

1158 CEDAR ST. MONTARA, CA.
 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE FAMILY RESIDENCE

www.collinsdesign.com
 401 Collins Design, San Francisco, CA 94122
 www.collinsdesign.com

No.	Description	Date

KELLY LINSCOTT
NEW HOME
EAST / WEST ELEVATIONS

Project Number: 12011815
 Drawn by: [Signature]
 Checked by: [Signature]
 Designer:

A106
 Scale: 1/4" = 1'-0"

Hinkley Lighting Tucker 1 Light LED Outdoor Wall in Oil Rubbed Bronze with Clear Seedy Glass 1964OZ-LED

SKU # 1964OZ-LED



Call 866.344.3875 For Trade Pricing

\$289.00 PER EACH

Original List Price: \$433.50 (You Save 33.00%)

Finish
Oil Rubbed Bronze

Bulb Type
LED

1 **Add To Shopping Cart**

Add to List Price Alert

[Return Policy](#) [Shipping Policy](#) [110% Price Match](#)



Zoom Image

- ★ Special Order
- 🚚 FREE Shipping & Returns
- 🚫 NO Restocking Fee
- 💰 110% Price Match Guarantee
- 🚫 No Sales Tax
Excludes NC, NJ, NY, and PA
- 💡 Bulbs Included

[Product Information](#) [General Information](#) [Manufacturer's Catalog\(s\)](#) [Questions](#)

General Information

Hinkley Lighting Tucker 1 Light LED Outdoor Wall in Oil Rubbed Bronze with Clear Seedy Glass 1964OZ-LED

This 1 light Outdoor Wall from the Tucker collection by Hinkley Lighting will enhance your home with a perfect mix of form and function. The features include a Oil Rubbed Bronze finish applied by experts. This item qualifies for free shipping! Check the right-hand bar or call our dedicated Sales Team for similar items and additional options not pictured.

Brand Information

- Brand: Hinkley
- Collection: Tucker
- SKU: 1964OZ-LED
- UPC: 00640665196450

Design Information

- Category: [Outdoor Wall Lights](#)
- Finish: [Oil Rubbed Bronze](#)
- Glass: [Clear Seedy](#)
- Material: [Aluminum](#)

Dimensions and Weight

- Width: 9.00 in.
- Height: 14.75 in.
- Extension/Depth: 10.25 in.
- Backplate/Canopy Width: 4.50 in.
- Backplate/Canopy Length: 6.75 in.
- Height from Center of Wall Opening: 3.50 in.
- Install Position: Up
- Weight: 6.50 lb.

Bulb Information

- Bulbs Included: Yes
- Bulb Category: LED
- Primary Bulb(s): 1 x 15 watts LESM-100

Product Rating

- Voltage: 120
- Outdoor Rating: Outdoor
- Safety Rating: C-US Wet

Related Product

 [Hinkley 1964OZ](#)
Tucker 1 Light Outdoor Wall Lantern in Oil Rubbed Bronze with Clear Seedy Glass


\$189.00

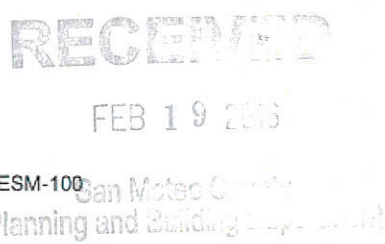
 [Hinkley 1965OZ](#)
Tucker 1 Light Outdoor Wall Lantern in Oil Rubbed Bronze with Clear Seedy Glass

