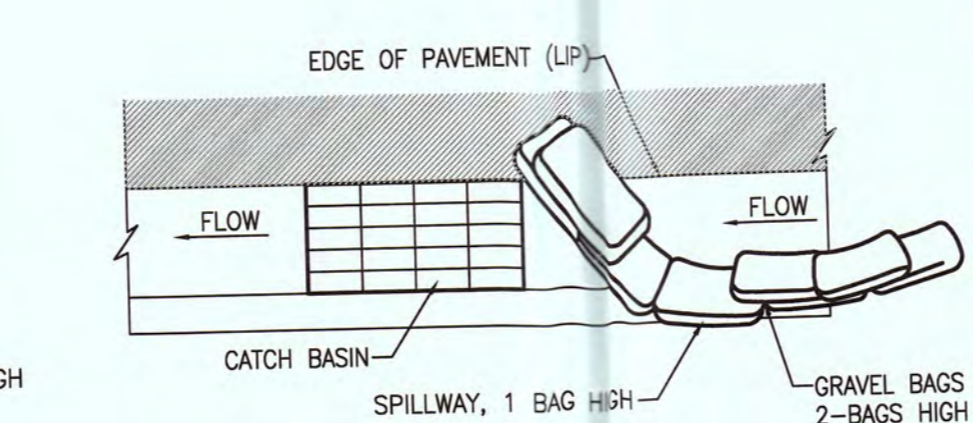
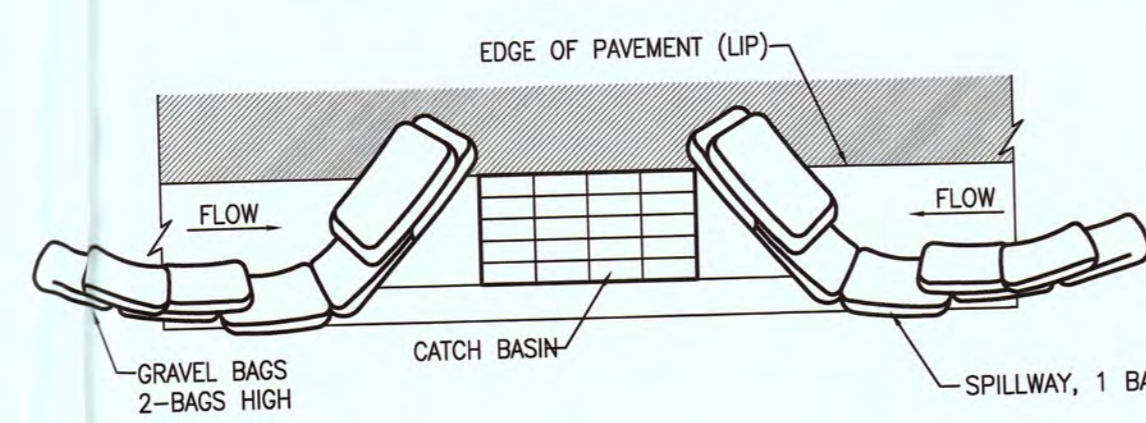
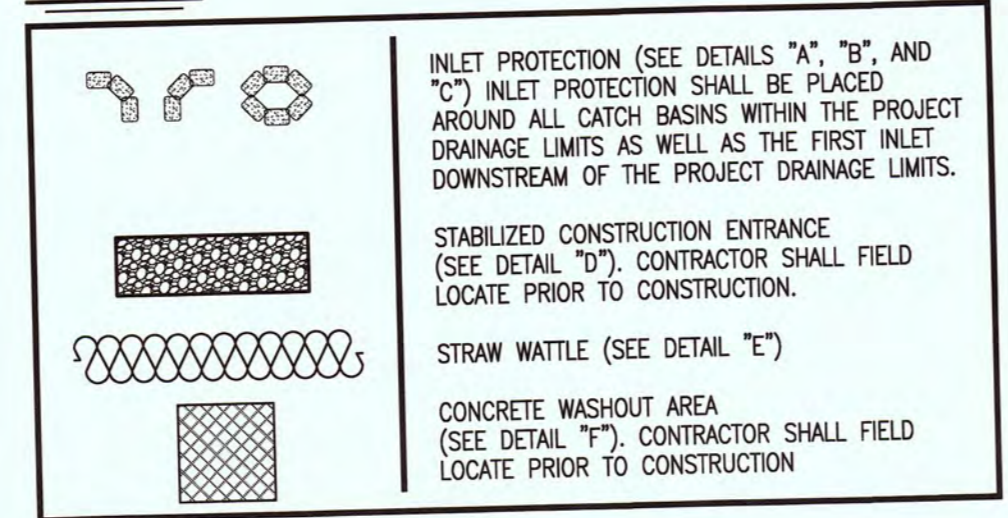
HYDROSEED MIX BOTANICAL NAME	(COMMON NAME)	MIN. % PURITY	MIN. % GERMINATION	LB/ACRE
ARISTIDA TERNIPES VAR. HAMULOSA	(THREE-AWN)	90%	85%	2
BROMUS CARINATUS	(CALIFORNIA BROME)	90%	85%	2
ELYMUS GLAUCUS	(BLUE WILD RYE)	90%	85%	4
ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS	(SLENDER WHEATGRASS)	90%	85%	3
MELICA CALIFORNICA	(CALIFORNIA ONION GRASS)	90%	85%	2
MUHLENBERGIA RIGENS	(DEER GRASS)	90%	85%	4
MASSILLA LEPIDA	(FOOTHILL NEEDLEGRASS)	90%	85%	6
TRIFOLIUM HIRTUM	("HYKON" ROSE CLOVER)	90%	85%	10
CELLULOSE FIBER MULCH				2000
ORGANIC BINDER WITH HYDROSEED SLURRY				50
16-20-0-S FERTILIZER				300

- WHEN DIRECTED BY THE INSPECTOR, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- SEWER OR STORM DRAIN TRENCHES THAT DRAIN THROUGH BASIN DIKES SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.
- ALL UTILITY TRENCHES SHALL BE BLOCKED WHEN DIRECTED BY THE DESIGN ENGINEER AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF GROUND SURFACE OR STREET LESS THAN 2%	INTERVAL AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED ABOVE. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE INSPECTOR, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS.
- AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUND Slightly TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE CROSS-FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET. REMOVE ALL CHECK DAMS PRIOR TO BACKFILL.
- TO CONTROL SEDIMENT ENTERING FIELD INLETS, PLACE TWO STRAW BALES IN THE CONCRETE V-DITCH AT THE SIDE OPENING OF THE FIELD INLET AT THE LOCATIONS SHOWN ON THIS PLAN.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR WHEN DIRECTED BY THE INSPECTOR.
- ALL BASINS AND CHECK DAMS SHALL HAVE BEEN PUMPED DRY, AND ALL DEBRIS AND SILT REMOVED WITHIN 24 HOURS AFTER EACH STORM.
- SANDBAGS SHALL BE STOCKPILED ON-SITE, READY TO BE PLACED IN POSITION WHEN RAIN FORECAST IS 40
- EXPOSED SLOPES SHALL BE PROTECTED BY VEGETATION COVER OR FABRIC COVER AS APPROVED BY THE CITY ENGINEER.
- WHEN PAD ELEVATION OF ADJACENT LOTS OR ELEVATION BETWEEN STREET AND LOT ARE SEPARATED BY MORE THAN 6 FEET, A MINIMUM 12" BERM SHALL BE MAINTAINED ALONG THE PROPERTY LINE SEPARATING THE LOTS, AND THE BERM SHALL DIRECT THE WATER TO THE OUTLET. VELOCITY CHECK DAMS SHALL BE INSTALLED BETWEEN THE OUTLET ON THE LOT AND THE STREET.
- ALL EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE CASQA STORMWATER MANAGEMENT HANDBOOK.
- ALL FINISHED PADS SHALL BE PROTECTED.
- THE FOLLOWING PLANS ARE ACCURATE FOR EROSION CONTROL PURPOSES ONLY.
- THE INFORMATION ON THIS PLAN IS INTENDED TO BE USED AS A GUIDELINE FOR THE CONTRACTOR AND SUBCONTRACTORS TO COMPLY WITH THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD. FIELD CONDITIONS MAY NECESSITATE MODIFICATIONS TO THIS PLAN.
- NO ONSITE FUELING SHALL TAKE PLACE.
- SEAL OR SKIRT BETWEEN TRAILER & GRADING TO PREVENT EXPOSURE TO DRAIN.
- STRAW WATTLES INSTALLED ON A SLOPE SHALL CONFORM TO THE GUIDELINES SPECIFIED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM BEST MANAGEMENT PRACTICES.
- EROSION RESISTANT VEGETATION SHOULD BE MAINTAINED ON THE FACE OF ALL SLOPES.
- CONTRACTOR SHALL REFER TO THE PROJECT STORM WATER POLLUTION PLAN (SWPPP) FOR ALL PRE AND POST CONSTRUCTION EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES (BMPs).
- ALL BASINS SHALL BE HYDROSEEDED IN ACCORDANCE TO THE PROJECT SWPPP.
- CONTRACTOR SHALL INSTALL DRAIN INLET PROTECTION FOR ALL CATCH BASINS LOCATED IN THE VICINITY OF WORK. THIS INCLUDES ANY CATCH BASIN LOCATED IN THE PUBLIC RIGHT-OF-WAY, AS WELL AS ANY ONSITE CATCH BASIN.



LEGEND



A TYPICAL PROTECTION FOR INLET ON SUMP

NTS

B TYPICAL PROTECTION FOR INLET ON GRADE

NTS

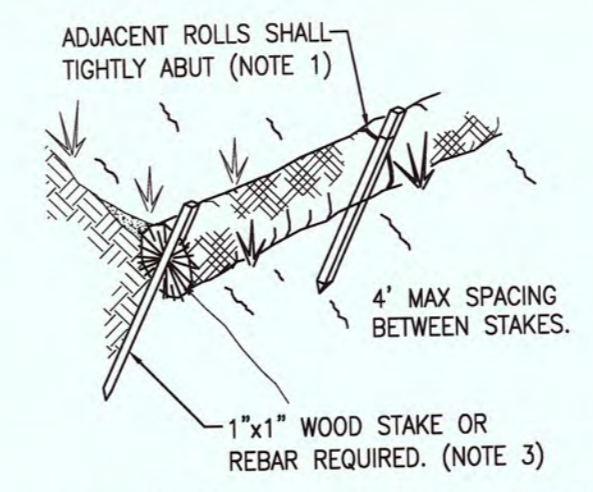
- NOTES:**
- INTENDED FOR SHORT-TERM USE.
 - USE TO INHIBIT NON-STORM WATER FLOW.
 - ALLOW FOR PROPER MAINTENANCE AND CLEAN UP.
 - BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
 - NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

D1 PROTECTION TYPE 3 - GRAVEL BAG

- THE GRAVEL BAG BARRIER (TYPE 3) IS SHOWN IN THE FIGURES. FLOW FROM A SEVERE STORM SHOULD NOT OVERTOP THE CURB. IN AREAS OF HIGH CLAY AND SILTS, USE FILTER FABRIC AND GRAVEL AS ADDITIONAL FILTER MEDIA. GRAVEL BAGS SHOULD BE USED DUE TO THEIR HIGH PERMEABILITY.
- USE SAND BAG MADE OF GEOTEXTILE FABRIC (NOT BURLAP) AND FILL WITH 0.75 IN. ROCK OR 0.25 IN. PEA GRAVEL.
 - CONSTRUCT ON GENTLY SLOPING STREET.
 - LEAVE ROOM UPSTREAM OF BARRIER FOR WATER TO POND AND SEDIMENT TO SETTLE.
 - PLACE SEVERAL LAYERS OF SAND BAGS - OVERLAPPING THE BAGS AND PACKING THEM TIGHTLY TOGETHER.
 - LEAVE GAP OF ONE BAG ON THE TOP ROW TO SERVE AS A SPILLWAY. FLOW FROM A SEVERE STORM (E.G., 10 YEAR STORM) SHOULD NOT OVERTOP THE CURB.
 - THIS DETAIL IS TO BE USED ON EXISTING STREETS WHERE SILTED FLOW IS TO BE INTERCEPTED (CAUGHT) PRIOR TO ENTERING THE STORM DRAIN SYSTEM. SANDBAGS CAN ALSO BE USED WHEN THE ROUGH GRADED STREETS HAVE POURED INPLACE CONCRETE SURROUNDING THE INLET TO CREATE A "FLOW LINE" WHERE A DAM CAN BE ACHIEVED TO PROTECT THE STORM SYSTEM FROM THE INFLOW OF SEDIMENT.

D1 PROTECTION - TYPE 3

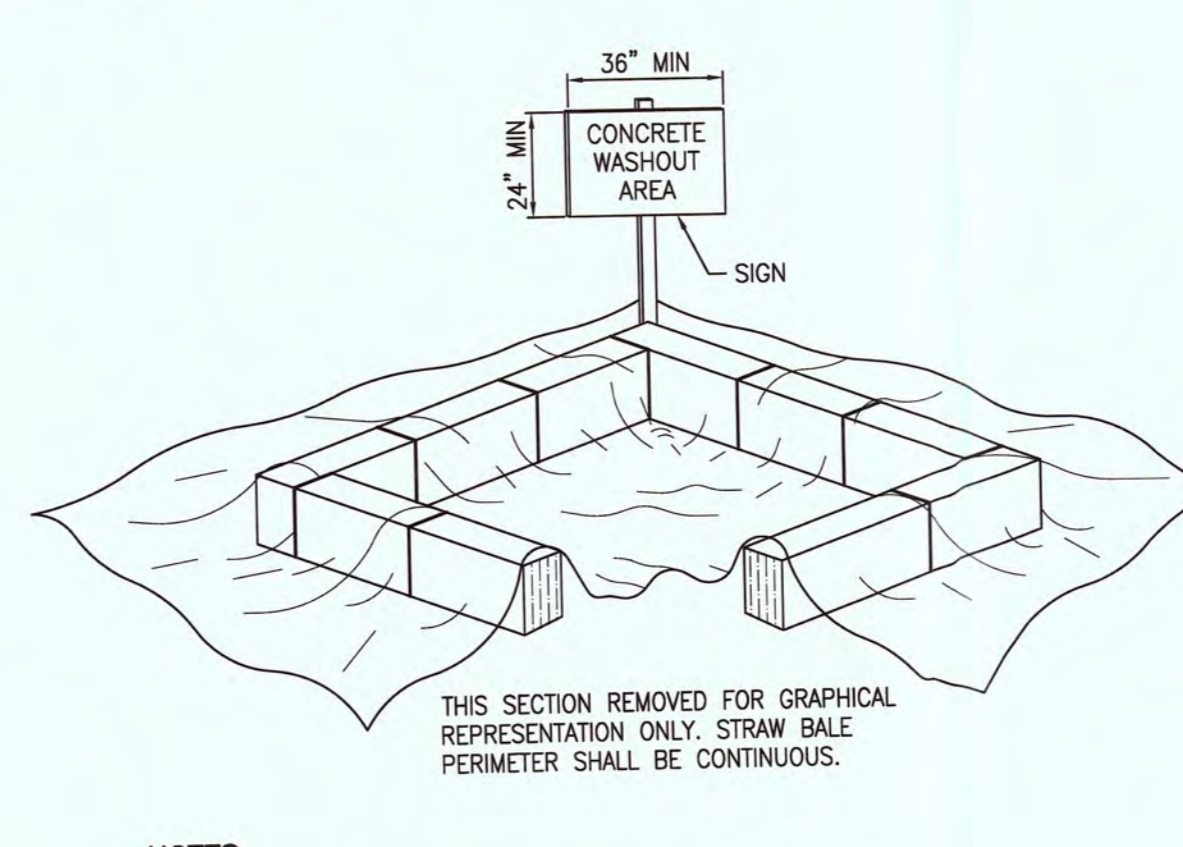
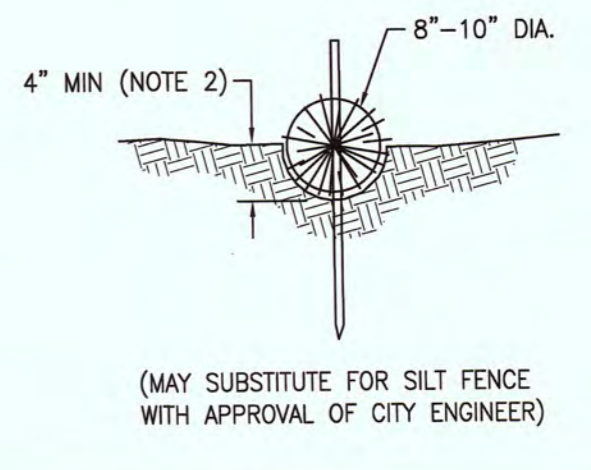
NTS



- STRAW WATTLE DIKE CONSTRUCTION SPECIFICATIONS:**
- WATTLES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING.
 - EACH WATTLE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES.
 - WATTLES SHALL BE SECURELY ANCHORED IN PLACE BY TWO STAKES OR REBARS DRIVEN THROUGH THE WATTLES. THE FIRST STAKE IN EACH WATTLE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID WATTLE TO FORCE THE WATTLES TOGETHER.
 - THE DIKE SHALL BE INSPECTED AFTER EACH STORM, AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. THE WATTLES SHALL BE REMOVED ONCE THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

E STRAW WATTLE DETAIL

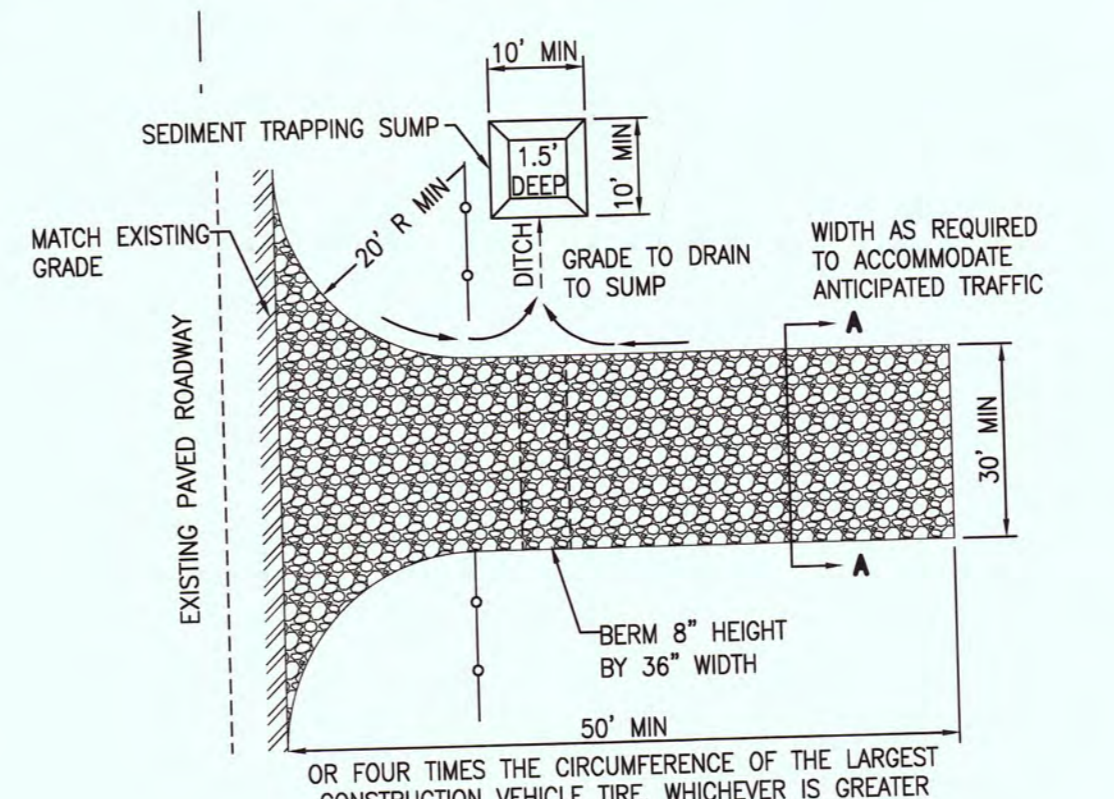
NTS



- NOTES:**
- FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
 - CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50 FEET MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES.
 - CONTRACTOR SHALL CONDUCT ALL CONCRETE WASHOUT OFF-SITE.
 - WASH OUT SHALL BE CONSTRUCTED PER CASQA BMP MEASURES OR EQUIVALENT.