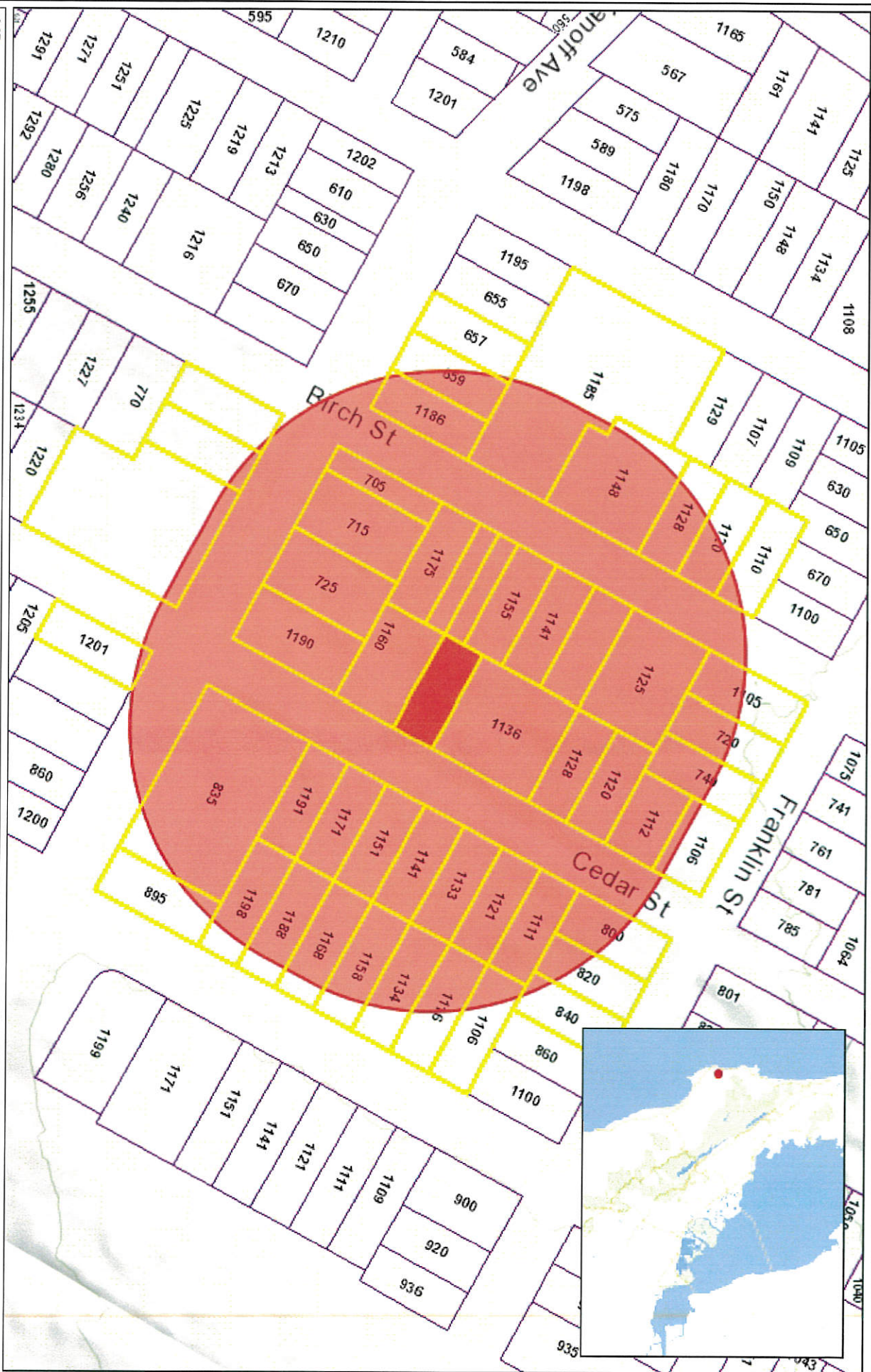
\$289.00

 [Hinkley 1960OZ](#)
Tucker 1 Light Outdoor Wall Lantern in Oil Rubbed Bronze with Clear Seedy Glass

\$135.00

 [Hinkley 1960OZ-LED](#)
Tucker 1 Light LED Outdoor Wall in Oil Rubbed Bronze with Clear Seedy Glass





WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd

1:2,256

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. IF ANY DISCREPANCY IN DIMENSIONS EXISTS BETWEEN DRAWING AND FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY.
2. EXCEPT AS NOTED IN THESE PLANS, NO STRUCTURAL MEMBER SHALL BE REMOVED, NOTCHED, CUT, BLOCKED OUT OR RELOCATED WITHOUT NOTIFICATION TO THE DESIGNER.
3. THIS PROJECT SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODES AND 2019 SAN FRANCISCO BUILDING CODE AMENDMENTS.
4. PROVIDE 3/8" TYPE X GREEN BOARD AT WEIR LOCATIONS AS REQUIRED. GREEN BOARD SHALL BE PROTECTED TO WATER PROVIDE A COMPLETE WATER BARRIER ON THE SHOWN AND DESIGN BASIS.
5. CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING.
6. FIRE PROTECTION: ANNULAR SPACES AROUND PIPES, ELECTRIC CONDUITS AND OTHER PENETRATIONS SHALL BE SEALED WITH FIRE RESISTANT CONCRETE MASONRY.
7. COMPOSITE WOOD PRODUCTS: HARWOOD, PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL BE PROTECTED WITH AN APPROPRIATE MEASURE FOR COMPOSITE WOOD PER CALIFORNIA TITLE 17 AND CALIFORNIA TITLE 17.5.
8. INTERIOR PARTS AND JOINTS: TO COMPLY WITH CALIFORNIA LAWS IN THE AIR RESOURCES BOARD ARCHITECTURAL CONTACT SURVEILLANCE CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINT PER CALIFORNIA TABLE 4504.1 AND 4504.2
9. ALL CALLS, CONSTRUCTION ADHESIVES AND SEALANTS TO BE LOW VOC PER STANDARD TABLE 1108 SEE CALIFORNIA TABLES 4504.1 AND 4504.2

PROJECT INFORMATION:

OWNER: KELLY LINSOTT
 ADDRESS: 1158 CEDAR ST. MONTARA CA 94027
 ZONING DISTRICT: R-1.5/17
 PARCEL SIZE: 6250 SQ. FT.
 PROPOSED BUILDING FOOTPRINT: 1959 SQ. FT.
 TOTAL PROPOSED SQ. FOOTAGE 1ST FLOOR: 1975
 TOTAL PROPOSED SQ. FOOTAGE 2ND FLOOR: 1441
 TOTAL PROPOSED LIVING SPACE: 2866 SQ. FT.
 FLOOR AREA RATIO: 3.41150 FT. / 6.250 SQ. FT. = 54.6%
 LOT COVERAGE: 1959 SQ. FT. / 6250 SQ. FT. = 31.3%
 STORES: 2
 UNITS: 1

PROPOSED LINSOTT RESIDENCE

1158 CEDAR ST.
 MONTARA CA. 94037

PROJECT SCOPE:

- 1) CONSTRUCT NEW 2 STORY SINGLE FAMILY RESIDENCE



RECEIVED
 FEB 19 2025
 San Mateo County
 Planning and Building Department



ABBREVIATIONS:	ABBREVIATIONS:
AC: AIR CONDITIONING	FIN: FINISH
ADP: AIR DISTRIBUTION	FLOOR: FLOOR
ALUM: ALUMINUM	F.O.S FACE OF STUD
AP: APPOINTMENT	GA: GARAGE
ARCH: ARCHITECTURAL	GB: GYPSUM WALL BOARD
BLDG: BUILDING	H.B: HOSE BIG
BM: BEARING MEMBER	H.DWR: HARDWARE
CBM: CEMENT	HP: HIGH PRESSURE
CLG: CEILING	INS: INSULATION
CLS: CLOSURE	INT: INTERIOR
COL: COLUMN	M: MECHANICAL
CONG: CONCRETE	M.T: METAL
CT: CERAMIC TILE	N.I.C: NOT IN CONTRACT
CTY: CEMENT	NO: NUMBER
D.F: DRINKING FOUNTAIN	OPP: OPPOSITE
DM: DIMENSION	P.L.M: PLASTIC MOUNT
DN: DOWN	R.D: ROOF DRAIN
DS: DOWN SPOUT	R.O: ROUGH OPENING
EX: EXISTING	S: STORAGE
EL: ELEVATION	SHT: SHEET
ELEC: ELECTRIC	TYP: TYPICAL
	UNLESS NOTED

PROJECT DESIGNER: JARED JOHNSON
 631 91ST AVE S.F. CA. 94121
 415-987-4002

PROJECT ENGINEER: TOWNSEND BROWN
 4478 HARBOR DR. OAKLAND CA. 94618
 510-580-7119

GENERAL CONTRACTOR: LINSOTT BUILDERS
 1158 CEDAR ST. MONTARA CA. 94027
 CA. LIC # 977256

Sheet Number	Sheet Name
A101	TITLE SHEET
A102	SITE PLAN
A103	SURVEY WITH EX. GRADE
A104	DRAINAGE / HYDRO / EROSION
A105	LANDSCAPE/GRADING / STORMWATER
A106	ROOF PLAN
A107	NORTH/SOUTH ELEVATIONS
A108	EAST / WEST ELEVATIONS
A109	FLOOR PLANS
A110	CROSS SECTIONS