F CONCRETE WASHOUT

NTS



- NOTE:**
- CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE

D1 PLAN (OPTION 1)

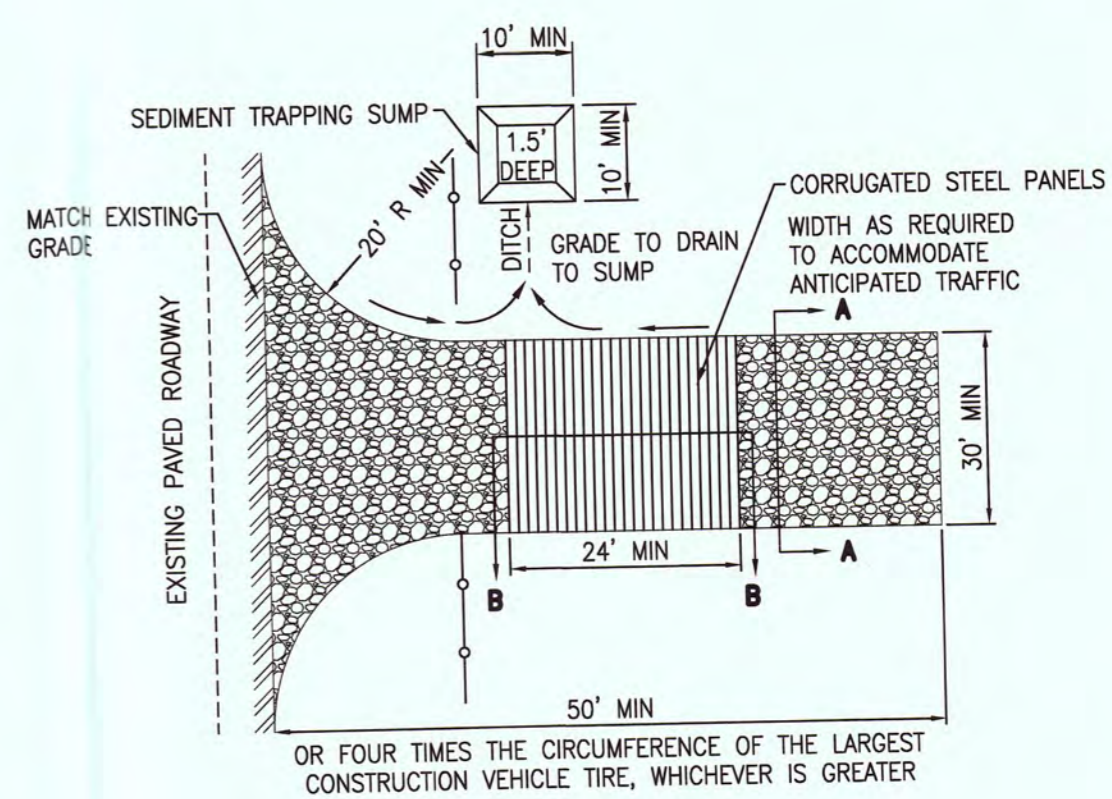
NTS

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE DESIGN AND CONSTRUCTION SPECIFICATIONS:

- THE TEMPORARY STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS OF LATEST EDITION OF THE CALIFORNIA STORMWATER HANDBOOK, DETAIL TO-1 OR EQUIVALENT, WHERE THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE CALIFORNIA STORMWATER HANDBOOK, THE HANDBOOK SHALL GOVERN.
- CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT EACH ENTRANCE TO THE PROJECT SITE AND SHALL BE CONSTRUCTED ON LEVEL GROUND.
- THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 6 INCH DIA. STONE. THE THICKNESS FOR THE PAD SHALL NOT BE LESS THAN 12 INCHES OR AS RECOMMENDED BY SOILS ENGINEER.
- THE WIDTH OF THE PAD SHALL NOT BE LESS THAN 30' OR THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, WHICHEVER IS GREATER.
- THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN UP ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP, SEDIMENT BASIN, OR SEDIMENT SWALE. ALL SEDIMENT THROUGH USE OF GRAVEL BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS. CONTRACTOR TO REMOVE AND DISPOSE OF STABILIZED CONSTRUCTION ENTRANCE UPON COMPLETION OF CONSTRUCTION.
- CONSTRUCTION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE 2003 CALIFORNIA STORMWATER BMP HANDBOOK.

D3 TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

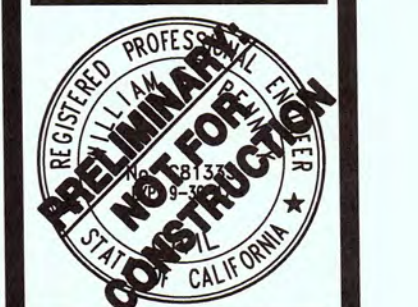
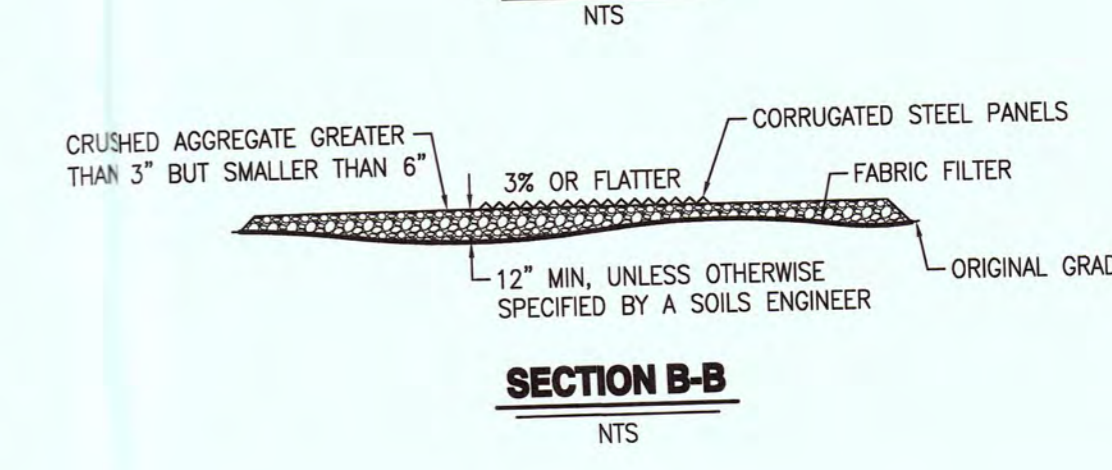
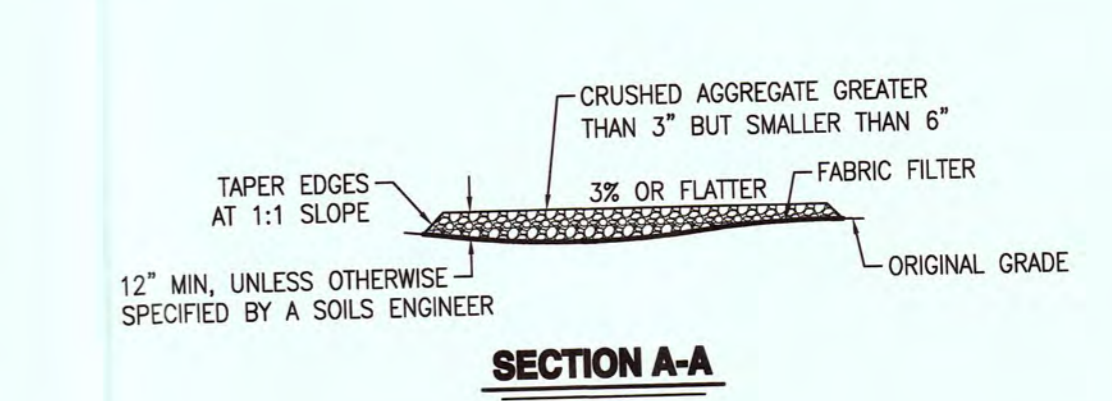
NTS



- NOTE:**
- CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE

D2 PLAN (OPTION 2)

NTS



NO.	DATE	APPROVED	REVISIONS	DESCRIPTIONS

EROSION CONTROL PLAN, NOTES, AND DETAILS

OFFSITE CIVIL IMPROVEMENT PLANS FOR STENGER RESIDENCE

EL GRANADA, CALIFORNIA

Northstar Engineering Group, Inc.

CIVIL ENGINEERING • SURVEYING • PLANNING •

620 12th Street, Modesto, CA 95354

(209) 524-3525 Phone (209) 524-3526 Fax

JOB #: 116-1687

DATE: 03/02/2016

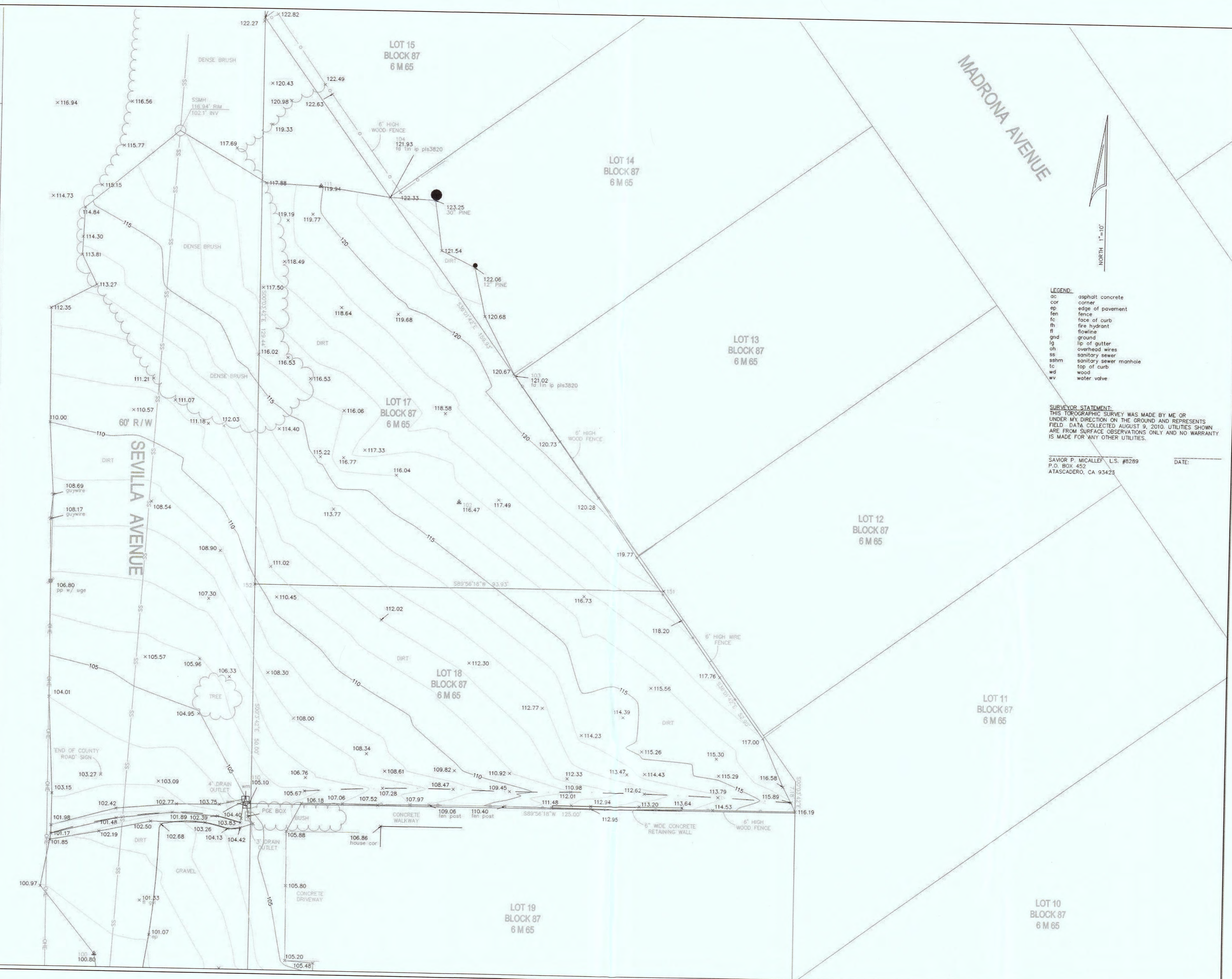
SCALE: AS SHOWN

DESIGN: CRW

CHK'D: LPE

SHEET NUMBER

C4.1



HPDG
High Point Design Group
346-A WEST JACKSON STREET
SONOMA, CALIFORNIA
95970
209.591.8610
engineer of record

- LEGEND:**
- ac asphalt concrete
 - cor corner
 - cp edge of pavement
 - fen fence
 - fc face of curb
 - fh fire hydrant
 - fl flowline
 - gnd ground
 - lg lip of gutter
 - oh overhead wires
 - ss sanitary sewer
 - sshm sanitary sewer manhole
 - tc top of curb
 - wd wood
 - wv water valve

SURVEYOR STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS FIELD DATA COLLECTED AUGUST 9, 2010. UTILITIES SHOWN ARE FROM SURFACE OBSERVATIONS ONLY AND NO WARRANTY IS MADE FOR ANY OTHER UTILITIES.

SAVOR P. MICALLEF L.S. #8289
P.O. BOX 452
ATASCADERO, CA 93423

DATE:

project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615
COPYRIGHT 2010 - HIGH POINT DESIGN GROUP, INC.

THIS DRAWING EMBODIES DESIGN, IDEAS, PLANS, ARRANGEMENTS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED AND DELIVERED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name
SURVEY

date
2 MARCH 2016
release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

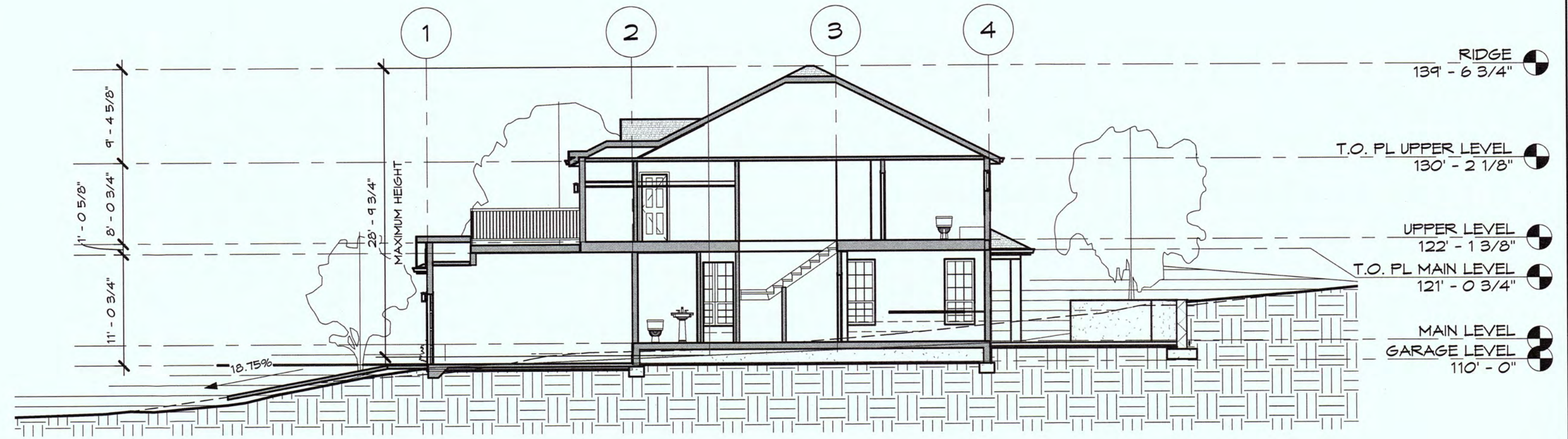
DR/AO.1

3/2/2016 2:22:12 PM

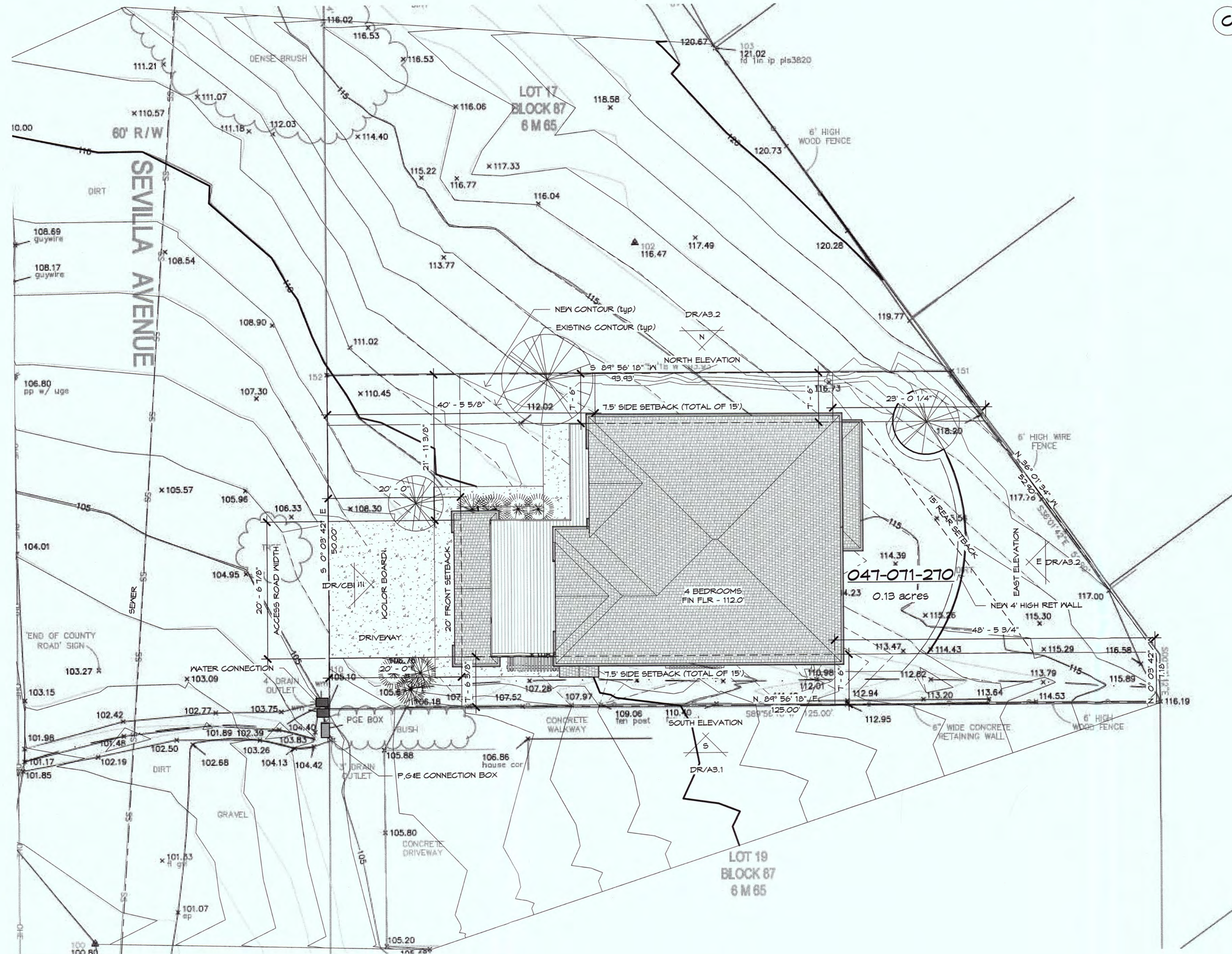
VUE
50' R/W

LOT COVERAGE

LOT SIZE	5504.74 SF
PATIO	316.42 SF
ENTRY	114.36 SF
WALK	212.66 SF
DRIVEWAY	334.01 SF
GARAGE FOOTPRINT	431.01 SF
HOUSE FOOTPRINT	1241.0 SF
TOTAL COVERAGE	2674.96 SF
% OF LOT COVERAGE =	47.4%



C SITE SECTION
1" = 10'-0"



PROJECT DATA:

AP #: 047-071-270
 LOT SIZE: 1.3 ACRES - XXXXSF
 ZONING: R-1/S-11/DR/CD
 ELEVATION: 112 FEET
 BUILDING SETBACKS:
 FRONT = 20'
 SIDE = 7.5'
 REAR = 20'
 PROJECT LOCATION:
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94104

DESIGN CRITERIA:

SNOW LOAD: 0 LBS
 WIND LOAD: 85 MPH - EXPOSURE B
 SEISMIC ZONE DESIGNATION: D1
 COORDINATES: 37.50914° N - 122.48041° W

OCCUPANCY:

R-1/S-11/DR/CD

BLDG. TYPE:

TYPE V - B

PROJECT DESCRIPTION:

NEW 2491 SF HOME CONSISTING OF FOUR (4) BEDROOMS AND THREE AND HALF (3 1/2) BATHROOMS WITH ATTACHED TWO (2) CAR GARAGE.

OWNER:

SEAN AND BEN STENGER
 148 COSTA RICA AVENUE
 BURLINGAME, CALIFORNIA 94011
 650.483.8615

BUILDING DESIGNER:

HIGH POINT DESIGN GROUP, INC.
 346-A WEST JACKSON STREET
 SONORA, CALIFORNIA 95370
 204.541.8610
 Tim.Finley@gmail.com

PROJECT ENGINEER:

WEATHERBY REYNOLDS-FRITSON
 PRINCIPAL IN CHARGE: TERRY WEATHERBY
 206 PEEK STREET
 JACKSON, CALIFORNIA 95642
 209.223.0901
 Terry@wrfed.com

GENERAL CONTRACTOR:

STENGER CONSTRUCTION

AREA BREAKDOWN:

	AREA	UNCONDITIONED AREA	COVERED DECK
NEW CONSTRUCTION	2491 SQFT	431 SQFT	0 SQFT
TOTALS	2491 SQFT	431 SQFT	0 SQFT

DENSITY

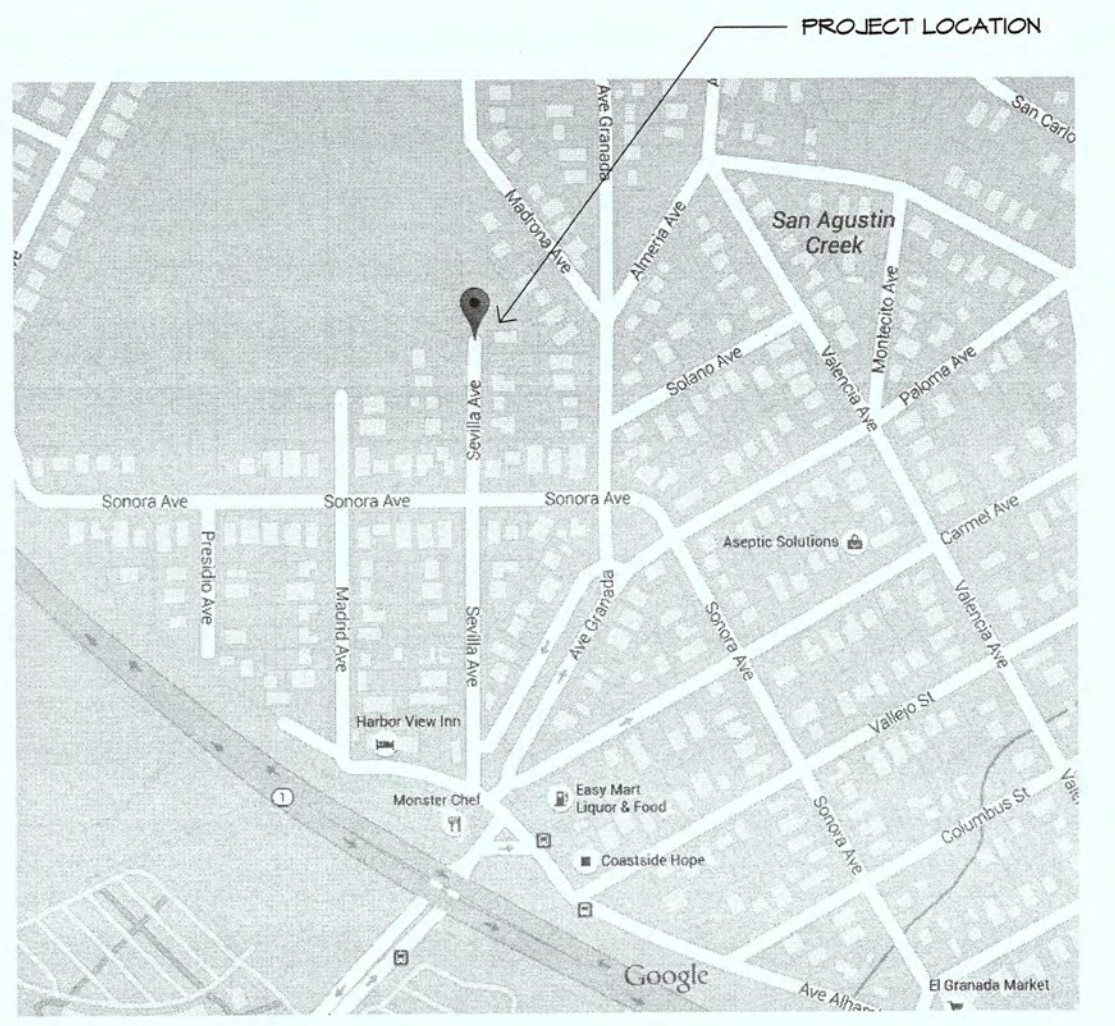
MAIN LEVEL AREA	1241 SF
GARAGE AREA	431 SF
UPPER LEVEL AREA	1280 SF
COVERED EXTERIOR SPACE > 4'	0 SF
TOTAL AREA	2492 SF
LOT AREA	5504.42 SF
DENSITY	52.8%

IMPERVIOUS SURFACE CALCULATION

HOUSE	1241.00 SF
GARAGE	431.00 SF
DRIVEWAY	334.01 SF
WALK #1	114.36 SF
WALK #2	39.12 SF
WALK #3	114.51 SF
PATIO	316.42 SF
TOTAL	2499.42 SF
LOT AREA	5504.42 SF
IMPERVIOUS COVERAGE	44.5%

DENSITY AND IMPERVIOUS SURFACES

1/4" = 1'-0"



VICINITY MAP

1 SITE PLAN

1" = 10'-0"



project
047-071-270

NEW HOME FOR:
SEAN AND BEN STENGER
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94014

650.483.8615
 COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
 THIS DRAWING EMBODIES DESIGN, IDEAS, PLANS, ARRANGEMENTS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

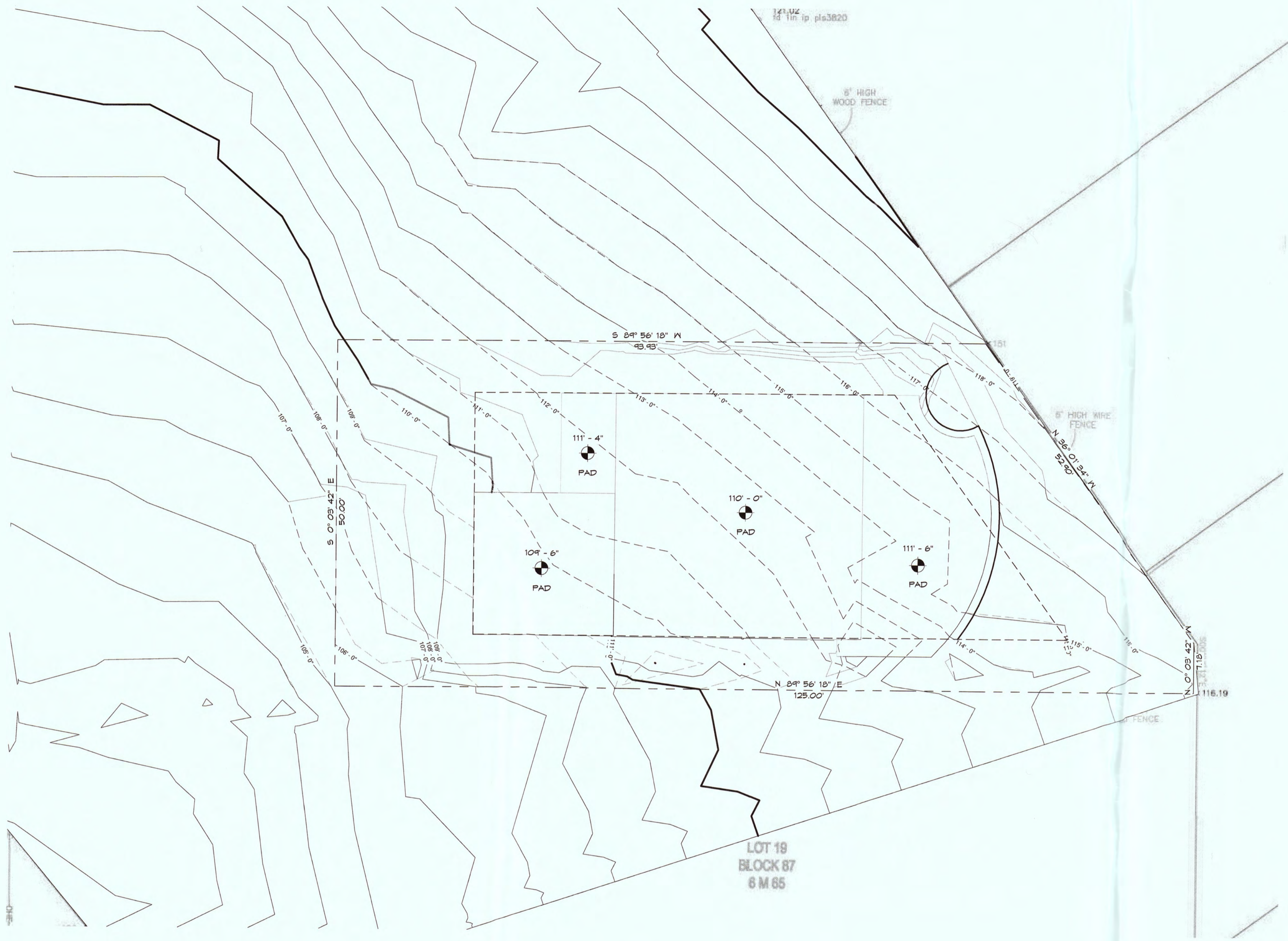
SITE PLAN

date
2 MARCH 2016
 release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A0.2



PROJECT DATA:

AP #: 047-071-270
 LOT SIZE: 1.3 ACRES - XXXXSF
 ZONING: R-1/S-17/DR/CD
 ELEVATION: 112 FEET
 BUILDING SETBACKS:
 FRONT = 20'
 SIDE = 7.5'
 REAR = 20'

PROJECT LOCATION:
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94019

OCCUPANCY:
 R-1/S-17/DR/CD
 BLDG. TYPE:
 TYPE V - B

PROJECT DESCRIPTION:
 NEW 2491 SF HOME CONSISTING OF FOUR (4) BEDROOMS AND THREE AND HALF (3 1/2) BATHROOMS WITH ATTACHED TWO (2) CAR GARAGE.

AREA BREAKDOWN:

	AREA	UNCONDITIONED AREA	COVERED DECK
NEW CONSTRUCTION	2491 SQFT	431 SQFT	0 SQFT
TOTALS	2491 SQFT	431 SQFT	0 SQFT

DESIGN CRITERIA:

SNOW LOAD:
 0 LBS
 WIND LOAD:
 85 MPH - EXPOSURE B
 SEISMIC ZONE DESIGNATION:
 D1
 COORDINATES:
 97.50914° N - 122.48041° W

OWNER:
 SEAN AND BEN STENGER
 149 COSTA RICA AVENUE
 BURLINGAME, CALIFORNIA 94011
 650.483.8615

BUILDING DESIGNER:
 HIGH POINT DESIGN GROUP, INC.
 346-A WEST JACKSON STREET
 SONORA, CALIFORNIA 95310
 209.591.8610
 Tim.Flinck@gmail.com

PROJECT ENGINEER:
 WEATHERBY-REYNOLDS-FRITSON
 PRINCIPAL IN CHARGE: TERRY WEATHERBY
 206 PEEK STREET
 JACKSON, CALIFORNIA 95642
 209.229.0281
 Terry@wrfed.com

GENERAL CONTRACTOR:
 STENGER CONSTRUCTION

GRADING DATA			
Mark	Cut	Fill	Net cut/fill
N	55.81 CY	28.14 CY	-27.67 CY

1 GRADING PLAN
 1" = 10'-0"



project
 047-071-270

SEAN AND BEN STENGER
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94019

650.483.8615

COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
 THIS DRAWING ENCOMPASSES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

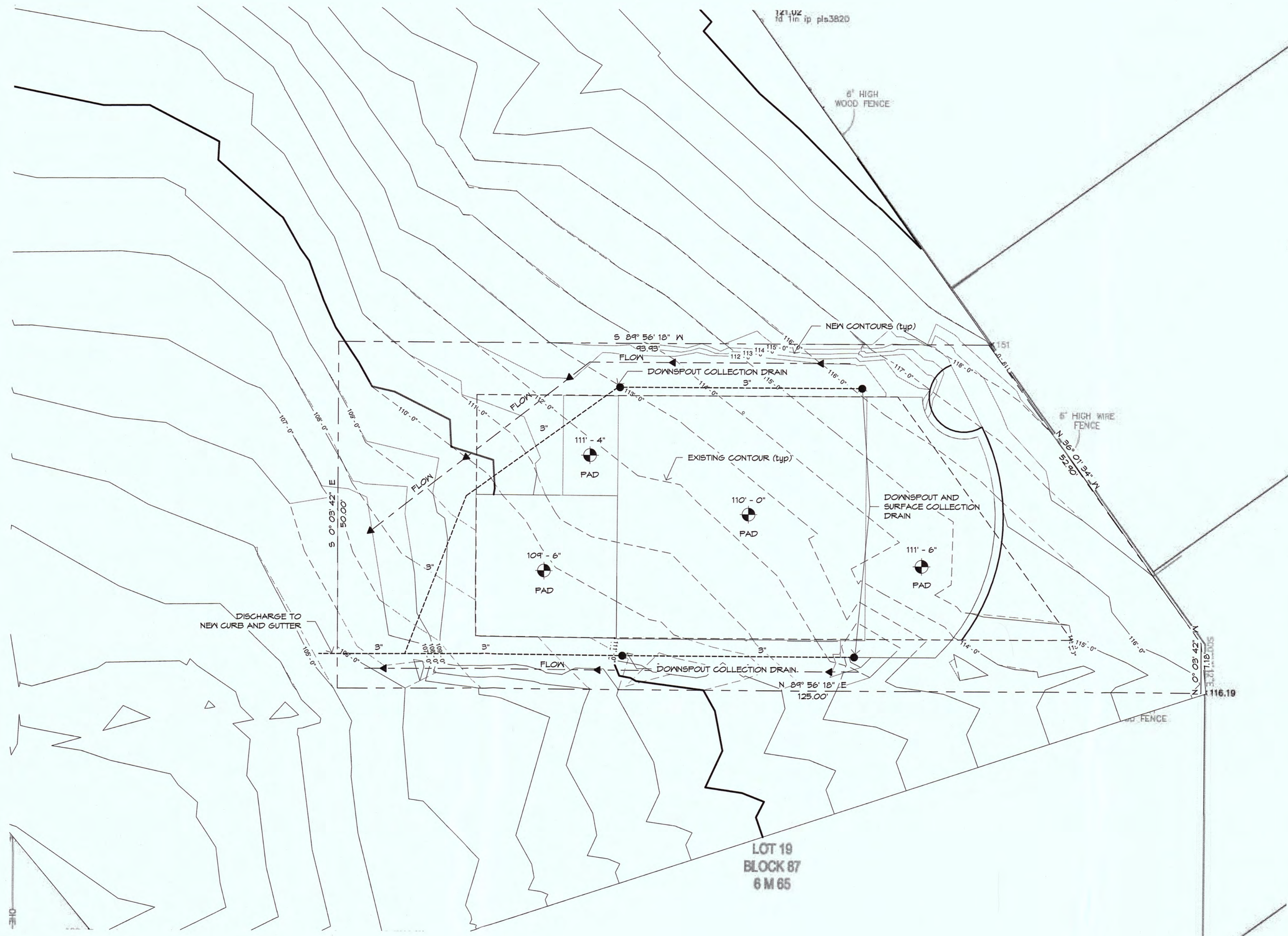
GRADING PLAN

date
 2 MARCH 2016
 release number
 DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A0.3



1 DRAINAGE PLAN
1" = 10'-0"

RAINFALL RUNOFF DATA SAN MATEO COUNTY CALIFORNIA

R.L. SANS, DIRECTOR
PUBLIC WORKS DEPARTMENT

TIME OF CONCENTRATION		RAINFALL INTENSITY PER HOUR	
HRS.	MIN.	10 YR.	100 YR.
0	10	2.45	3.60
0	15	2.25	3.00
0	20	1.73	2.55
0	25	1.50	2.22
0	30	1.33	1.95
0	35	1.20	1.75
0	40	1.10	1.61
0	45	1.02	1.49
0	50	0.95	1.37
0	55	0.90	1.28
1	00	0.86	1.21
1	15	0.75	1.07
1	30	0.67	0.95
1	45	0.61	0.87
2	00	0.56	0.80
2	30	0.49	0.70
3	00	0.44	0.63
3	30	0.40	0.57
4	00	0.37	0.53
4	30	0.34	0.49
5	00	0.32	0.45
6	00	0.29	0.41
7	00	0.26	0.38
8	00	0.24	0.35
9	00	0.23	0.33
10	00	0.21	0.30
12	00	0.19	0.27
24	00	0.13	0.18

RUNOFF COEFFICIENTS	
TYPE OF DEVELOPMENT	COEF.
PARKS AND CEMETERIES	0.30
RESIDENTIAL - ACRES	0.40
RESIDENTIAL - REGULAR	0.50
INDUSTRIAL	0.65
COMMERCIAL	0.75
PAVED AREAS	0.85

RATIONAL FORMULA
Q = C I A F
Q = RUNOFF - CUBIC FEET PER SECOND
C = RUNOFF COEFFICIENT - PERCENT
I = RAINFALL INTENSITY - INCHES PER HOUR
A = DRAINAGE AREA - ACRES
F = INTENSITY FACTOR (FROM MAP)

RUNOFF COEFFICIENT = 0.50



project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

Author
Copyright 2016 - High Point Design Group, Inc.
This drawing embodies designs, ideas, plans, arrangements, and specifications which are proprietary to High Point Design Group, Inc. and which were designed, created, evaluated, and developed for the use solely in connection with the specified project. No transfer of any rights therein is intended or effected by delivery thereof and except upon written permission of High Point Design Group, Inc. this drawing is not to be reproduced or copied in whole or part or used in the fabrication or construction of buildings, structures, or any portions thereof for other than the specified project.

DRAINAGE PLAN

date
2 MARCH 2016

release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/AO.4

2013 GREEN BUILDING CODE
HIGHLIGHTS OF RESIDENTIAL MANDATORY MEASURES
AND POINTS OF EMPHASIS

SECTION 4.106 SITE DEVELOPMENT

4.106.2 Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawful enacted storm water management ordinance.

SECTION 4.303 INDOOR WATER USE

4.303.1 Twenty percent savings. A schedule of plumbing fixtures and fixture fittings that will reduce the overall use of potable water within the building by at least 20 percent shall be provided. The reduction shall be based on the maximum allowable water use per plumbing fixture and fitting as required by the California Building Standards Code. The 20 percent reduction in potable water use shall be demonstrated by one of the following methods:

- Each plumbing fixture and fitting shall meet reduced flow rates specified in Table 4.303.2; or
- A calculation demonstrating a 20 percent reduction in the building "water use" baseline as established in Table 4.303.1 shall be provided. For low-rise residential occupancies, the calculation shall be limited to the following plumbing fixture and fitting types: water closets, urinals, lavatory faucets and showerheads.