Sheet Number	Sheet Name
A101	TITLE SHEET
A102	SITE PLAN
A103	SURVEY WITH EX. GRADE
A104	DRAINAGE / HYDRO / EROSION
A105	LANDSCAPE/GRADING / STORMWATER
A106	ROOF PLAN
A107	NORTH/SOUTH ELEVATIONS
A108	EAST / WEST ELEVATIONS
A109	FLOOR PLANS
A110	CROSS SECTIONS

1158 CEDAR ST. MONTARA, CA.
 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE
 FAMILY RESIDENCE

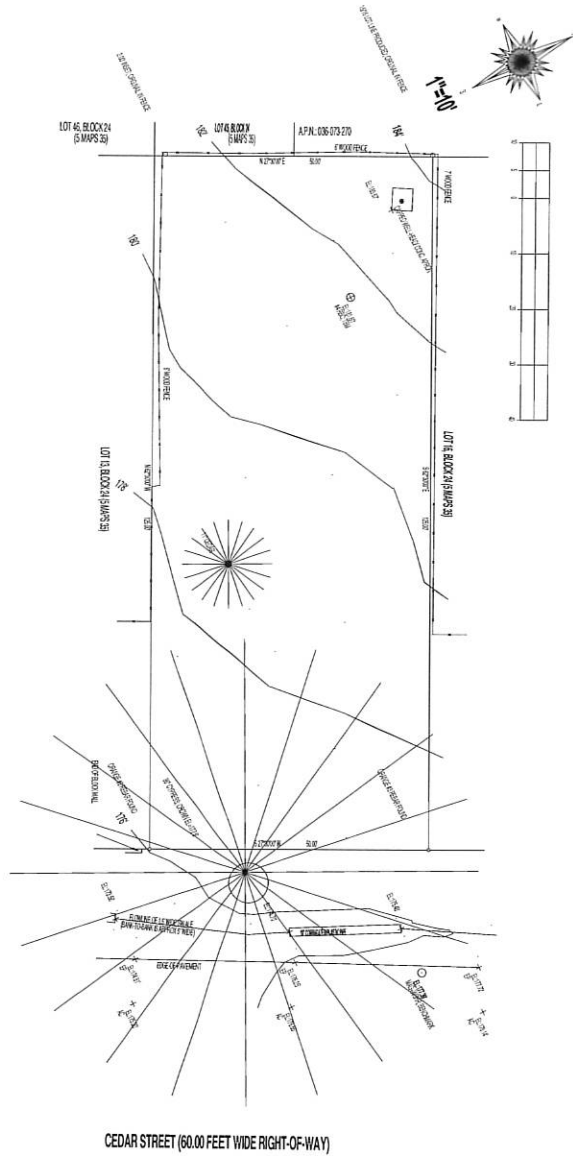
JOHN LINSOTT, Designer / E.I.T.
 3411 15th Ave., Montara, CA. 94027
 www.linsottbuilders.com
 www.oberlinrdsdesign.com

Title	Description	Date
Project Number	12171715	
Checked By	Author	
Drawn By	Checker	
Scale		

KELLY LINSOTT
 NEW HOME
 TITLE SHEET

A101

TROBORG'S SURVEY CENTER OF THE LANDS OF LINSCOTT BEING LOTS 14 & 15 OF BLOCK 24 OF THE AMERGED AND SUPPLEMENTAL MAP OF MONTARA SAN MATEO COUNTY CALIFORNIA AS SHOWN IN SOME EVIDENCE OF THE RECORDS OF THE COUNTY OF SAN MATEO COUNTY CALIFORNIA FILED FOR RECORD ON OCTOBER 16, 1997 A.P.N. 036-073-550 CONTAINING 0.1441 ACRES (6259.75 SQ. FEET) NO OTHER ADDRESS HAS BEEN ISSUED LOTS 14 & 15 OF CEDAR STREET, MONTARA, CALIFORNIA



WESTERN PACIFIC BOUNDARY SURVEYING
 P.O. BOX 2442 REDWOOD CITY, CA 94064
 TEL: 650-767-1878 e-mail: survey@wpbd.com

1 SITE SURVEY
 1" = 100'

THE STATE OF CALIFORNIA, COUNTY OF SAN MATEO, BEING THE COUNTY OF RECORD OF THE FOREGOING MAP, HEREBY CERTIFIES THAT THE FOREGOING MAP WAS FILED FOR RECORD ON OCTOBER 16, 1997, AND THAT THE FOREGOING MAP IS A TRUE AND CORRECT COPY OF THE ORIGINAL MAP AS FILED FOR RECORD. THE FOREGOING MAP IS A TRUE AND CORRECT COPY OF THE ORIGINAL MAP AS FILED FOR RECORD. THE FOREGOING MAP IS A TRUE AND CORRECT COPY OF THE ORIGINAL MAP AS FILED FOR RECORD.

Survey License No. 12345

CEDAR STREET (60.00 FEET WIDE RIGHT-OF-WAY)

1158 CEDAR ST. MONTARA, CA.
 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE
 FAMILY RESIDENCE

DAVID J. LINSCOTT, PLS
 David J. Linscott, Designer / EIT
 2001 Francisco, CA 94133
 www.davidlinscott.com
 www.davidlinscott.com

KELLY LINSCOTT
 NEW HOME
 SURVEY WITH EX.
 GRADE

Project Number: 12/10/15
 Drawn by: Author
 Checked by: Checker

A103
 1" = 100'

Construction Best Management Practices (BMPs)

Construction projects are required to implement the assessment and implementation practices (BMPs) on this page. If they apply to your project, fill your table.

Water Pollution Control Program
 Municipal & Water Management
 Equipment Management & Spill Control
 Erosion Control
 Project Vehicle Wash
 Concrete, Cement & Mortar Applications
 Paving & Other Disturbances
 Dewatering

Equipment Management & Spill Control

- 1. All equipment used on the site must be maintained and operated in accordance with the manufacturer's instructions.
- 2. All equipment must be inspected before use.
- 3. All equipment must be stored on a paved area or other impervious surface.
- 4. All equipment must be washed before leaving the site.

Erosion Control

- 1. All areas of exposed soil must be protected from erosion.
- 2. All areas of exposed soil must be stabilized as soon as practicable.
- 3. All areas of exposed soil must be protected from sediment transport.

Project Vehicle Wash

- 1. All vehicles must be washed before leaving the site.
- 2. All wash water must be contained and disposed of properly.

Concrete, Cement & Mortar Applications

- 1. All concrete, cement, and mortar must be applied in accordance with the manufacturer's instructions.
- 2. All concrete, cement, and mortar must be stored in a covered area.
- 3. All concrete, cement, and mortar must be kept dry.

Paving & Other Disturbances

- 1. All paving operations must be conducted in accordance with the manufacturer's instructions.
- 2. All paving operations must be conducted on a prepared subgrade.

Dewatering

- 1. All dewatering operations must be conducted in accordance with the manufacturer's instructions.
- 2. All dewatering operations must be conducted in a silt trap.
- 3. All dewatering operations must be conducted in a way that does not cause erosion or sediment transport.

SEE ATTACHED DRAINAGE / HYDROLOGY CALCULATIONS BY ENGINEER TOWNSEND BROWN

4.1.1 Stormwater Management Site Assessment Table

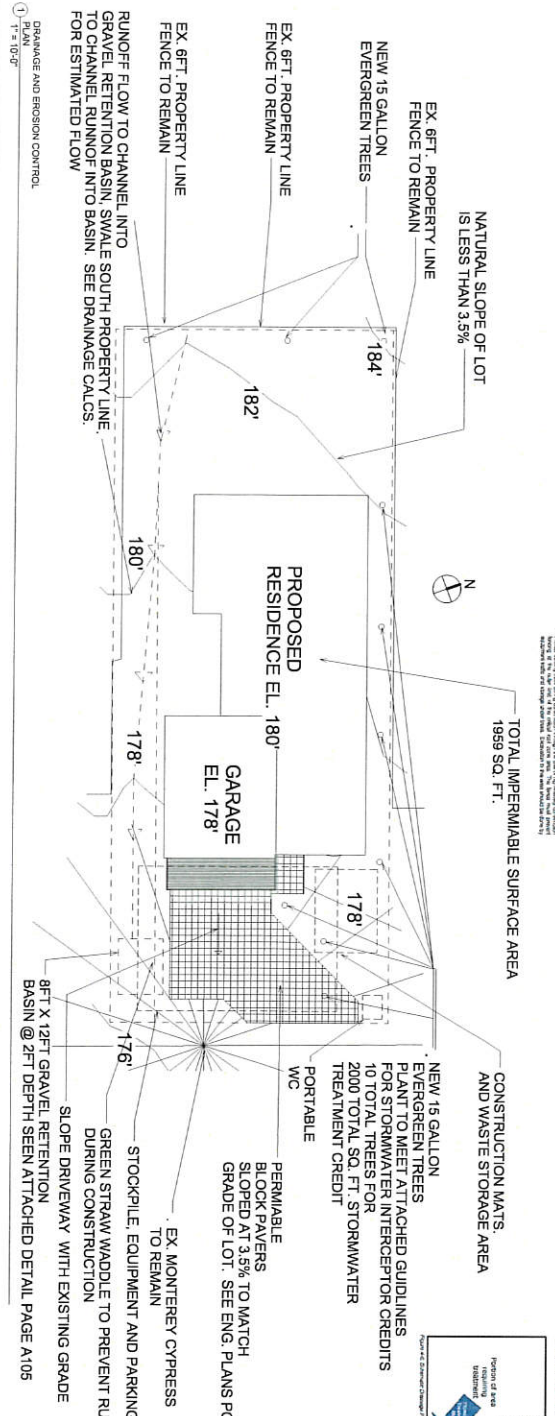
The table below is used to assess the potential for erosion and sediment transport from a construction site. The table is based on the National Stormwater Pollution Prevention Act (NSPPA) and the National Stormwater Management Plan (NSMP).

Category	Item	Yes	No
Erosion Control	1. All areas of exposed soil are protected from erosion.	<input type="checkbox"/>	<input type="checkbox"/>
	2. All areas of exposed soil are stabilized as soon as practicable.	<input type="checkbox"/>	<input type="checkbox"/>
	3. All areas of exposed soil are protected from sediment transport.	<input type="checkbox"/>	<input type="checkbox"/>
	4. All areas of exposed soil are protected from erosion.	<input type="checkbox"/>	<input type="checkbox"/>
Sediment Control	1. All areas of exposed soil are protected from sediment transport.	<input type="checkbox"/>	<input type="checkbox"/>
	2. All areas of exposed soil are protected from sediment transport.	<input type="checkbox"/>	<input type="checkbox"/>
	3. All areas of exposed soil are protected from sediment transport.	<input type="checkbox"/>	<input type="checkbox"/>
	4. All areas of exposed soil are protected from sediment transport.	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	1. All areas of exposed soil are protected from erosion.	<input type="checkbox"/>	<input type="checkbox"/>
	2. All areas of exposed soil are stabilized as soon as practicable.	<input type="checkbox"/>	<input type="checkbox"/>
	3. All areas of exposed soil are protected from sediment transport.	<input type="checkbox"/>	<input type="checkbox"/>
	4. All areas of exposed soil are protected from erosion.	<input type="checkbox"/>	<input type="checkbox"/>

4.1.2 Best Management Practices (BMPs)

The following BMPs are required for all construction projects:

- 1. Erosion Control: All areas of exposed soil must be protected from erosion.
- 2. Sediment Control: All areas of exposed soil must be protected from sediment transport.
- 3. Erosion Control: All areas of exposed soil must be stabilized as soon as practicable.
- 4. Sediment Control: All areas of exposed soil must be protected from sediment transport.
- 5. Erosion Control: All areas of exposed soil must be protected from erosion.
- 6. Sediment Control: All areas of exposed soil must be protected from sediment transport.
- 7. Erosion Control: All areas of exposed soil must be stabilized as soon as practicable.
- 8. Sediment Control: All areas of exposed soil must be protected from sediment transport.