TABLE 4.303.1 WATER USE BASELINE

FIXTURE TYPE	FLOW RATE	DURATION DAILY	USES	OCCUPANTS
Showerheads, residential	2.5 gpm @ 80 psi	8 min.		1
Lavatory faucets, residential	2.2 gpm @ 60 psi	25 min.		3
Kitchen faucets	2.2 gpm @ 60 psi	4 min.		1
Replacement aerators	2.2 gpm @ 60 psi			
Gravity tank-type water closets	1.6 gallons/flush	1 flush		1 male/4 female
Flushometer tank water closets	1.6 gallons/flush	1 flush		1 male/4 female
Flushometer valve water closets	1.6 gallons/flush	1 flush		1 male/4 female
Electromechanical hydraulic w/c	1.6 gallons/flush	1 flush		1 male/4 female
Urinals	1.0 gallon/flush	1 flush		2 male

Fixture "Water Use" = Flow rate x Duration x Occupants x Daily uses

- Use Worksheet WS-1 to calculate baseline water use.
- The flow rate is from the CEC Appliance Efficiency Standards, Title 20, California Code of Regulations; where a conflict occurs, the CEC standards shall apply.
- For low-rise residential occupancies, the number of occupants shall be based on two persons for the first bedroom, plus one additional person for each additional bedroom.
- The daily use number shall be increased to three if urinals are not installed in the room.

4.303.2 Multiple showerheads serving one shower.

When single shower fixtures are served by more than one showerhead, the combined flow rate of all the showerheads shall not exceed the maximum flow rates specified in the 20 percent reduction column contained in Table 4.303.2 or the shower shall be designed to only allow one showerhead to be in operation at a time.

Exception: The maximum flow rate for showerheads when using the calculation method specified in Section 4.303.1, item 2, is 2.5 gpm @ 80 psi.

TABLE 4.303.2 FIXTURE FLOW RATES

FIXTURE TYPE	MAXIMUM FLOW RATE	20 percent REDUCTION	FLOW RATE AT
Showerheads	2.5 gpm @ 80 psi		2 gpm @ 80 psi
Lavatory faucets, residential	2.2 gpm @ 60 psi		1.5 gpm @ 60 psi/2
Kitchen faucets	2.2 gpm @ 60 psi		1.0 gpm @ 60 psi
Gravity tank-type water closets	1.6 gallons/flush		1.26 gallons/flush
Flushometer tank water closets	1.6 gallons/flush		1.26 gallons/flush
Flushometer valve water closets	1.6 gallons/flush		1.26 gallons/flush
Electromechanical hydraulic w/c	1.6 gallons/flush		1.26 gallons/flush
Urinals	1.0 gallon/flush		.5 gallon/flush

- Includes single and dual flush water closets with an effective flush of 1.26 gallons or less.

Single flush toilets—The effective flush volume shall not exceed 1.26 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.2.33.2.

Dual flush toilets—The effective flush volume shall not exceed 1.26 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

- Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

SECTION 4.304 OUTDOOR WATER USE

4.304.1 Irrigation controllers.

Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:

- Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
- Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.

Note: More information regarding irrigation controller function and specifications is available from the Irrigation Association.

Division 4.4 - MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.408.1 Construction waste reduction of at least 50 percent.

Recycle and/or salvage for reuse a minimum of 50 percent of the nonhazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent.

Exceptions:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.

4.408.2 Construction waste management plan.

Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency that:

- Identifies the materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specifies if materials will be sorted on-site or mixed for transportation to a diversion facility.
- Identifies the diversion facility where the material collected will be taken.
- Identifies construction methods employed to reduce the amount of waste generated.
- Specifies that the amount of materials diverted shall be calculated by weight or volume, but not by both.

4.408.2.1 Documentation.

Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

4.408.2.2 Isolated jobsites.

The enforcing agency may make exceptions to the requirements of this section when jobsites are located in areas beyond the haul boundaries of the diversion facility.

Notes:

- Sample forms found in Chapter 8 may be used to assist in documenting compliance with the waste management plan.
- Mixed construction and demolition debris (CMD) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

SECTION 4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 Operation and maintenance manual.

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grating around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency or this code.

Division 4.5 - ENVIRONMENTAL QUALITY

SECTION 4.503 FIREPLACES

4.503.1 General.

Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

SECTION 4.504 POLLUTANT CONTROL

4.504.1 Covering of duct openings and protection of mechanical equipment during construction.

At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system.

TABLE 4.504.1 ADHESIVE VOC LIMITS

Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	100
Structural glazing adhesives	250
Single-ply roof membrane adhesives	50
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	50
Contact adhesive	60
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	50
Plastic foams	50
Porous material (except wood)	50
Wood	50
Fiberglass	80

- If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
- For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1160.

4.504.2.4 Verification.

Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
- Field verification of on-site product containers.

4.504.3 Carpet systems.

All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

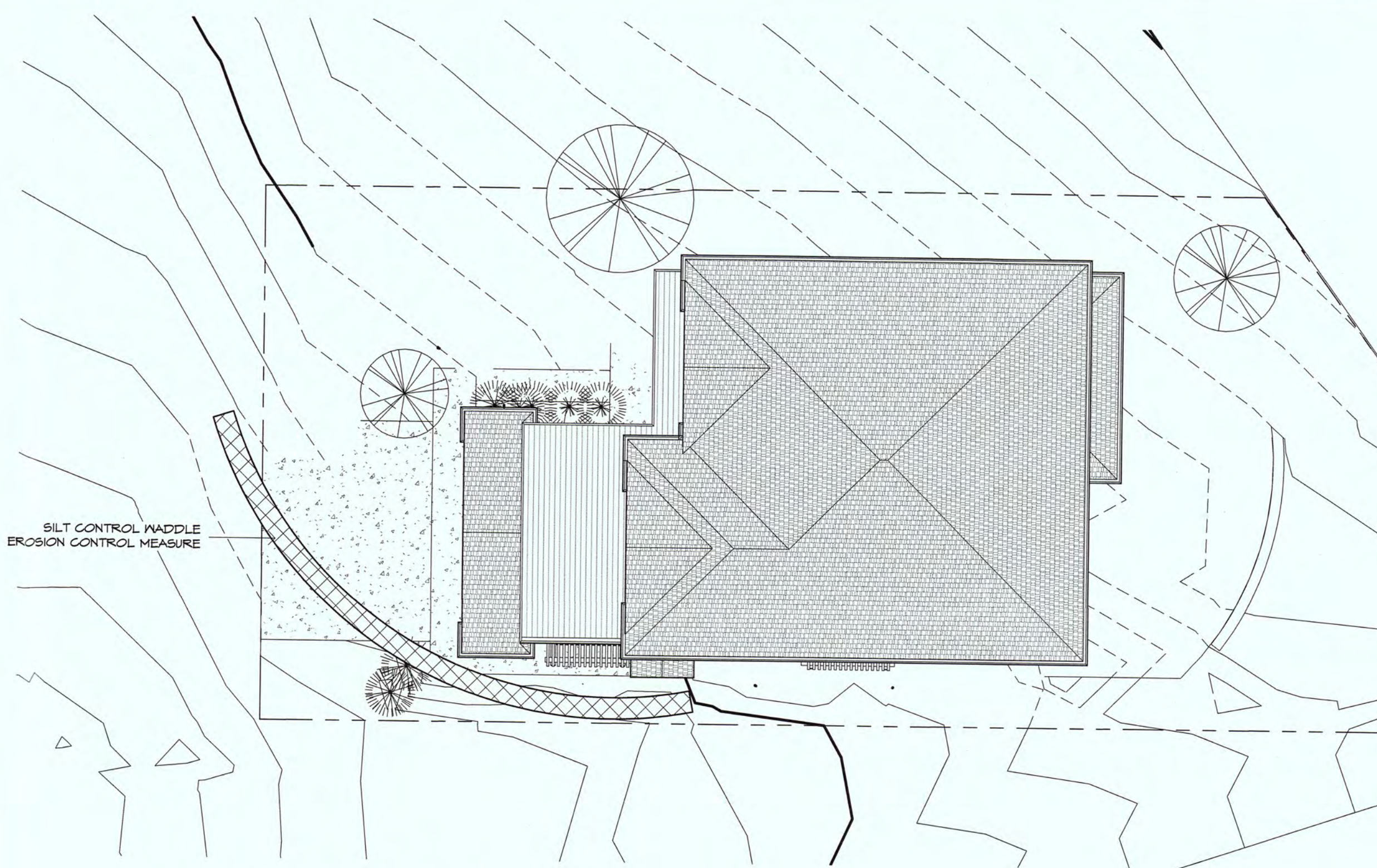
- Carpet and Rug Institute's Green Label Plus Program.
- California Department of Public Health Standard Practice for the testing of VOCs (Specification 01930).
- NSF/ANSI 140 at the Gold level.
- Scientific Certifications Systems Indoor Advantage™ Gold.

TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS

Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	EFFECTIVE 1/1/2010
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ¹	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	420
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	400
Shellac	400
Clear	150
CPaque	550
Specialty primers, sealers and undercoaters	350
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

- Grams of VOC per liter of coating, including water and including exempt compounds.
- The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
- Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.



2 GREEN BUILD - BMPs
1" = 10'-0"

CALIFORNIA GREEN BUILDING STANDARDS CODE - MATRIX ADOPTION TABLE

WORKSHEET (WS-1)

ALL CALCULATIONS ARE BASED ON RESIDENTIAL APPLICATION WITH NO URINALS INSTALLED

BASELINE WATER USE

FIXTURE TYPE	FLOW RATE (gpm)	DURATION	DAILY USES	OCCUPANTS	GALLONS PER DAY
Showerheads residential	2.5	x 8 min.	x 1	x 3	= 60 gpd
Lavatory faucets residential	2.2	x 25 min.	x 3	x 3	= 415 gpd
Kitchen faucets	2.2	x 4 min.	x 1	x 3	= 26.4 gpd
Replacement aerators	2.2	x 0	x 1	x 3	= 0.0 gpd
Wash fountains	2.2	x 0	x 1	x 3	= 0.0 gpd
Gravity tank typewriter closets	1.6	x 1 flush	x 3 male	x 3	= 20.8 gpd
			x 3 female	x 3	= 20.8 gpd

Proposed water use = 120.15 (BNV From WS-1) x .80 = 96.12 Allowable water use

- The daily use number shall be increased to three if urinals are not installed in the room.
- The flow rate is from the CEC Appliance Efficiency Standards, Title 20 California Code of Regulations; where a conflict occurs, the CEC standards shall apply.
- For low-rise residential occupancies, the number of occupants shall be based on two persons for the first bedroom, plus one additional person for each additional bedroom.
- For nonresidential occupancies, refer to Table A, Chapter 4, 2010 California Plumbing Code, for occupant load factors.

WORKSHEET (WS-2)

ALL CALCULATIONS ARE BASED ON RESIDENTIAL APPLICATION WITH NO URINALS INSTALLED

20 PERCENT REDUCTION WATER USE

20 PERCENT REDUCTION WATER USE CALCULATION TABLE

FIXTURE TYPE	FLOW RATE (gpm)	DURATION	DAILY USES	OCCUPANTS	GALLONS PER DAY
Showerheads residential		x 8 min.	x 1	x	=
Lavatory faucets residential		x 25 min.	x 3	x	=
Kitchen faucets		x 4 min.	x 1	x	=
Replacement aerators		x	x	x	=
Wash fountains		x	x	x	=
Gravity tank typewriter closets		x 1 flush	x 3 male	x	=
			x 3 female	x	=
HETS High-efficiency toilet	1.26	x 1 flush	x 3 male	x	=
			x 3 female	x	=

Proposed water use = (BNV From WS-1) x .80 = Allowable water use

- The daily use number shall be increased to three if urinals are not installed in the room.
 - The flow rate is from the CEC Appliance Efficiency Standards, Title 20 California Code of Regulations; where a conflict occurs, the CEC standards shall apply.
 - For low-rise residential occupancies, the number of occupants shall be based on two persons for the first bedroom, plus one additional person for each additional bedroom.
 - For nonresidential occupancies, refer to Table A, Chapter 4, 2010 California Plumbing Code, for occupant load factors.
 - Includes single and dual flush water closets with an effective flush of 1.26 gallons or less.
- Single flush toilets - The effective flush volume shall not exceed 1.26 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.2.33.2.
- Dual flush toilets - The effective flush volume shall not exceed 1.26 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

IF LOW FLOW FIXTURES AS SPECIFIED IN TABLE 403.03.1 ARE NOT USED THROUGHOUT USE THIS WORKSHEET TO SHOW 20% REDUCTION IN WATER USAGE



project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615

COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.

THIS DRAWING EMBODIES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE CONCEPTUALLY CREATED, DEVELOPED AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY, THEREOF, AND EXCEPT FROM WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name

GREEN BUILD
CODE

date
2 MARCH 2016
release number

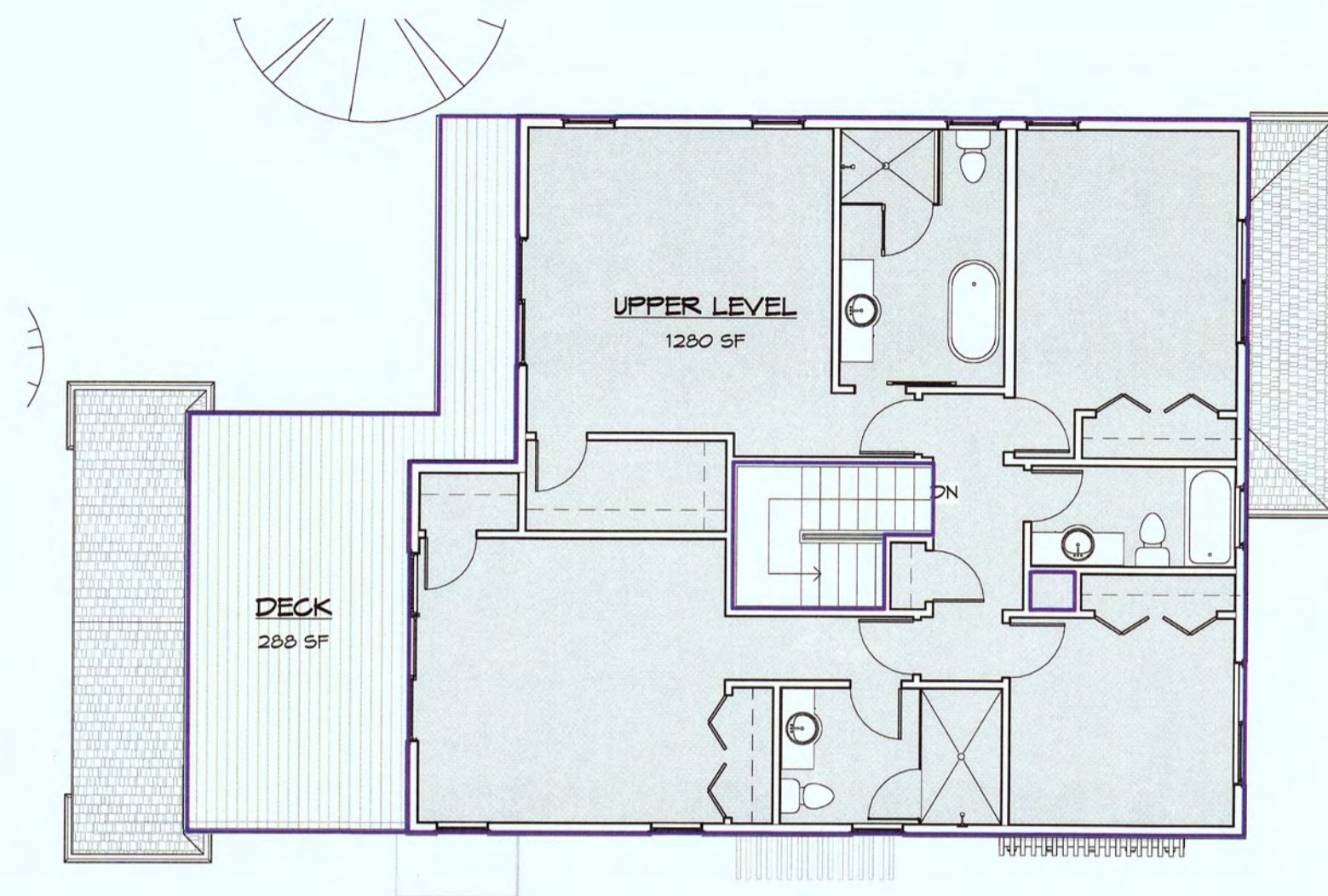
DESIGN DEVELOPMENT

rev date description

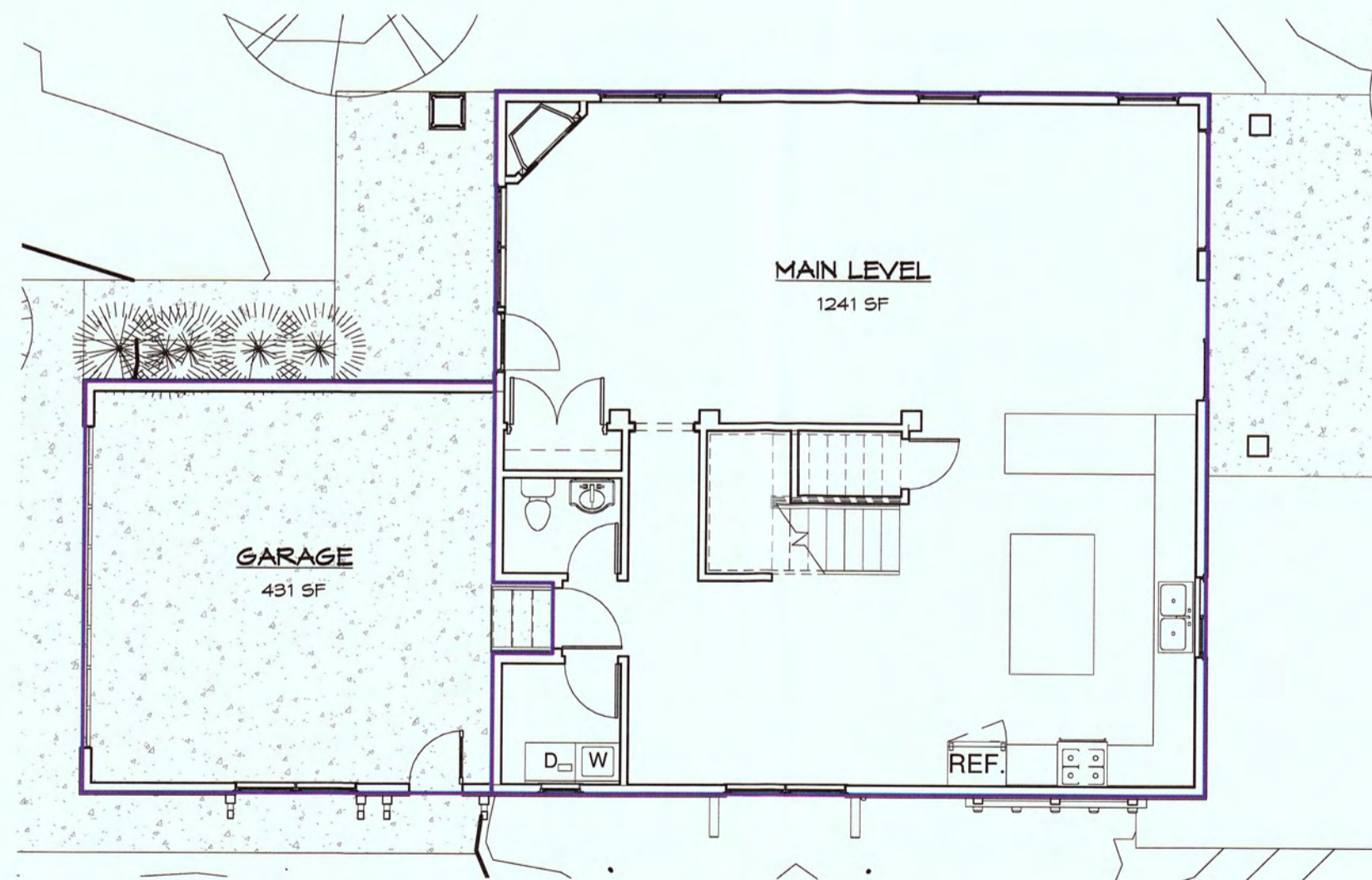
sheet name

DR/A1.1

3/17/2016 8:05:30 AM



2 UPPER LEVEL AREA PLAN
1/8" = 1'-0"



1 MAIN LEVEL AREA PLAN
1/8" = 1'-0"

WINDOW SCHEDULES												
MARK	MFG	TYPE	SIZE	WIDTH	HEIGHT	HEAD HEIGHT	SILL HEIGHT	RO - WIDTH	RO - HEIGHT	SHGC	WALL THICKNESS	COMMENTS
16	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3040	3'-0"	4'-0"	4'-0"	8"	3'-0 1/2"	4'-0 1/2"		6 1/8"	
31	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3050	3'-0"	5'-0"	8'-0"	3'-0"	3'-0 1/2"	5'-0 1/2"		6 1/8"	
32	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3050	3'-0"	5'-0"	8'-0"	3'-0"	3'-0 1/2"	5'-0 1/2"		6 1/8"	
35	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3066	3'-0"	6'-0"	8'-0"	1'-6"	3'-0 1/2"	6'-6 1/2"		6 1/8"	
36	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3066	3'-0"	6'-0"	8'-0"	1'-6"	3'-0 1/2"	6'-6 1/2"		6 1/8"	
37	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3066	3'-0"	6'-0"	8'-0"	1'-6"	3'-0 1/2"	6'-6 1/2"		6 1/8"	
38	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3066	3'-0"	6'-0"	8'-0"	1'-6"	3'-0 1/2"	6'-6 1/2"		6 1/8"	
40	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"		6 1/8"	
41	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"		6 1/8"	
42	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"		6 1/8"	
48	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"		6 1/8"	
56	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"		6 1/8"	
57	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"		6 1/8"	
58		FIXED	6060	6'-0"	6'-0"	6'-0"	8"					
54	Andersen Corporation	100 SERIES - SLIDING	4036	4'-0"	3'-6"	6'-0"	3'-2"	4'-0 1/2"	3'-6 1/2"	0.78		6 1/8"
60	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"			6 1/8"
61	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	2640	2'-6"	4'-0"	6'-10 5/8"	2'-10 5/8"	2'-6 1/2"	4'-0 1/2"			6 1/8"
62	Andersen Corporation	100 SERIES - SLIDING	6040	6'-0"	4'-0"	6'-0"	2'-0"	6'-0 1/2"	4'-0 1/2"			6 1/8"
63	Andersen Corporation	100 SERIES - SLIDING	6040	6'-0"	4'-0"	6'-0"	2'-0"	6'-0 1/2"	4'-0 1/2"			6 1/8"
64	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3066	3'-0"	6'-0"	8'-0"	1'-6"	3'-0 1/2"	6'-6 1/2"			6 1/8"
65	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3066	3'-0"	6'-0"	8'-0"	1'-6"	3'-0 1/2"	6'-6 1/2"			6 1/8"
66	Andersen Corporation	Window-Single_Hung-Andersen-100_Series	3040	3'-0"	4'-0"	4'-0"	8"	3'-0 1/2"	4'-0 1/2"			6 1/8"
67		ARCHTOP	6020	6'-0"	2'-0"	6'-10 1/4"	6'-10 1/4"			0.78		6 1/8"
68	Andersen Corporation	Window-Awning-Andersen-100_Series	3020	3'-0"	2'-0"	6'-0"	4'-0"	3'-0 1/2"	2'-0 1/2"			6 1/8"