NO.	Description	Date

KELLY LINSKOTT
 NEW HOME
 DRAINAGE / HYDRO /
 EROSION

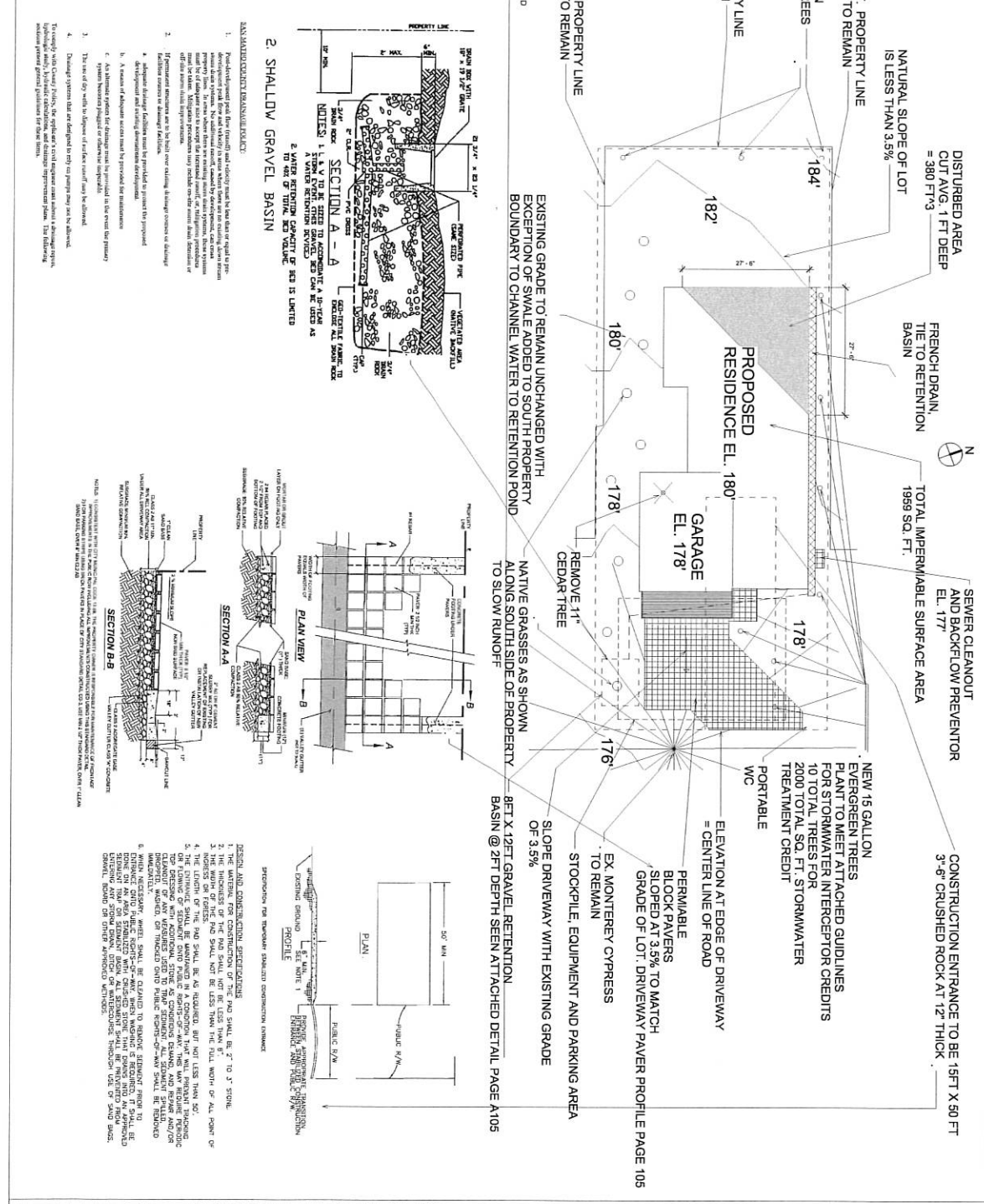
Project Number: 12181615
 Drawn By: Author
 Checked By: Checker

A104

Scale: 1" = 10'-0"

1158 CEDAR ST. MONTARA, CA.
 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE FAMILY RESIDENCE

OUTER PLANET DESIGN INC.
 11611 S. Main Street, Suite 100
 Montara, CA 94037
 www.outerplanetdesign.com



1158 CEDAR ST. MONTARA, CA. 94037
PARCEL # 036-073-550
PROPOSED SINGLE FAMILY RESIDENCE

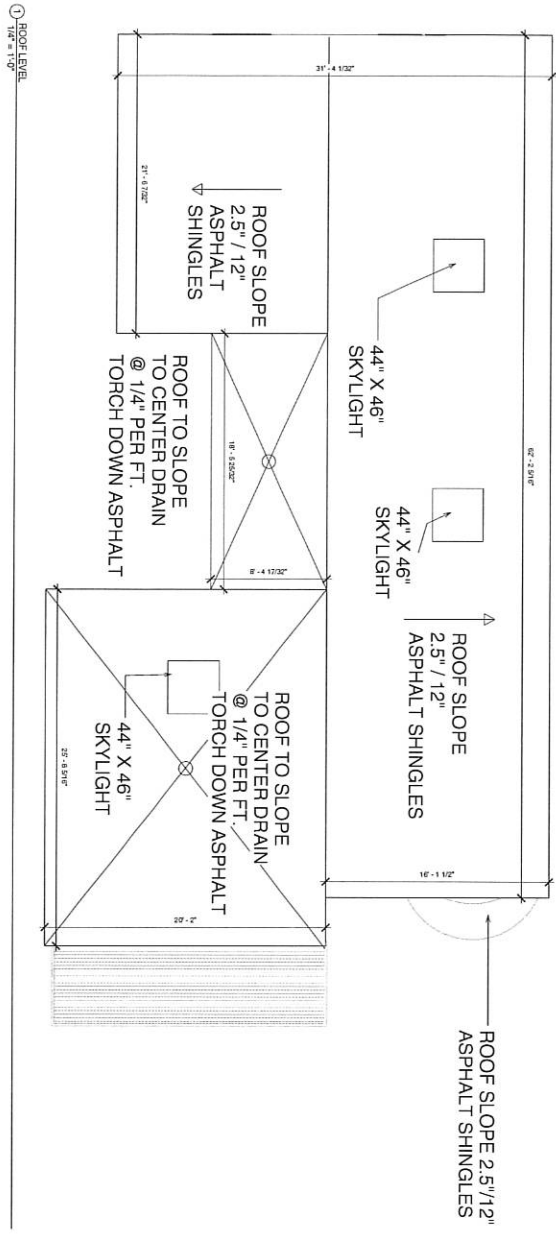
UTTERLAND DESIGN
 16111 Avenue Designer / C.T.T.
 4501 S. Bascom Avenue, Suite 1121
 Palo Alto, CA 94303
 www.utterlanddesign.com

www.utterlanddesign.com

No.	Description	Date

KELLY LINSOTT
 NEW HOME
 LANDSCAPE/GRADING / STORMWATER

Project Number
 1210/13
 DATE 12/10/13
 DRAWN BY A.M.P.
 CHECKED C.M.P.
 SCALE 1" = 10'-0"



OUTLINE ARCHITECTURE

David Johnson, Designer / EIT
 5411 Arroyo Blvd.
 San Jose, CA 94119
 www.outlinedesign.com

www.outlinedesign.com

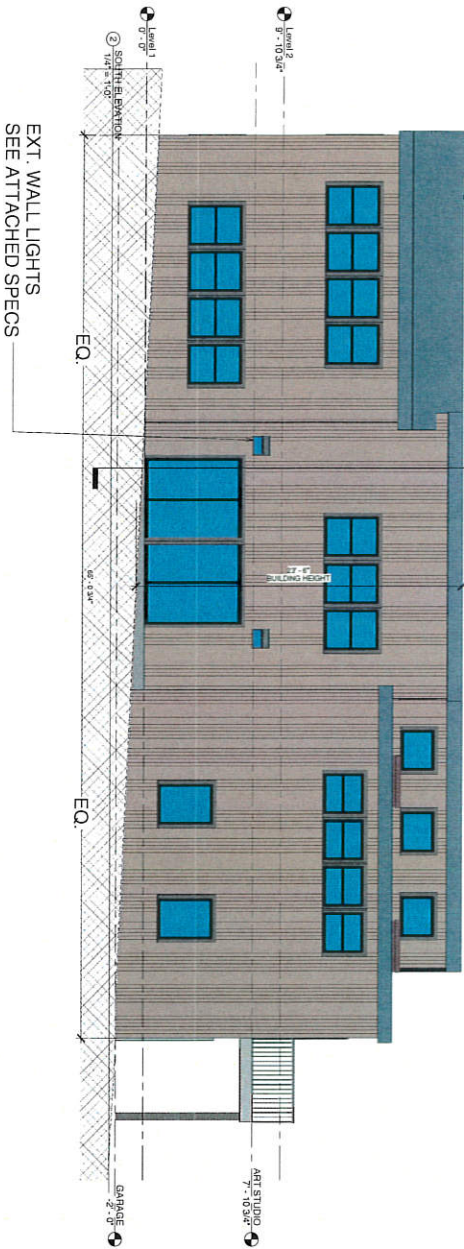
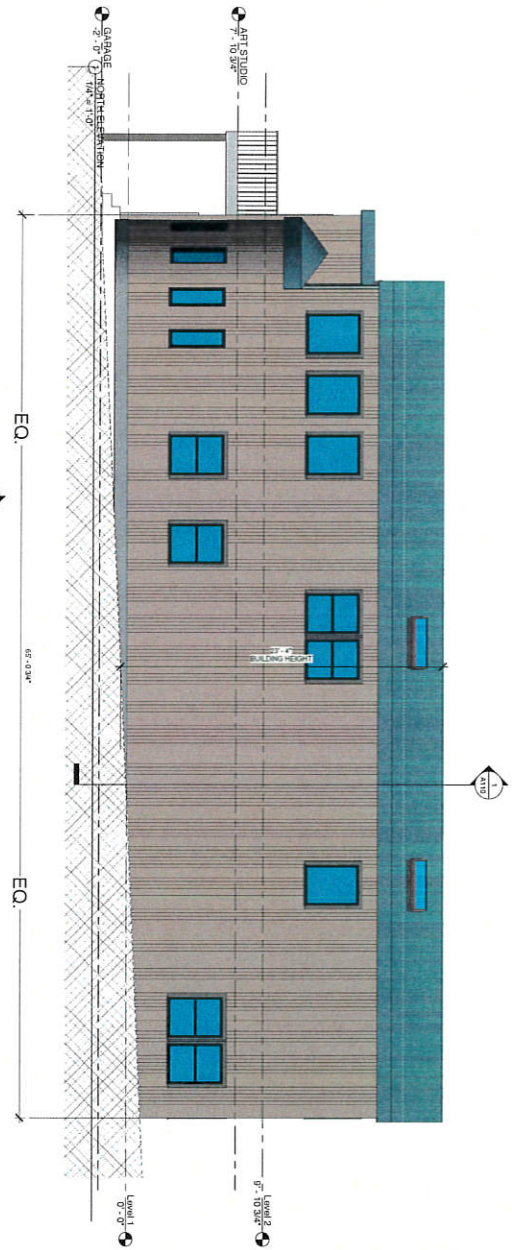
1158 CEDAR ST. MONTARA, CA.
 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE
 FAMILY RESIDENCE

KELLY LINSCOTT
 NEW HOME
 ROOF PLAN

Project Number: 12176/15
 Author: Kelly
 Checked: Lin

A106

1/4" = 1'-0"



OUTERLANDS
 John Johnson, Designer / E.I.T.
 4800 Rockwood, CA 94037
 www.outerlandsdesign.com