DOOR SCHEDULE											
MARK	Manufacturer	TYPE	SIZE	WIDTH	HEIGHT	RO - WIDTH	RO - HEIGHT	WALL THICKNESS	SHGC	COMMENTS	
22		SINGLE - 6 PANEL	2660	2'-0"	6'-0"						0
26		DOUBLE GARAGE DOOR	16070	16'-0"	7'-0"						0
28		SINGLE GLASS	2860 1/2 GLASS	2'-0"	6'-0"						0
30		SINGLE - 6 PANEL	3060	3'-0"	6'-0"						0
34	Andersen Corporation	A SERIES SINGLE GLASS - INSWING	3080	3'-0"	6'-0"	3'-0 3/4"	6'-0 1/2"	6 1/8"			0
45	Andersen Corporation	Door-Sliding-Andersen-100_Series-Double	6060	6'-2 1/2"	6'-0"	6'-3 1/4"	6'-0 1/2"	6 1/8"			0
46		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
44	Andersen Corporation	Door-Sliding-Andersen-100_Series-Double	6060	6'-2 1/2"	6'-0"	6'-3 1/4"	6'-0 1/2"	6 1/8"			0
50		SLIDING GLASS	6060	6'-0"	6'-0"						0
52		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
55		Door-Exterior-Double-Two_Lite	4860	4'-0"	6'-0"	5'-0"	7'-0"				0
56		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
57		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
58		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
54		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
60		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
62		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
63		DOUBLE BIFOLDING PANEL	6060	6'-0"	6'-0"						0
64		DOUBLE BIFOLDING PANEL	6060	6'-0"	6'-0"						0
65		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
67		BARN DOOR	2660	2'-6"	6'-0"						0
68		SINGLE - 6 PANEL	2660	2'-6"	6'-0"						0
69		GLASS SHOWER DOOR	2660	2'-6"	6'-0"						0
70		DOUBLE BIFOLDING PANEL	6060	6'-0"	6'-0"						0
72	Andersen Corporation	Door-Sliding-Andersen-100_Series-Sidelight	3066	3'-0"	6'-6 5/8"	3'-0 3/4"	6'-1 1/8"	6 1/8"			0
75		SINGLE GLASS	2660	2'-6"	6'-0"						0

W WINDOW AND DOOR NOTE
1/4" = 1'-0"

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS SHALL BE INSULATED GLASS UNITS (IGUs) WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.



project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615

THIS DRAWING EMBODIES DESIGN IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, EVOLVED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS HERETO IS INTENDED OR EFFECTED BY DELIVERY THEREOF AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name

SCHEDULES & AREA PLANS

date
2 MARCH 2016

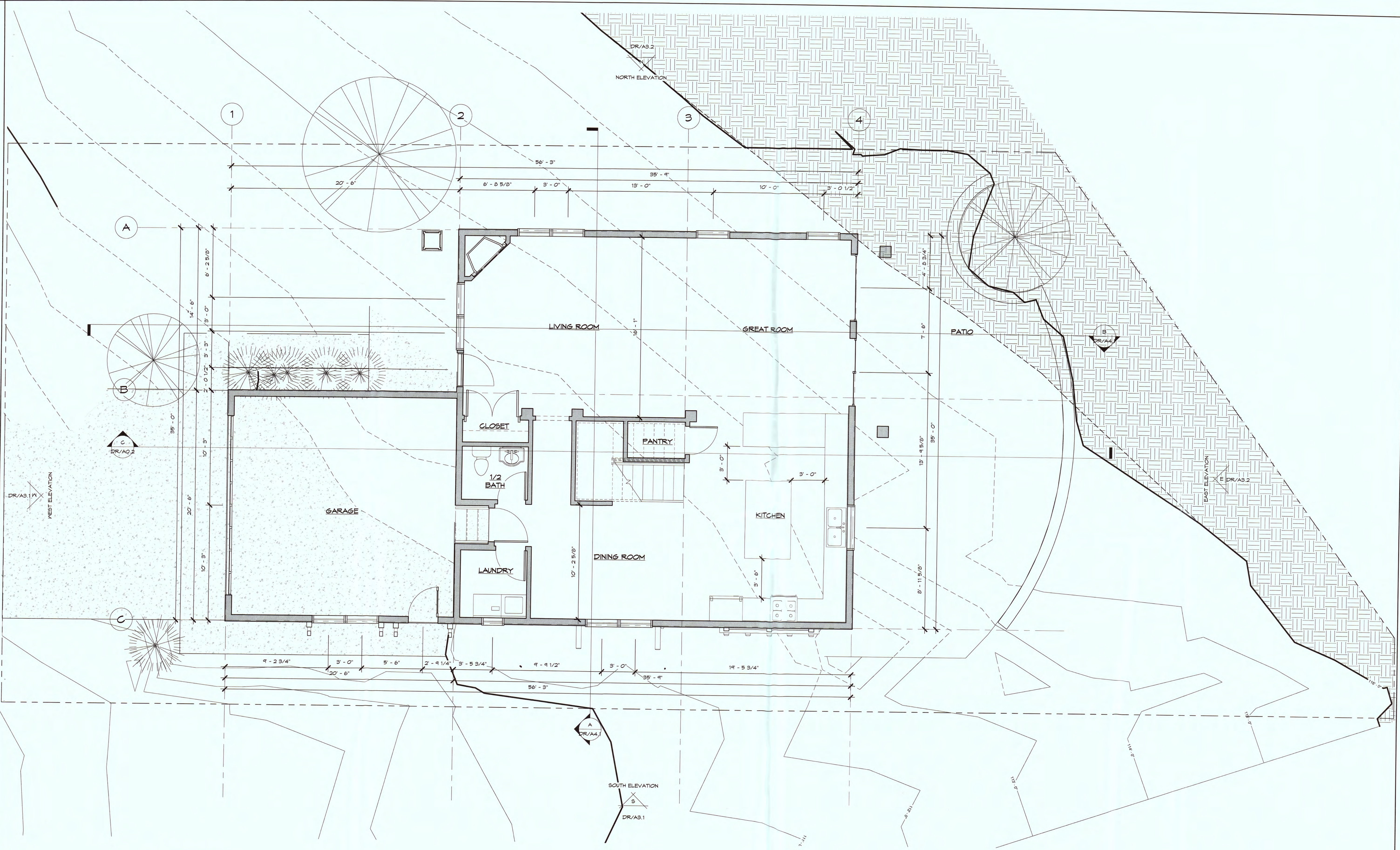
release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A1.3

3/2/2016 2:22:16 PM



1 MAIN LEVEL
1/4" = 1'-0"

High Point Design Group
 346-A WEST JACKSON STREET
 SONORA, CALIFORNIA
 95370
 209.591.0610
 engineer of record

project
 047-071-270

SEAN AND BEN STENGER
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94019

650.483.8615
 COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.

THIS DRAWING ENCLOSES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF, AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name
 MAIN LEVEL FLOOR PLAN

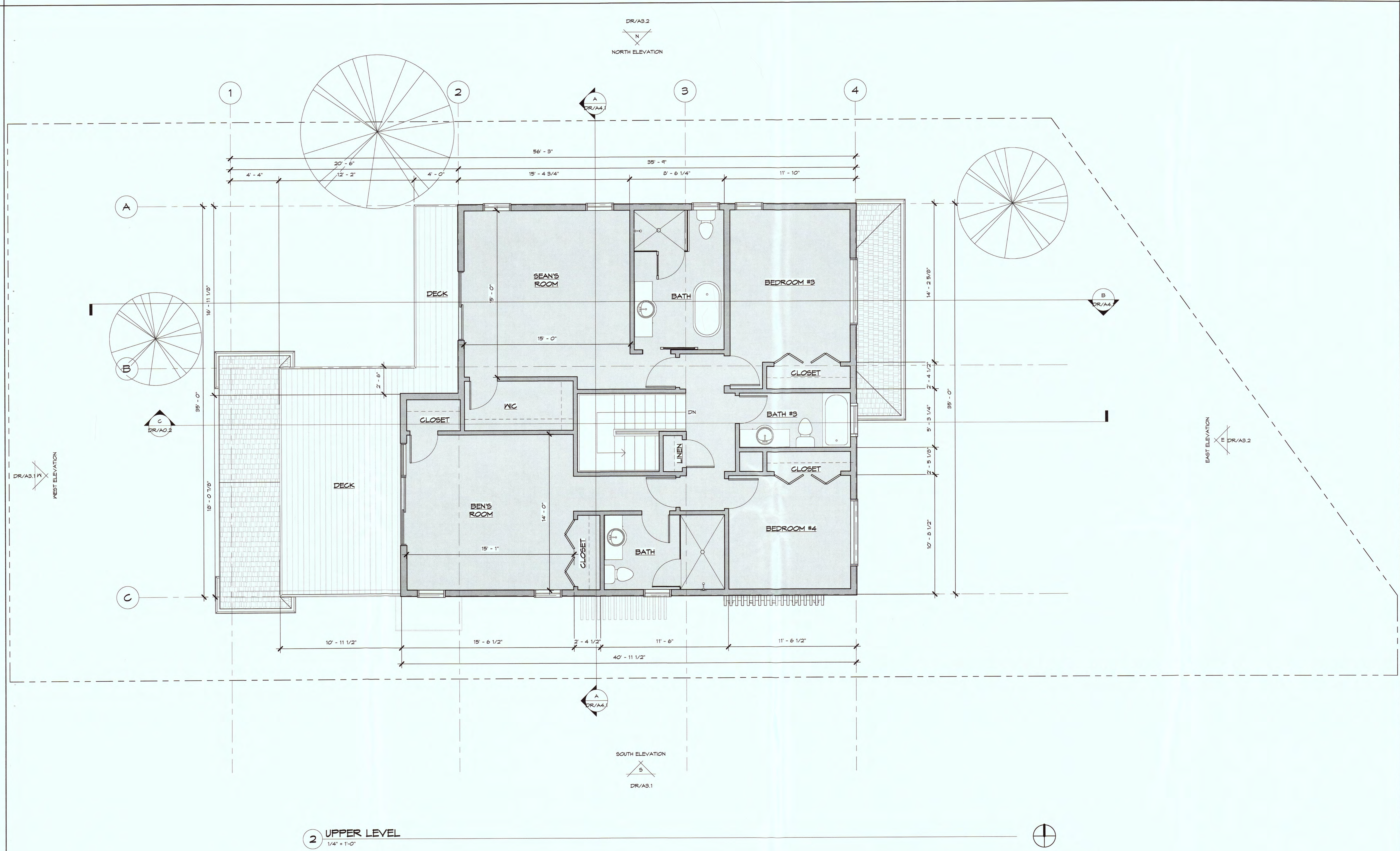
date
 2 MARCH 2016
 release number
 DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A2.1

3/2/2016 2:22:19 PM



2 UPPER LEVEL
1/4" = 1'-0"

HPDG
High Point Design Group
346-A WEST JACKSON STREET
SONOMA, CALIFORNIA 95970
209.541.8610
engineer of record

project
047-071-270

NEW HOME FOR:
SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615
COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
THIS DRAWING EMBODIES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF AND EXCEPT FOR WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