www.outerlandsdesign.com

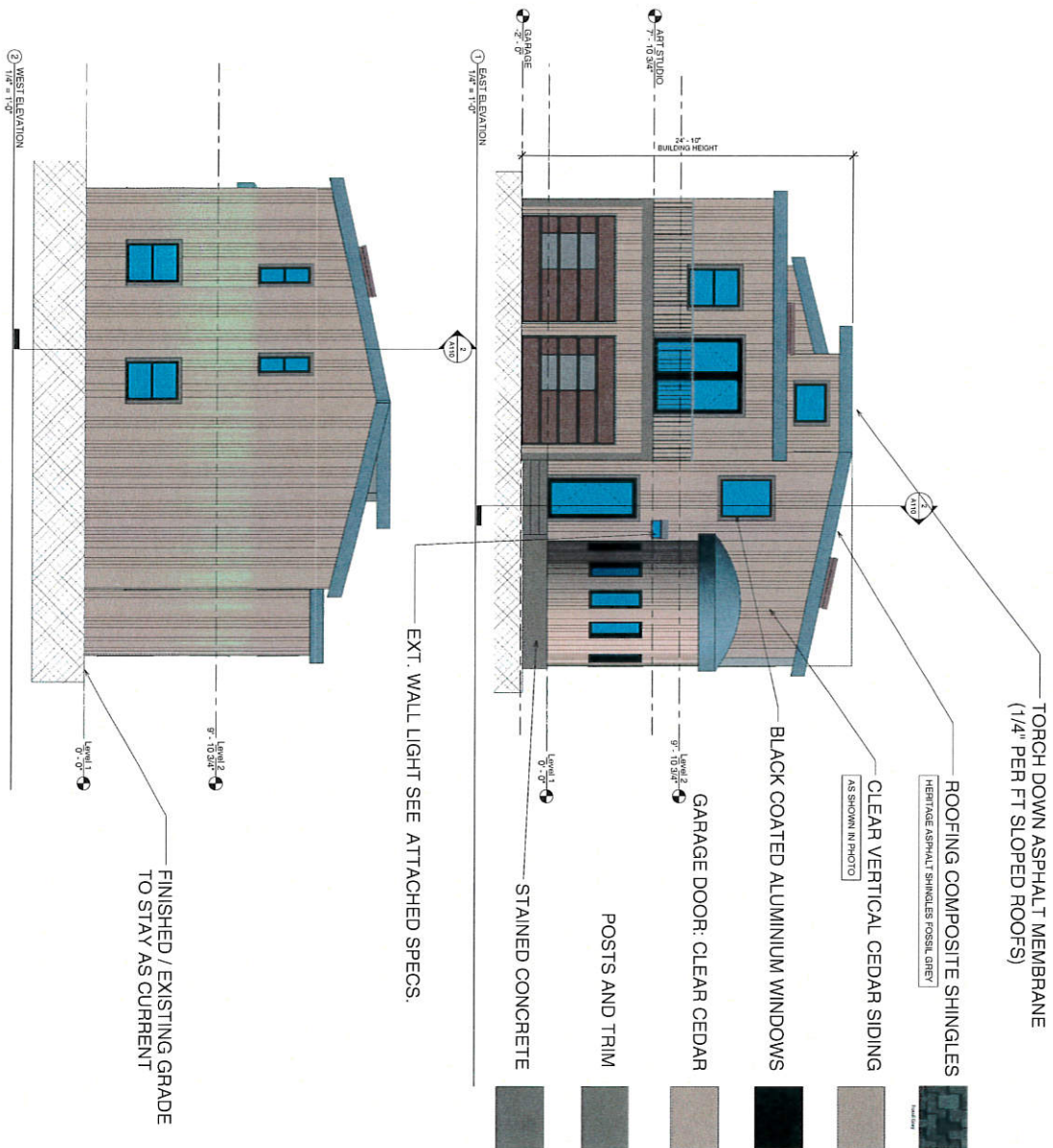
1158 CEDAR ST. MONTARA, CA.
 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE
 FAMILY RESIDENCE

KELLY LINSCHOTT
 NEW HOME
 NORTH / SOUTH
 ELEVATIONS

Project Number	12378715
Date	12/7/15
Drawn By	Judith
Checked By	Chandler

A107

Scale 1/4" = 1'-0"



TORCH DOWN ASPHALT MEMBRANE (1/4" PER FT SLOPED ROOFS)

ROOFING COMPOSITE SHINGLES

HERITAGE ASPHALT SHINGLES POSSIBLE LAYER

CLEAR VERTICAL CEDAR SIDING (AS SHOWN IN PHOTO)

BLACK COATED ALUMINIUM WINDOWS

GARAGE DOOR: CLEAR CEDAR

POSTS AND TRIM

STAINED CONCRETE

EXT. WALL LIGHT SEE ATTACHED SPECS.

FINISHED / EXISTING GRADE TO STAY AS CURRENT

OUTLINE DESIGN INC.
 1848 JEFFERSON DRIVE, SUITE 200
 SAN FRANCISCO, CA 94115
 www.outlinedesign.com

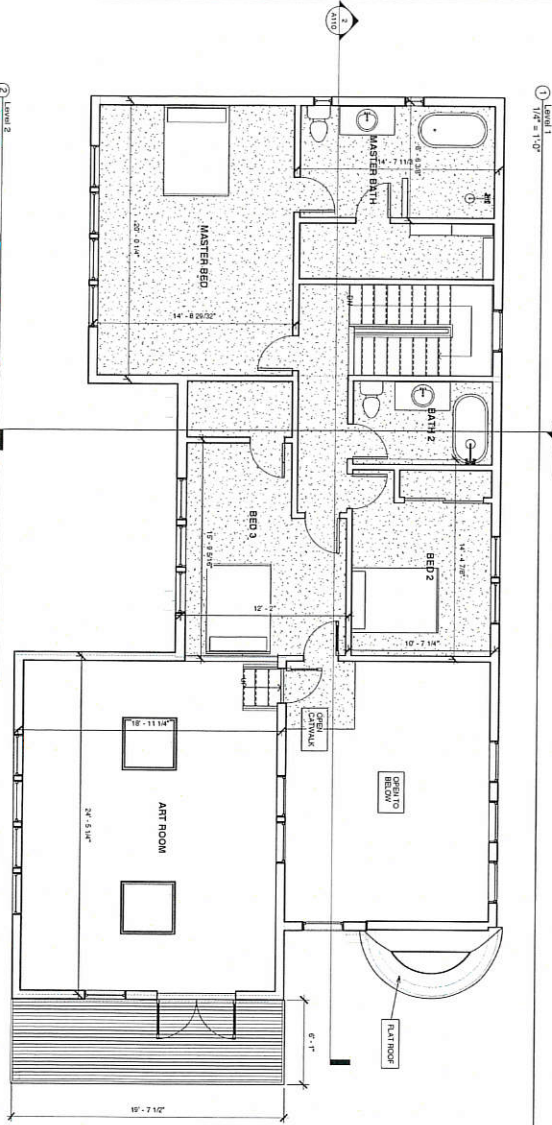
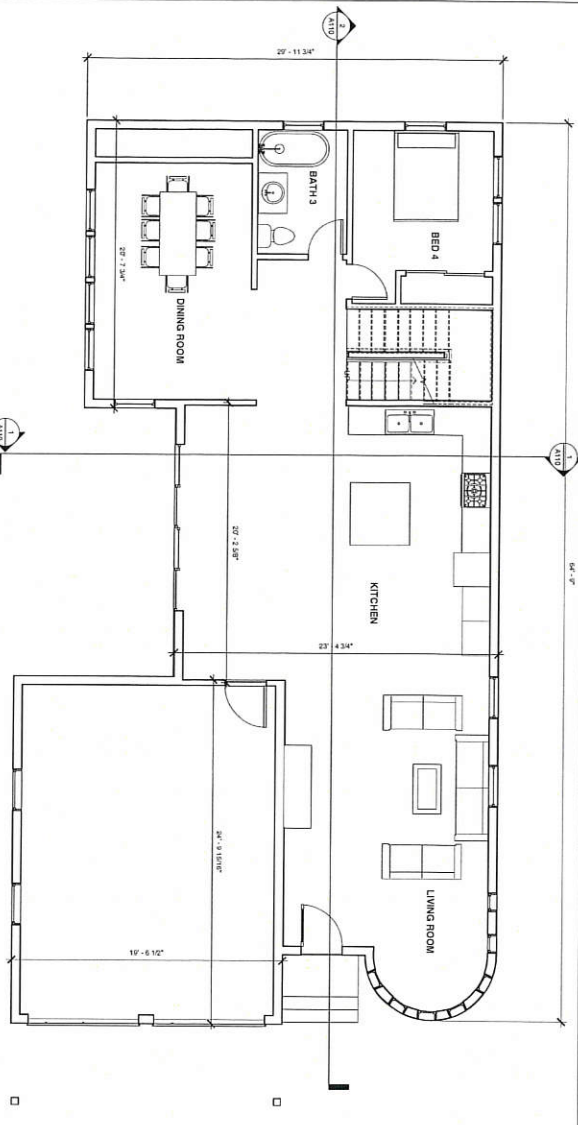
1158 CEDAR ST. MONTARA, CA. 94037
 PARCEL # 036-073-550
 PROPOSED SINGLE FAMILY RESIDENCE