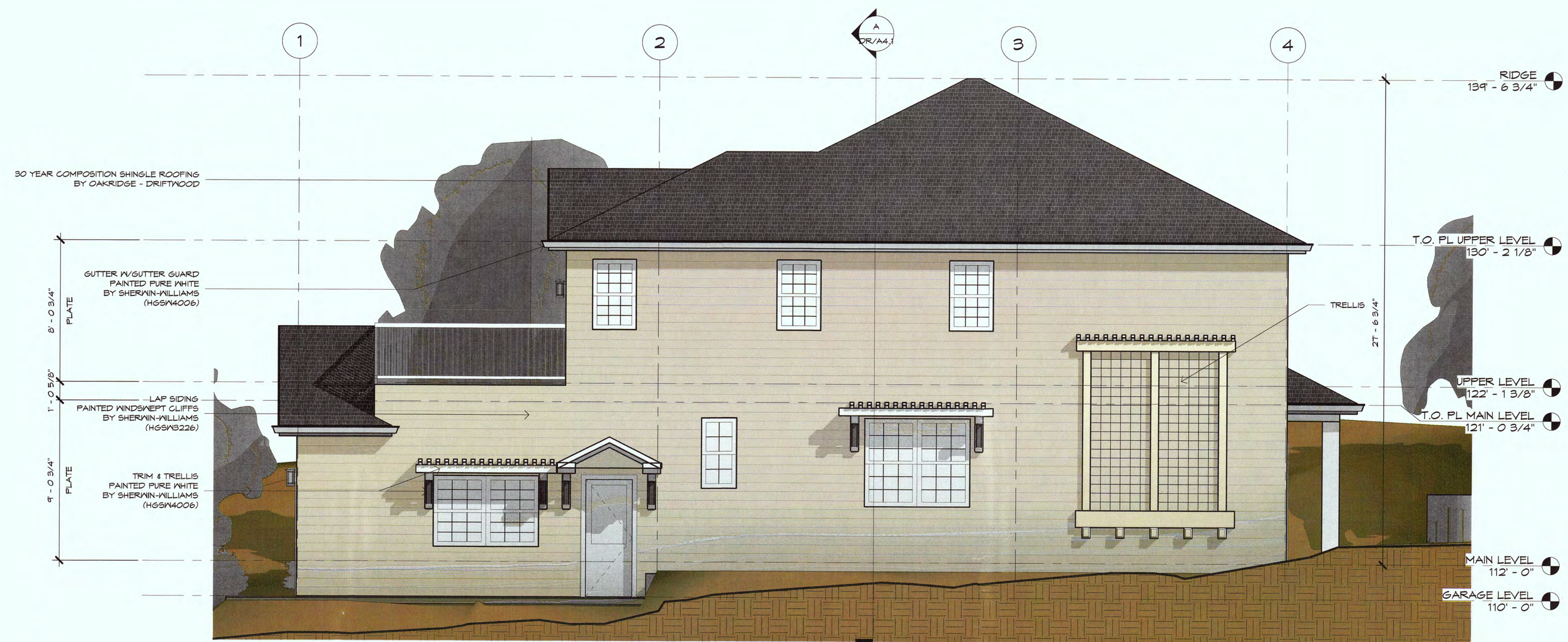
sheet name
UPPER LEVEL
FLOOR PLAN

date
2 MARCH 2016
release number
DESIGN DEVELOPMENT

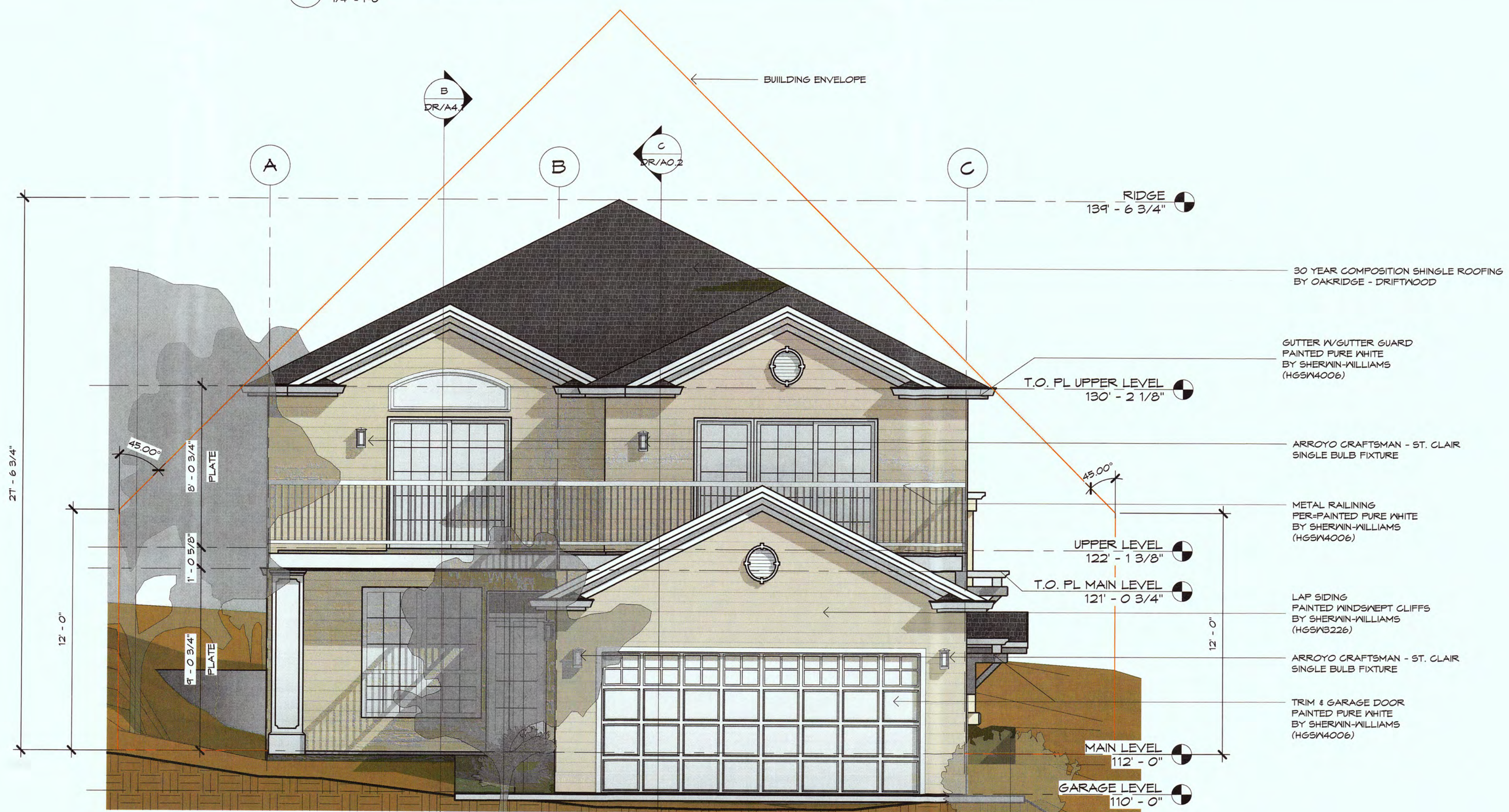
rev	date	description

sheet name

DR/A2.2

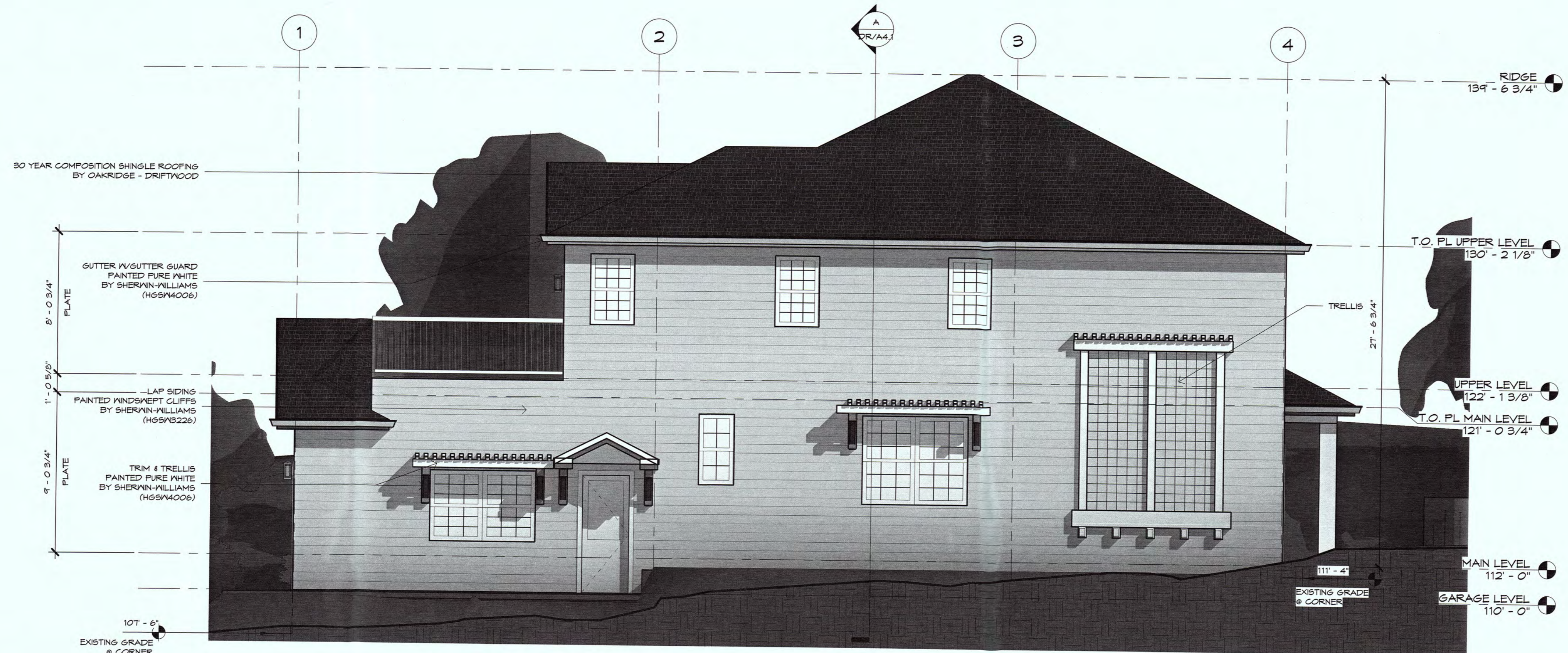


S SOUTH ELEVATION
1/4" = 1'-0"

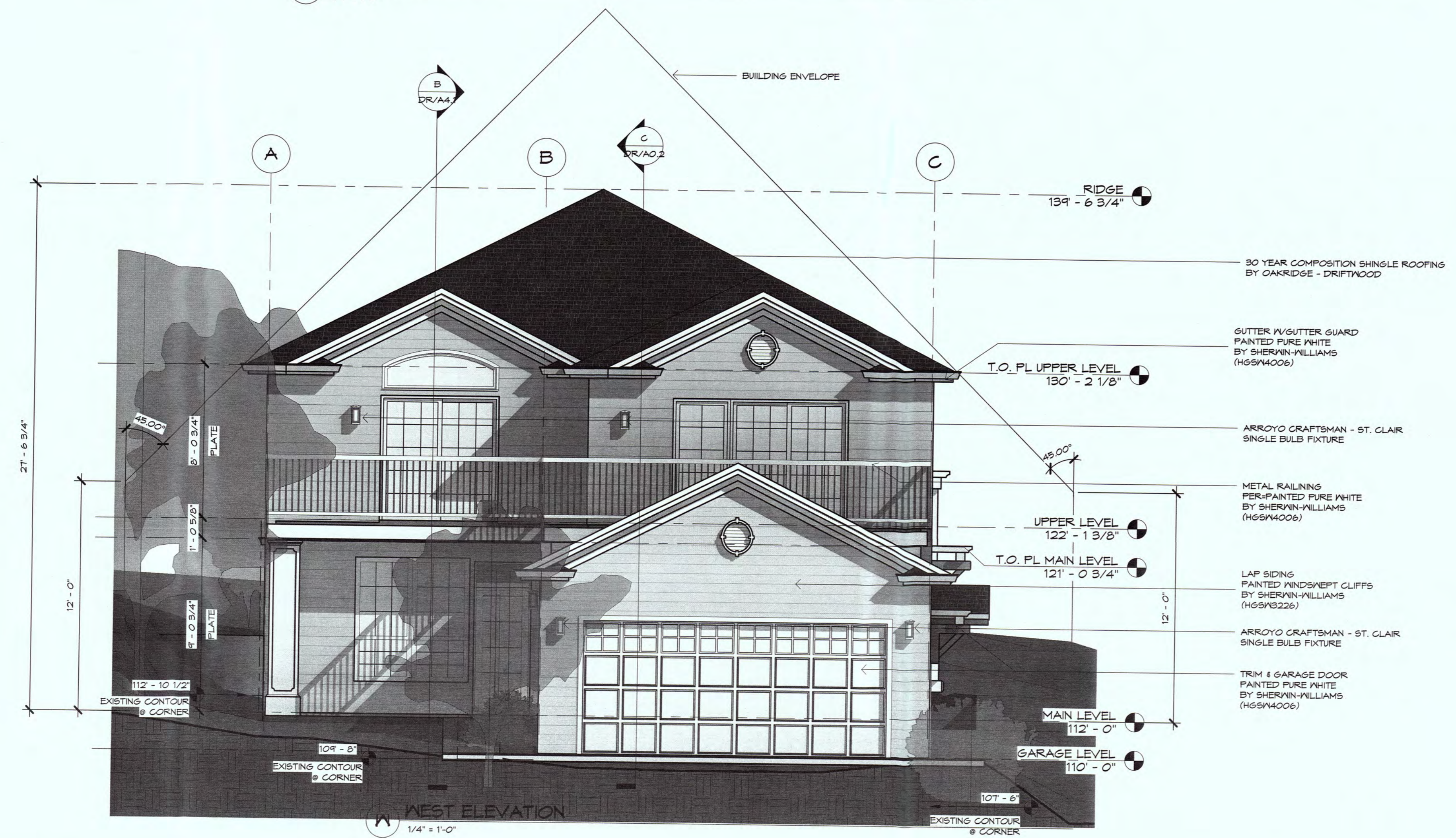


W WEST ELEVATION
1/4" = 1'-0"

rev	date	description



S SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

HPDG
High Point Design Group
346-A WEST JACKSON STREET
SONORA, CALIFORNIA 95170
209.591.8610
engineer of record

project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

NEW HOME FOR:

650.483.8615
COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
THIS DRAWING SHOWS DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE FORWARDED, CREATED, REVISED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS HERETO IS INTENDED OR EFFECTED BY DELIVERY THEREOF, AND EXCEPT FOR WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

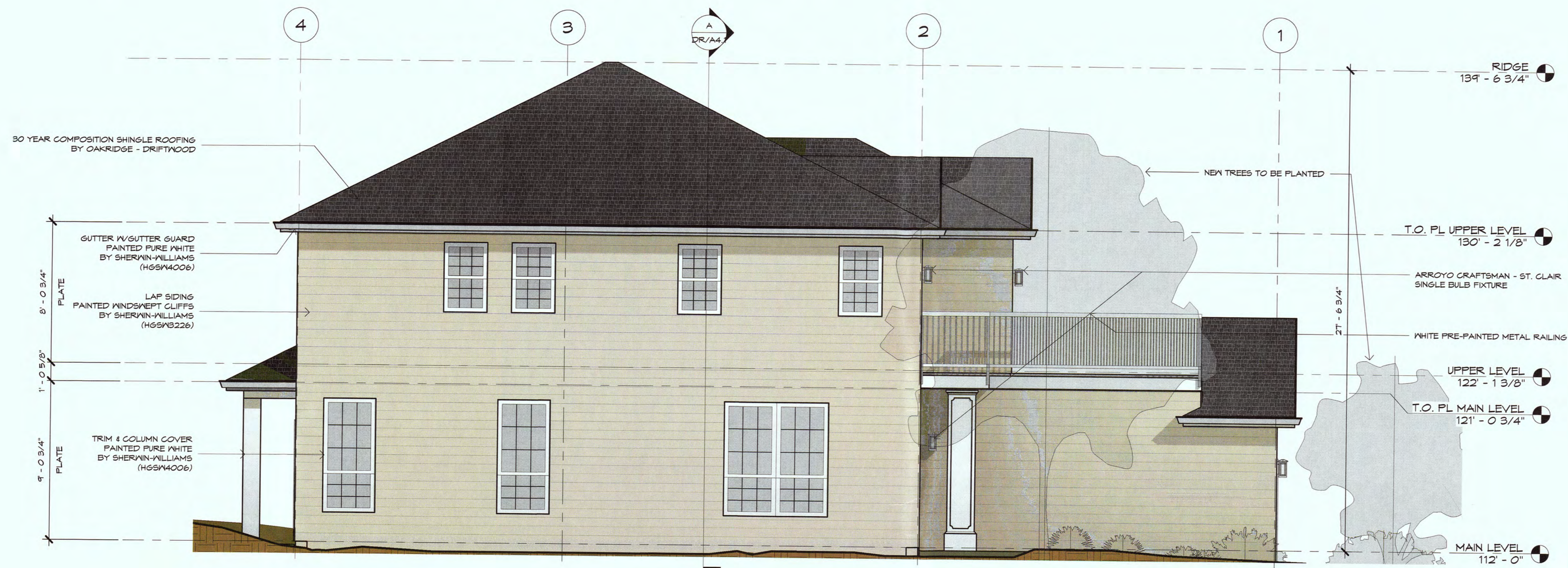
EXTERIOR ELEVATIONS

date
2 MARCH 2016
release number
DESIGN DEVELOPMENT

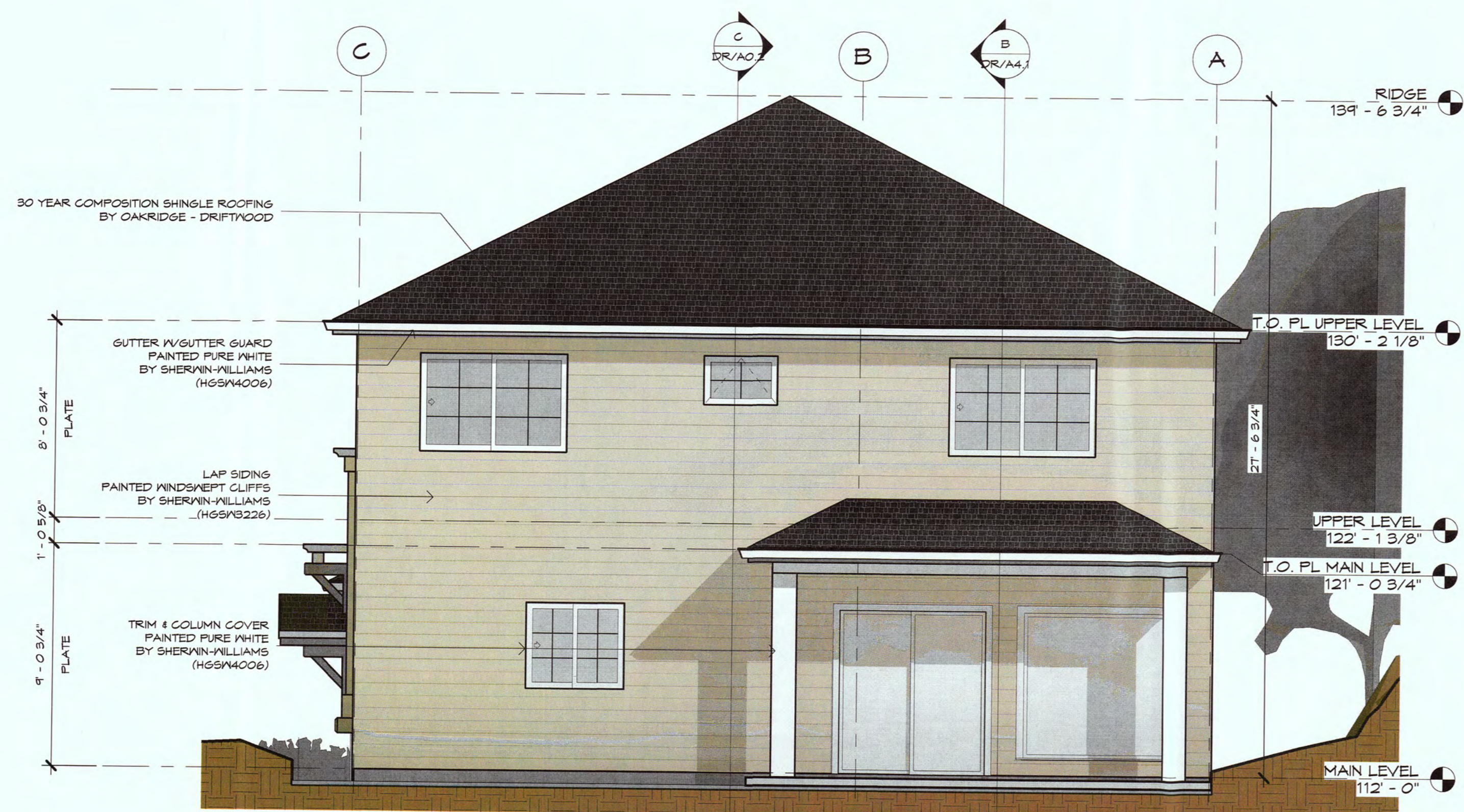
rev	date	description

sheet name

DR/A3.1



N NORTH ELEVATION
1/4" = 1'-0"



E EAST ELEVATION
1/4" = 1'-0"



High Point Design Group

346-A WEST JACKSON STREET
SONORA, CALIFORNIA
95370
204.541.8610

engineer of record

project

041-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

NEW HOME FOR:

650.483.8615

COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
THE DRAWING ENCOMPASSES DESIGN, DESIGN PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND REVISED FOR THE USE OF THE CLIENT IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF, AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name

EXTERIOR
ELEVATIONS

date
2 MARCH 2016

release number
DESIGN DEVELOPMENT

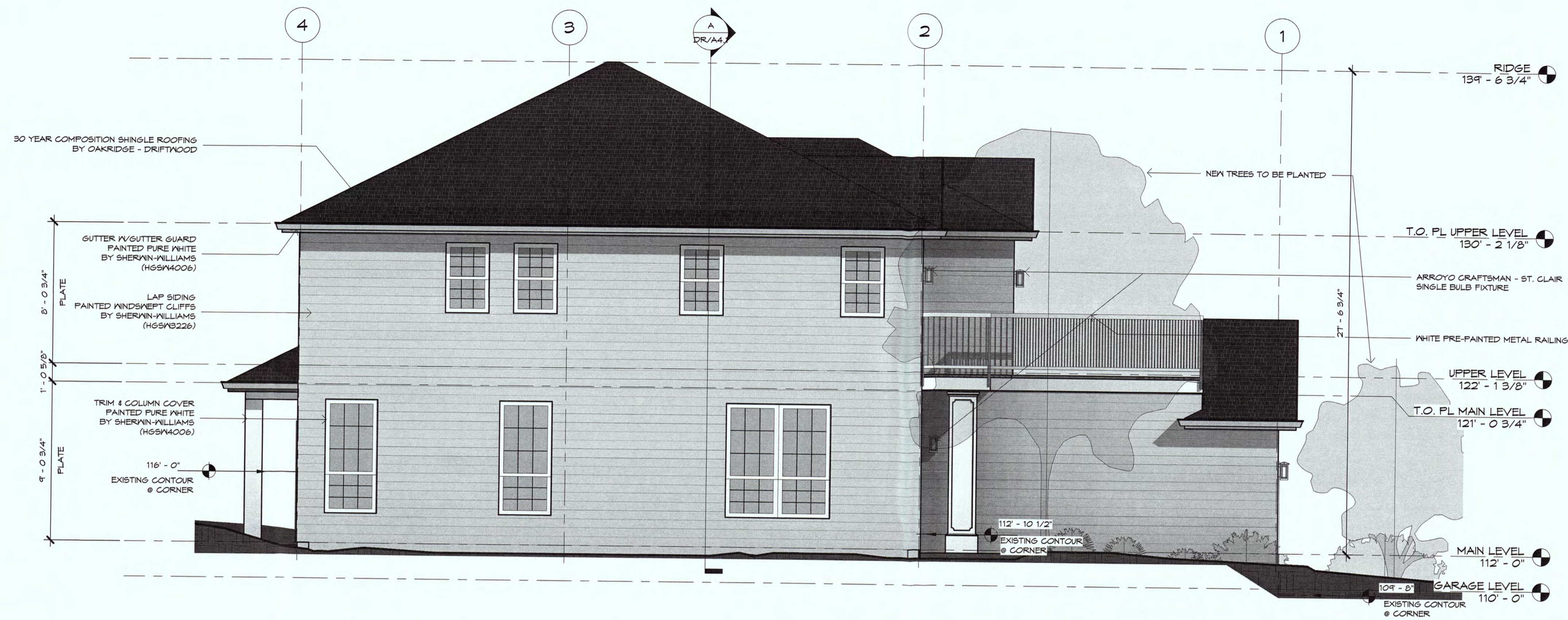
rev date description

rev	date	description

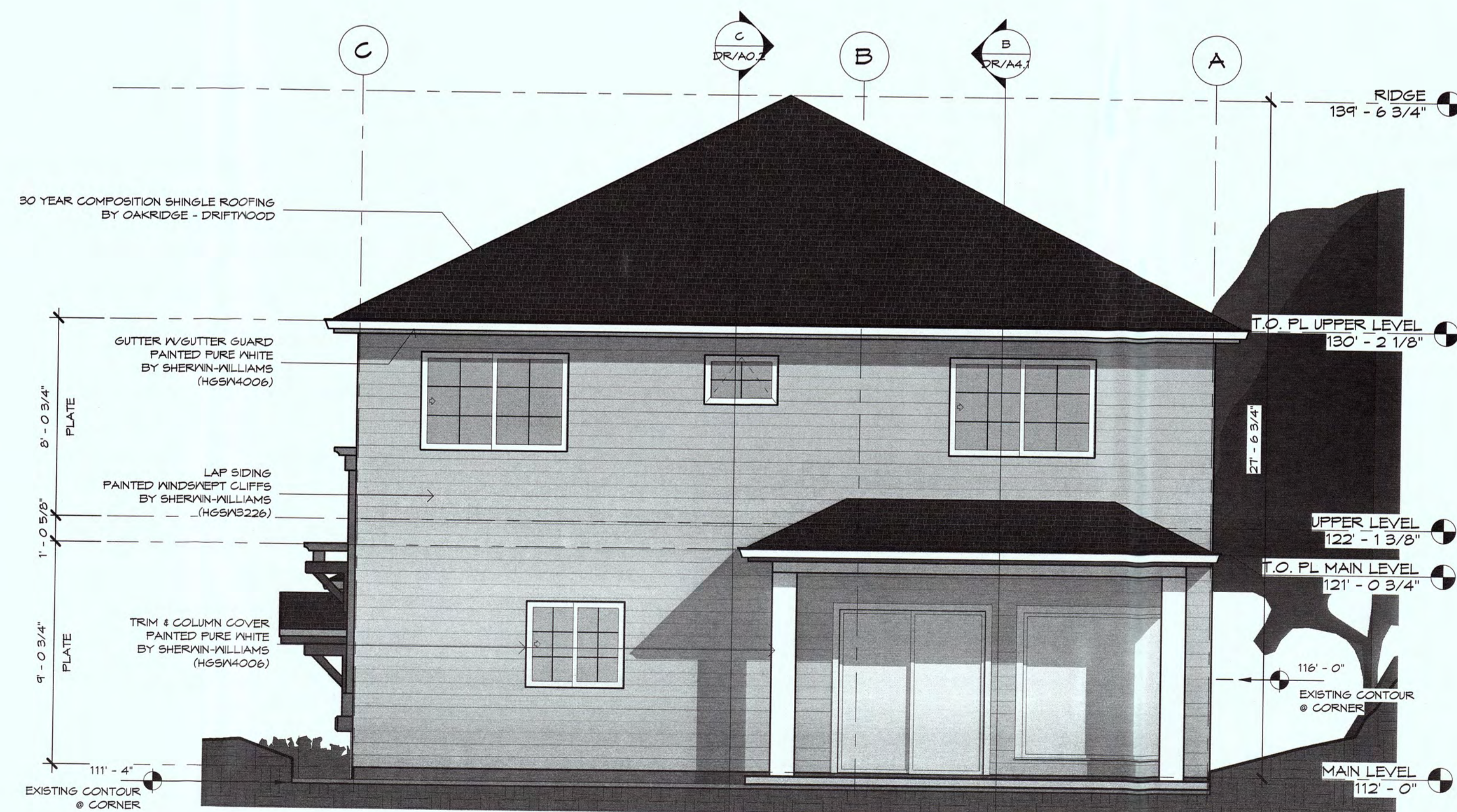
sheet name

DR/A3.2

3/2/2016 2:22:40 PM



N NORTH ELEVATION
1/4" = 1'-0"



E EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATIONS

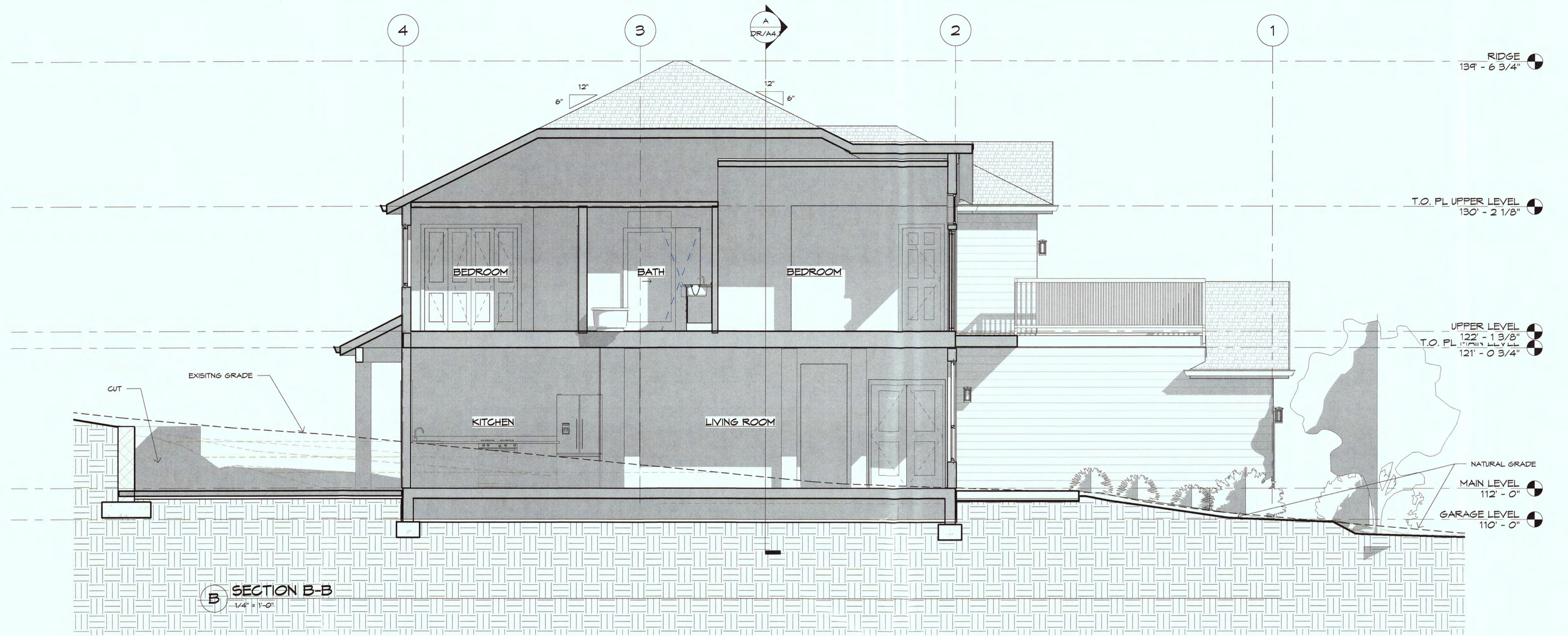
date
2 MARCH 2016

release number
DESIGN DEVELOPMENT

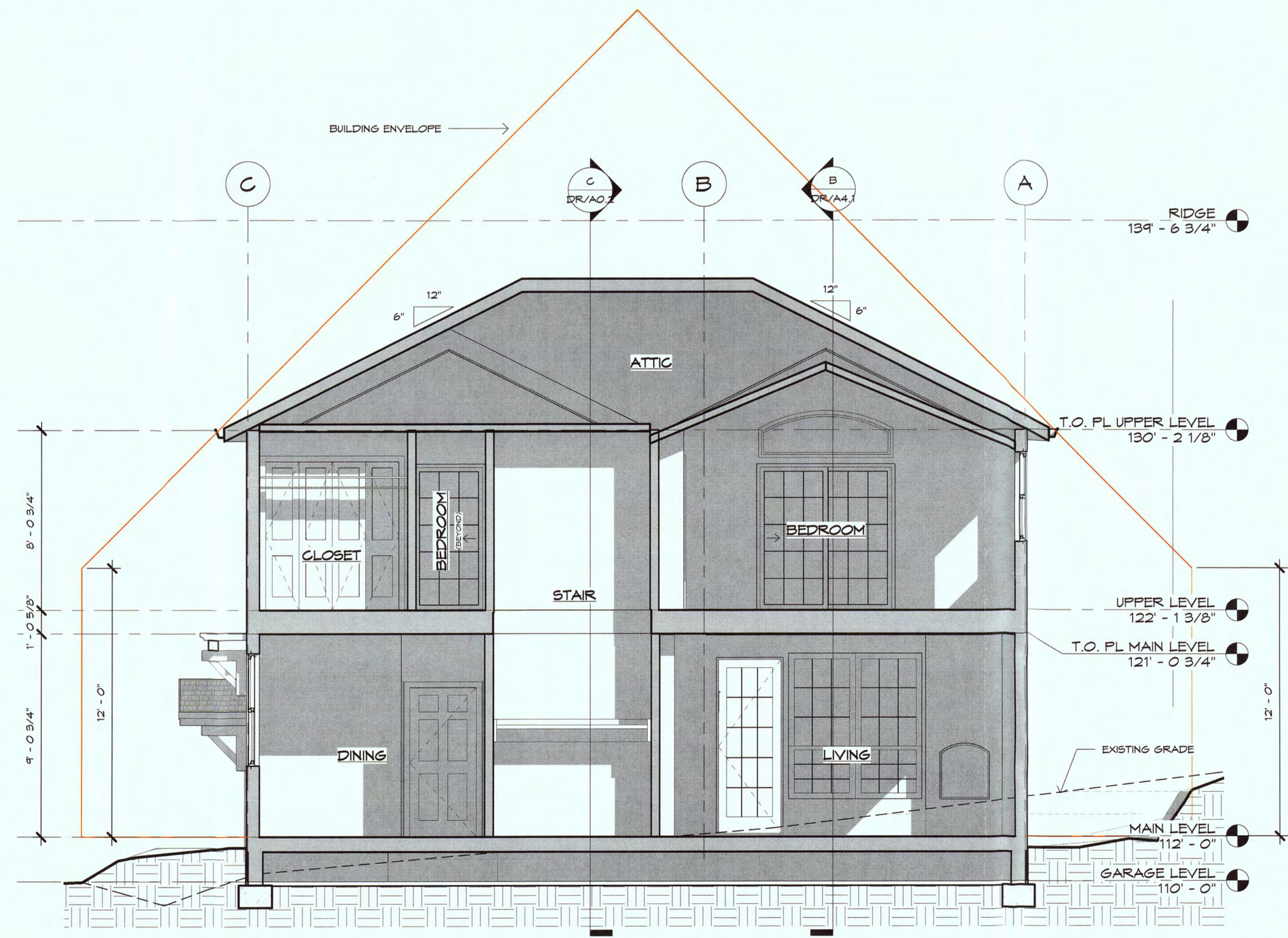
rev	date	description

sheet name

DR/A3.2



B SECTION B-B
1/4" = 1'-0"



A SECTION A-A
1/4" = 1'-0"

HPDG
High Point Design Group
346-A WEST JACKSON STREET
SONOMA, CALIFORNIA
95910
209.591.8610
engineer of record

project
047-071-270

NEW HOME FOR:
SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615
COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
THIS DRAWING EMBODIES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS HERETO IS INTENDED OR EFFECTED BY DELIVERY THEREOF, AND EXCEPT BY WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

BUILDING SECTIONS

date
2 MARCH 2016
release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A4.1



346-A WEST JACKSON STREET
SONORA, CALIFORNIA 95310
209.591.8610
engineer of record

project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615
COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.

THIS DRAWING ENCOMPASSES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, EVOLVED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR IMPLICATED BY DELIVERY THEREOF, AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

ROOF PLAN

date
2 MARCH 2016

release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A6.1

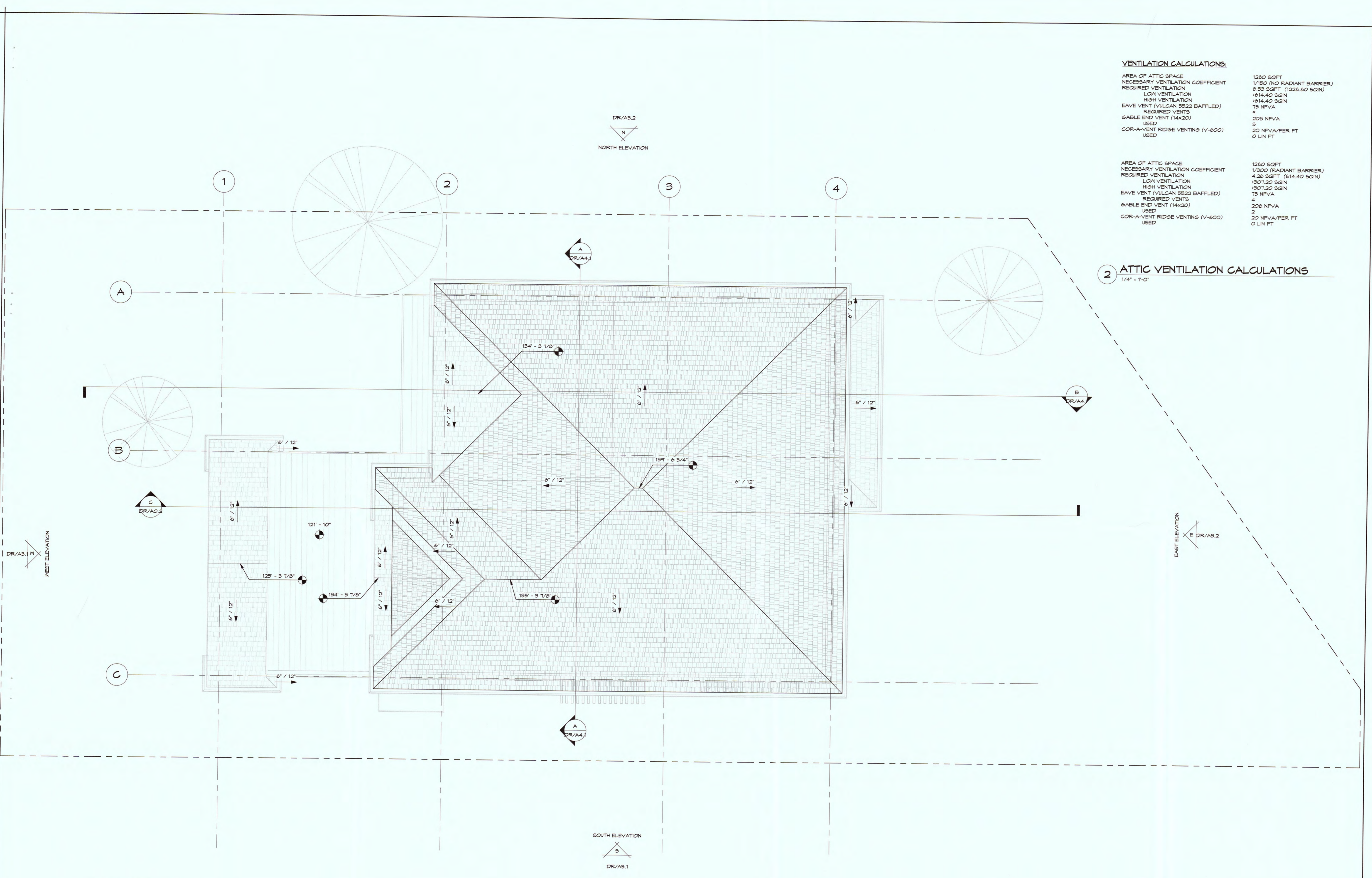
3/2/2016 2:22:44 PM

VENTILATION CALCULATIONS:

AREA OF ATTIC SPACE	1280 SQFT
NECESSARY VENTILATION COEFFICIENT	1/150 (NO RADIANT BARRIER)
REQUIRED VENTILATION	8.53 SQFT (1228.80 SQIN)
LOW VENTILATION	>614.40 SQIN
HIGH VENTILATION	>614.40 SQIN
EAVE VENT (VULCAN 5522 BAFFLED)	75 NFVA
REQUIRED VENTS	4
GABLE END VENT (14X20)	208 NFVA
USED	3
COR-A-VENT RIDGE VENTINGS (V-600)	20 NFVA/PER FT
USED	0 LIN FT

AREA OF ATTIC SPACE	1280 SQFT
NECESSARY VENTILATION COEFFICIENT	1/300 (RADIANT BARRIER)
REQUIRED VENTILATION	4.26 SQFT (614.40 SQIN)
LOW VENTILATION	>307.20 SQIN
HIGH VENTILATION	>307.20 SQIN
EAVE VENT (VULCAN 5522 BAFFLED)	75 NFVA
REQUIRED VENTS	4
GABLE END VENT (14X20)	208 NFVA
USED	2
COR-A-VENT RIDGE VENTINGS (V-600)	20 NFVA/PER FT
USED	0 LIN FT

2 ATTIC VENTILATION CALCULATIONS
1/4" = 1'-0"



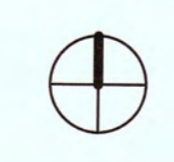
1 RIDGE
1/4" = 1'-0"

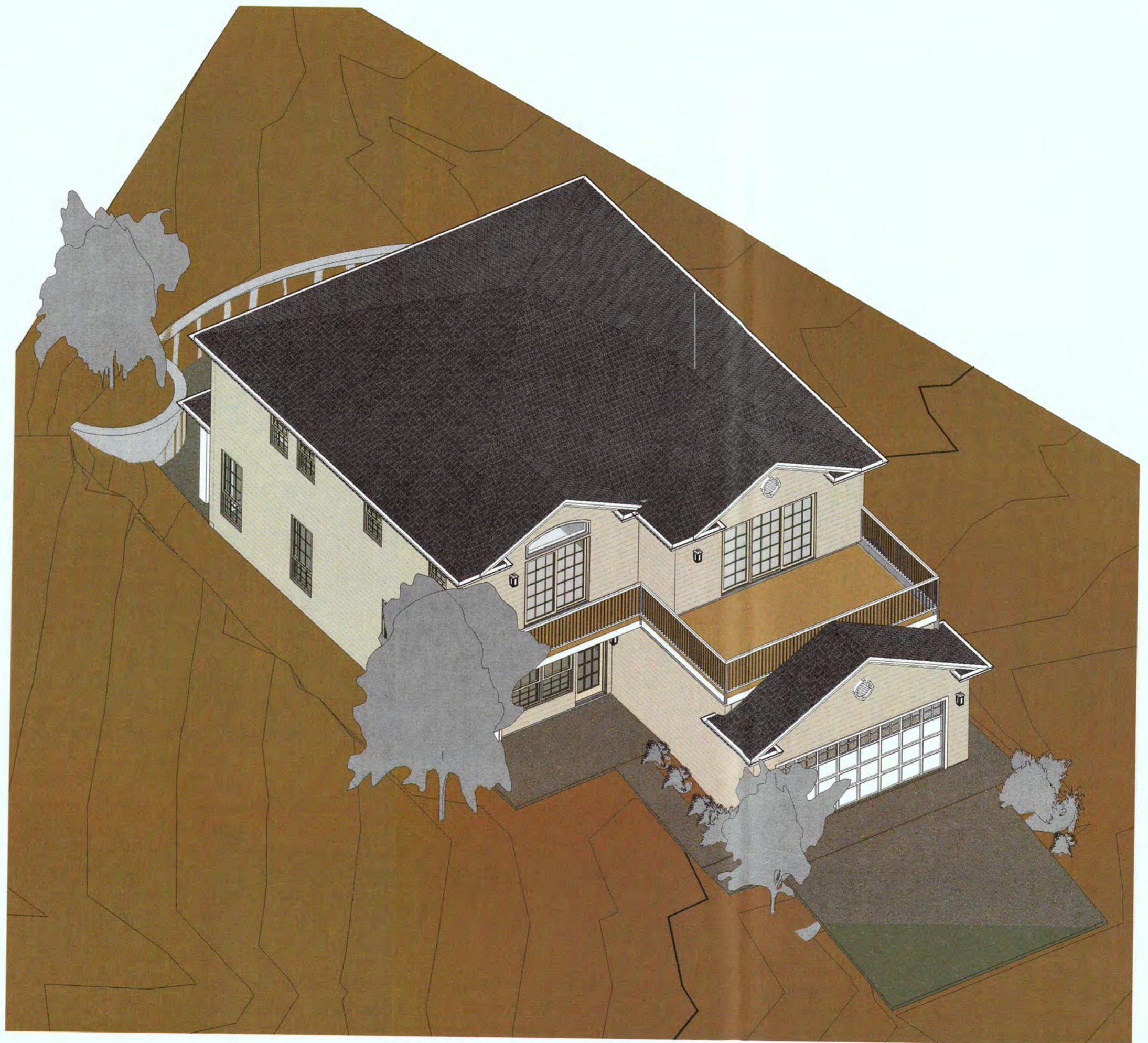
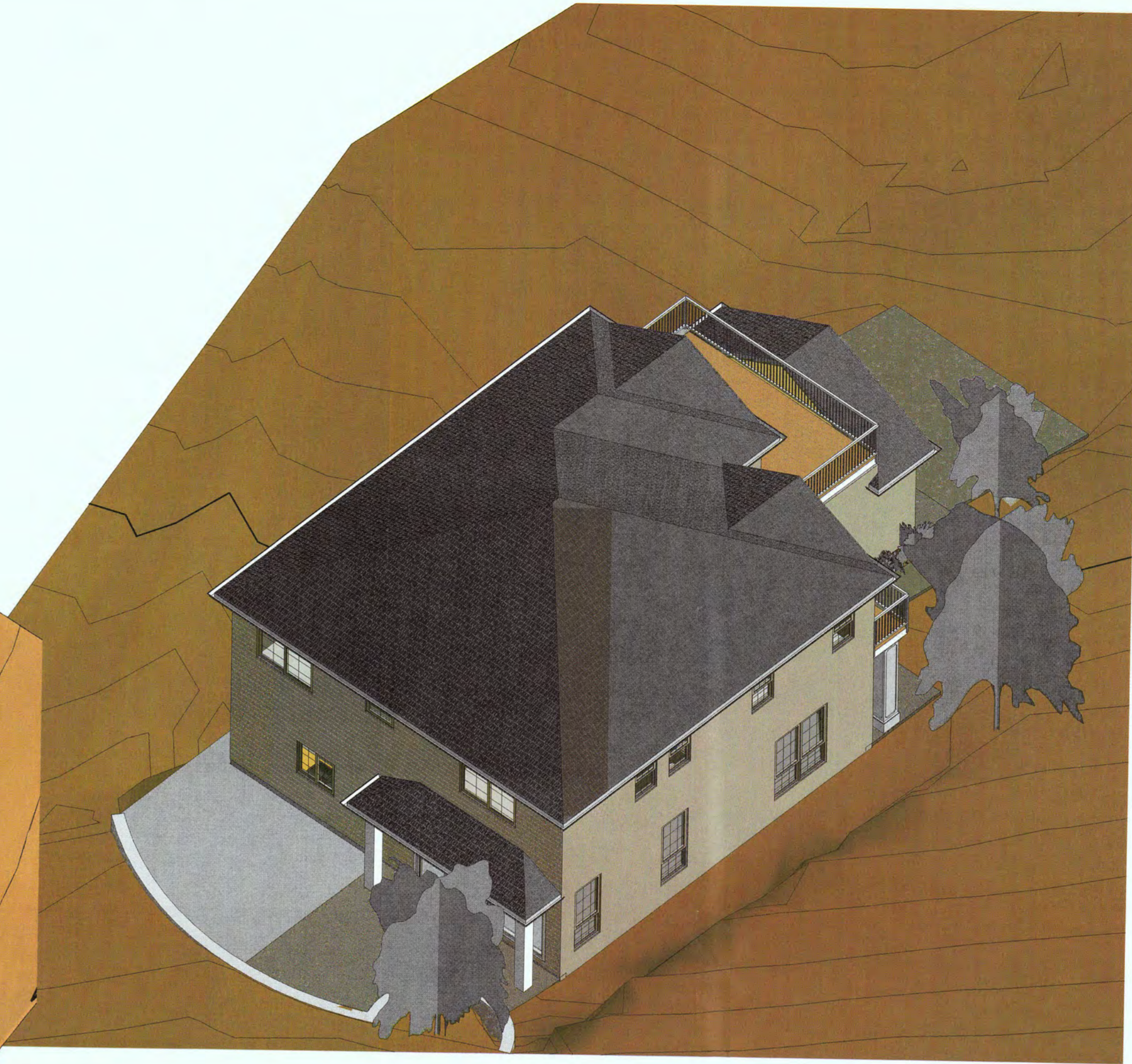
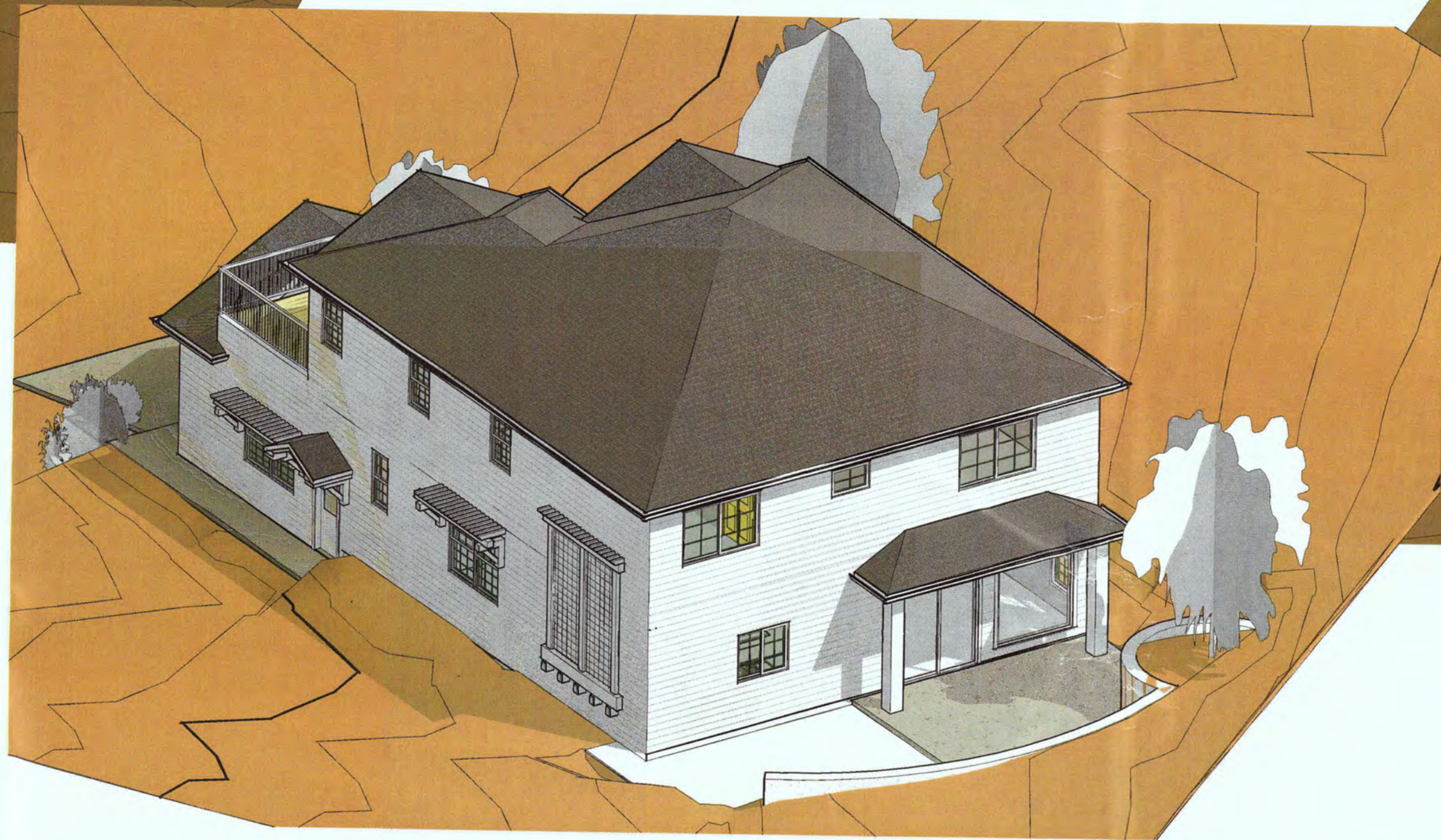
SOUTH ELEVATION
DR/A3.1

NORTH ELEVATION
DR/A3.2

EAST ELEVATION
DR/A3.2

WEST ELEVATION
DR/A3.1






HPDG
 High Point Design Group
 346-A WEST JACKSON STREET
 SONOMA, CALIFORNIA
 94960
 204.541.8610
 engineer of record

project
 047-071-270

SEAN AND BEN STENGER
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94019

650.483.8615
 COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.

THIS DRAWING EMBODIES DESIGN IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF, AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name
PERSPECTIVES

date
 2 MARCH 2016
 release number
 DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/A10.1

3/2/2016 2:22:54 PM

LIGHTING SCHEDULE

TYPE	MANUFACTURER	STYLE	NO OF BULBS	WATTAGE	QUANTITY
WALL SCONCE	ST CLAIR	ARROYO CRAFTSMAN	1	20W	5 EA

LANDSCAPE SCHEDULE:

QTY	SIZE	DESCRIPTION
3	1 GALLON	PHORMIUM TENAX(NEY ZELAND FLAX)
2	5 GALLON	LAURUS NOBILIS(BAY TREE)
5	1 GALLON	ACACIA PLANT
1	5 GALLON	SORBUS INTERMEDIA(SWEDISH WHITEBEAM)

project
047-071-270

SEAN AND BEN STENGER
SEVILLA AVENUE
EL GRANADA, CALIFORNIA 94019

650.483.8615
COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.

THIS DRAWING INCLUDES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, EVOLVED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EXPECTED BY CLIENTS THEREOF, AND EXCEPT UPON WRITTEN PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

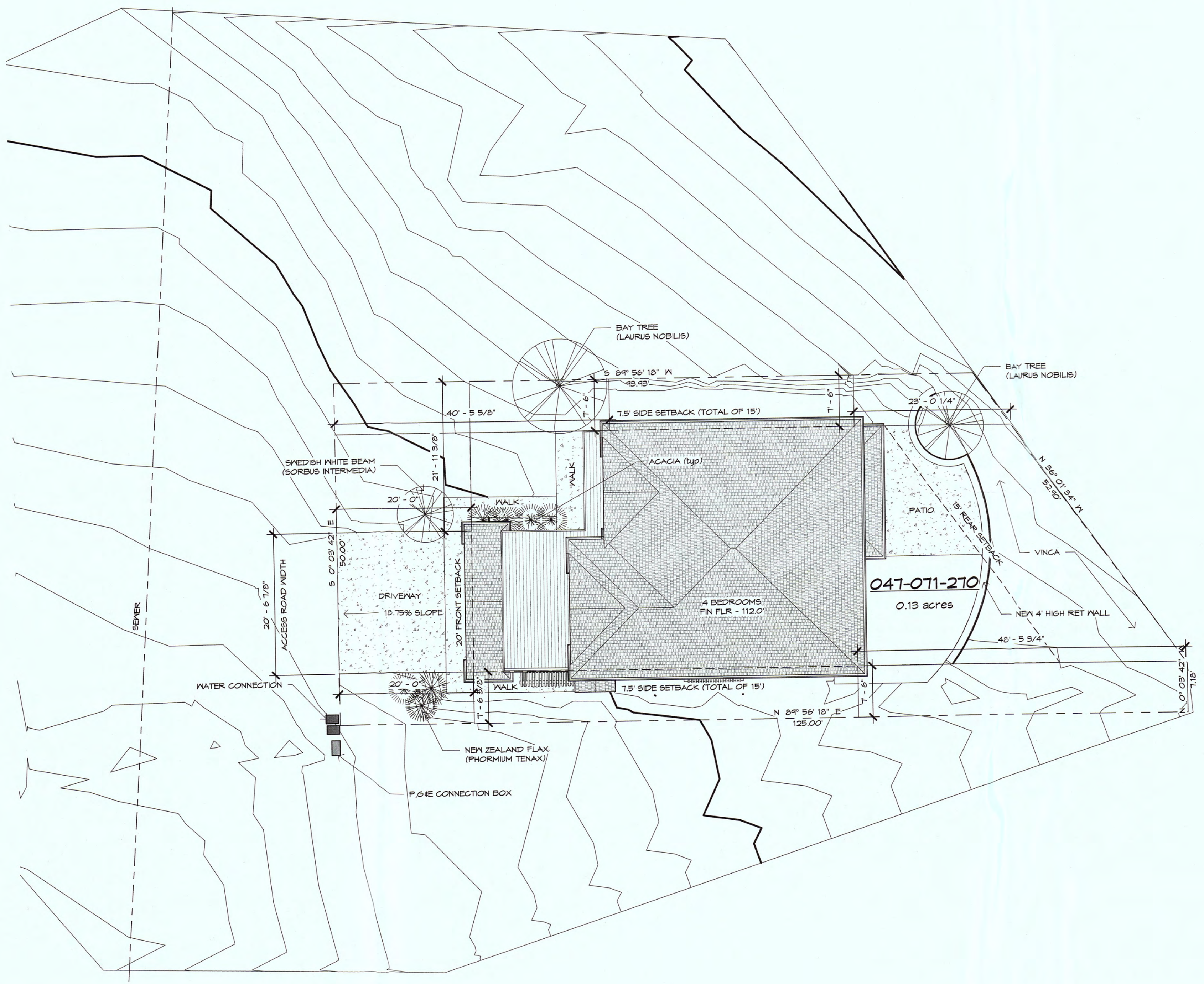
sheet name
LANDSCAPE PLAN

date
2 MARCH 2016
release number
DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/L1



1 LANDSCAPE PLAN
1" = 10'-0"



High Point Design Group
 346-A WEST JACKSON STREET
 SONORA, CALIFORNIA 95370
 209.591.0610
 engineer of record

project
 047-071-270

SEAN AND BEN STENGER
 SEVILLA AVENUE
 EL GRANADA, CALIFORNIA 94019

Author

COPYRIGHT 2016 - HIGH POINT DESIGN GROUP, INC.
 THIS DRAWING INCLUDES DESIGN, IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS WHICH ARE PROPRIETARY TO HIGH POINT DESIGN GROUP, INC. AND WHICH WERE DESIGNED, CREATED, DEVELOPED, AND DEVELOPED FOR THE USE SOLELY IN CONNECTION WITH THE SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS THEREOF IS INTENDED OR EFFECTED BY DELIVERY THEREOF TO ANY OTHER PARTY. PERMISSION OF HIGH POINT DESIGN GROUP, INC. THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN THE FABRICATION OR CONSTRUCTION OF BUILDINGS, STRUCTURES, OR ANY PORTIONS THEREOF FOR OTHER THAN THE SPECIFIED PROJECT.

sheet name
COLOR BOARD

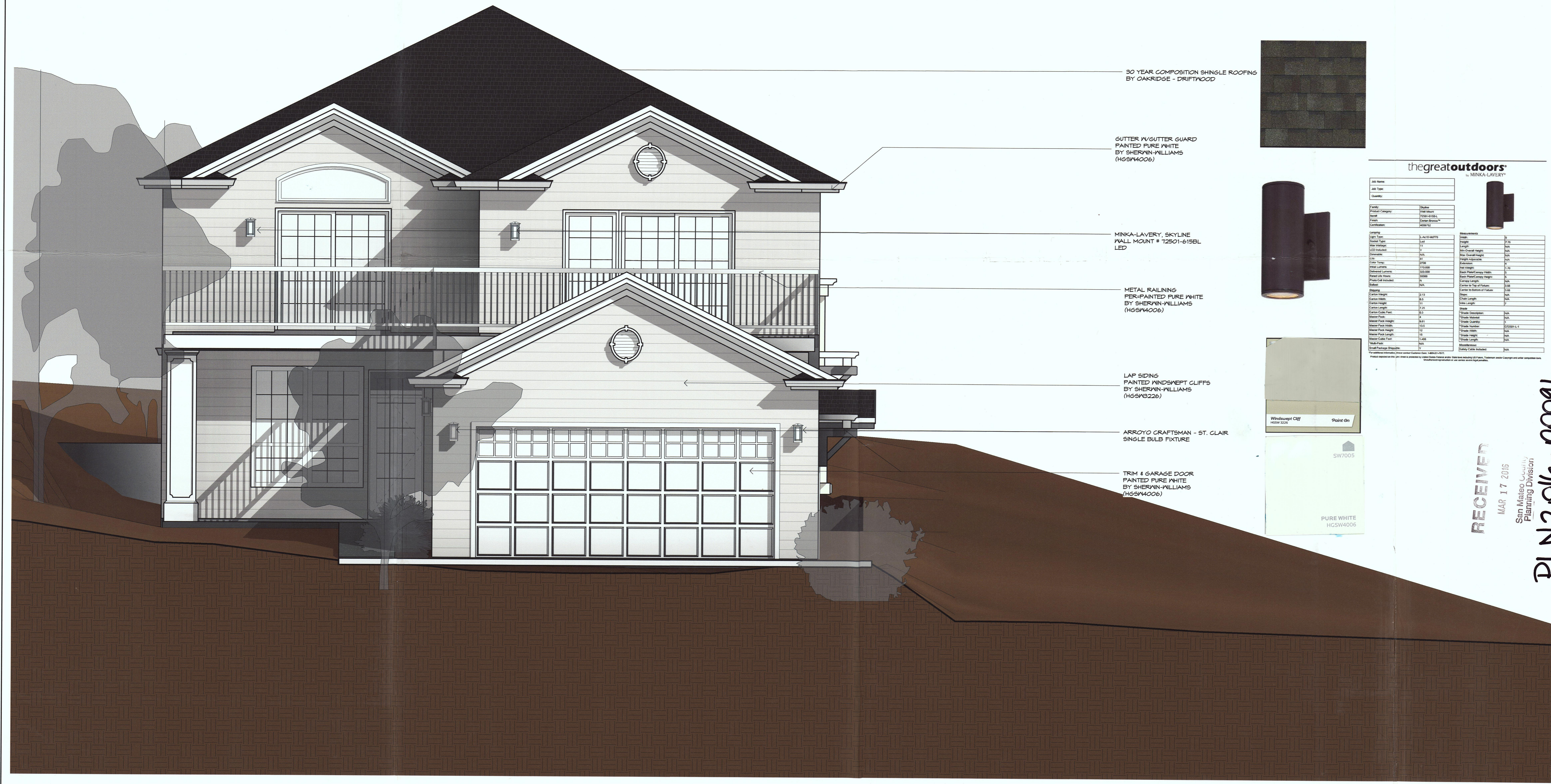
date
 2 MARCH 2016
 release number
 DESIGN DEVELOPMENT

rev	date	description

sheet name

DR/CB

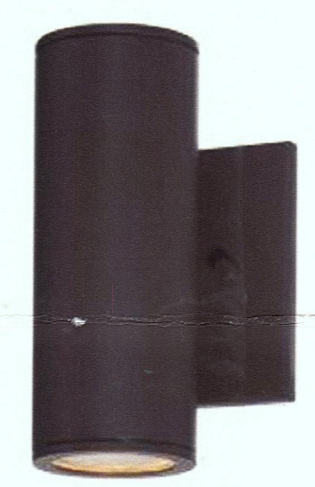
3/17/2016 8:06:20 AM



30 YEAR COMPOSITION SHINGLE ROOFING BY GAKRIDGE - DRIFTWOOD



GUTTER IV/GUTTER GUARD PAINTED PURE WHITE BY SHERWIN-WILLIAMS (HGSW4006)



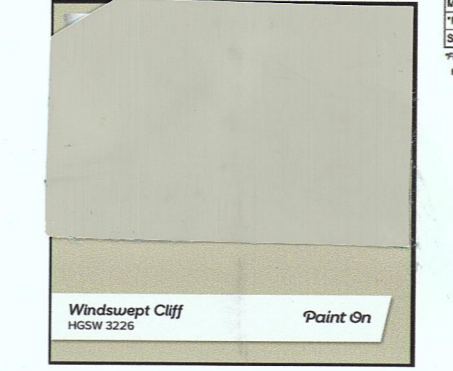
MINKA-LAVERY, SKYLINE WALL MOUNT # 72501-615BL LED

thegreatoutdoors[®]
 by MINKA-LAVERY[®]

ITEM	DESCRIPTION	QUANTITY	UNIT
1	30 Year Composition Shingle Roofing	1	Sq. Ft.
2	Gutter IV/Gutter Guard	1	Linear Ft.
3	Minka-Lavery Skyline Wall Mount	2	Each
4	Metal Railing	1	Linear Ft.
5	Lap Siding	1	Sq. Ft.
6	Arroyo Craftsman Single Bulb Fixture	2	Each
7	Trim 4 Garage Door	1	Each

METAL RAILING PER-PAINTED PURE WHITE BY SHERWIN-WILLIAMS (HGSW4006)

LAP SIDING PAINTED WINDSWEPT CLIFFS BY SHERWIN-WILLIAMS (HGSW2226)



ARROYO CRAFTSMAN - ST. CLAIR SINGLE BULB FIXTURE



TRIM 4 GARAGE DOOR PAINTED PURE WHITE BY SHERWIN-WILLIAMS (HGSW4006)



1 COLOR BOARD
 3/8" = 1'-0"

RECEIVED
 MAR 17 2016
 San Mateo County
 Planning Division
 PLN 2016-00091