No.	Description	Date

KELLY LINSCOTT
 NEW HOME
 EAST / WEST
 ELEVATIONS
 Project Number: 12718715
 Date: 12/7/15
 Designer: Kelly Linscott
 Checker: [blank]

A108
 Scale: 1/4" = 1'-0"

0182016 5 4627 PM



PARCEL SIZE
6250 SQ. FT.

PROPOSED CONDITIONED SQ. FOOTAGE:
1ST FLOOR: 1375 SQ. FT.
2ND FLOOR: 1481 SQ. FT.
TOTAL LIVING SPACE: 2856 SQ. FT.

GARAGE AREA:
462 SQ. FT.

DECK AREA:
93 SQ. FT.

TOTAL FLOOR AREA:
3,411 SQ. FT.

TOTAL BUILDING FOOTPRINT:
1959 SQ. FT.
31.3% OF LOT

FLOOR AREA RATIO:
3,411 SQ. FT. / 6,250 SQ. FT.
54.6%

TOTAL IMPERVIOUS SURFACE AREA:
1839 SQ. FT.
30.9% OF TOTAL LOT



John Larson, Designer (EIT)
1158 Cedar St., Suite 100
Montara, CA 94037
www.offplan.com
john.larson@offplan.com

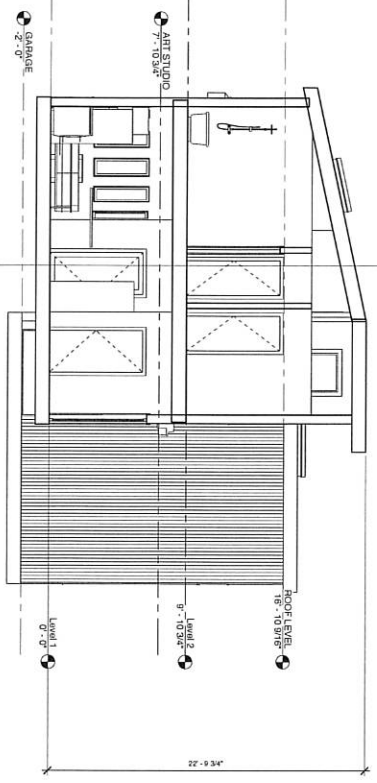
www.offplan.com

1158 CEDAR ST. MONTARA, CA.
94037
PARCEL # 036-073-550
PROPOSED SINGLE
FAMILY RESIDENCE

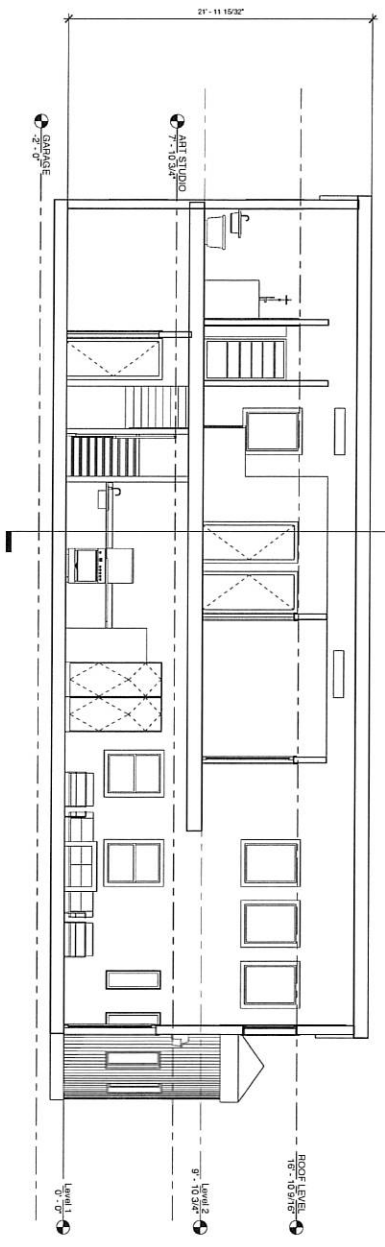
**KELLY LINSOTT
NEW HOME
FLOOR PLANS**

Project number	1271615
Date	12/16/15
Drawn by	JAL/lar
Checked by	CHUCKER
Scale	1/4" = 1'-0"

A109



① EAST TO WEST SECTION
1/8" = 1'-0"



② NORTH TO SOUTH SECTION
1/8" = 1'-0"

NO.	DESCRIPTION	DATE

1158 CEDAR ST. MONTARA, CA.
94037
PARCEL # 036-073-550
PROPOSED SINGLE
FAMILY RESIDENCE

ADLER INLAND DESIGN
Jared Johnson, Designer/EIT
Sue Peterson, CA #4121
4150 BARKSLEY AVE
MONTARA, CA 94025
www.adlerinlanddesign.com

**KELLY LINS-COTT
NEW HOME
CROSS SECTIONS**

Project Number: 12176/T15
Designer: JARED JOHNSON
Checker: [Name]
Scale: 1/8" = 1'-0"